

REPORT TO THE SUBDIVISION AND
DEVELOPMENT APPEAL BOARD

| | | |
|--|--|---|
| DATE: September 14, 2023 ; September 28, 2023 | | APPEAL NO.: SDAB2023-0048 |
| | | FILE NO.: DP2023-03313 |
| APPEAL BY: Amarjeet Singh Uppal | | |
| FROM A DECISION OF THE DEVELOPMENT AUTHORITY for a New: Secondary Suite (basement) which was refused at <u>59 Redstone Blvd NE</u>. | | LAND USE DESIGNATION: R-1N Discretionary |
| COMMUNITY OF: Redstone | | DATE OF DECISION: August 16, 2023 |
| APPLICANT: Amarjeet Singh Uppal | | OWNER: Amarjeet Singh Uppal |

The hearing commenced on September 14, 2023 with consideration of procedural and jurisdictional issues. The Board adjourned the appeal to September 28, 2023.

Notes:

- Notice has been given of the hearing pursuant to the *Municipal Government Act* and Land Use Bylaw, including notices to parties who may be affected by the appeal. The final determination of whether a party is an “affected person” will be made by the Board if required.
- This Report is provided as a courtesy only. The Board’s record may include additional materials, including notifications to affected parties and correspondence of a procedural or administrative nature. The Board’s record may be viewed at the Appeal Board office at: 4th Floor, 1212 31 Avenue NE, Calgary, Alberta during regular office hours.

In accordance with Sections 678 and 686 of the Municipal Government Act and The City of Calgary Bylaw 25P95, as amended, an appeal to the Subdivision and Development Appeal Board must be filed within the legislated time frame and each Notice of Appeal must be accompanied by the legislated fee.

| | |
|---|--|
| Municipal Address of Site Under Appeal [required] | 59 Redstone Blvd |
| Development Permit/Subdivision Application/File Number [required] | DP2023-03313 |
| Name of Appellant [required] | Amarjeet Singh Uppal |
| Agent Name (if applicable) | |
| Street Address [required] | 59, Redstone Blvd NE |
| hdnFullAddress | 59, Redstone Blvd NE Calgary AB T3N0R5 |
| City [required] | Calgary |
| Province [required] | Alberta |
| Postal Code [required] | T3N 0R5 |
| Residential Phone # [required] | (587) 223-5356 |
| Business Phone # | |
| Email Address [required] | uppal.amarjeet85@gmail.com |

APPEAL AGAINST

Required field. Check one item only: for multiple appeals you must submit another Notice of Appeal.

Development Permit Refusal

| | | | | |
|---|--|--|---|--|
| Final Date of Appeal 2023-Aug-07 | SDAB Number SDAB2023-0048 | Fee Paid  | Hearing Date 2023-Sep-14 | Date received August 23, 2023 |
|---|--|--|---|--|

ISC: Unrestricted

1/3

This document is strictly private, confidential and personal to its recipients and should not be copied, distributed or reproduced in whole or in part, nor passed to any third party.

Aug 23, 2023

12:46:54 PM

SDAB2023-0048



I do hereby appeal the decision
of the Subdivision/Development
Authority for the following rea-
sons [required]

I have to make legal suite not illegal.

In order to assist the Board in scheduling, please answer the following questions to the best of your ability:

Estimated Presentation Time 15-20

Will you be using an agent/legal
counsel? [required] No

Do you anticipate any preliminary
issues with your appeal? (i.e.
jurisdiction, parties status as
affected persons, adjournment,
etc.)? [required] No

If yes, what are the issues?

Do you anticipate bringing any
witnesses/experts to your hear-
ing? [required] No

If yes, how many will you be
bringing?

I confirm and acknowledge that

- *I have read and understood this form;*
- *The information I have provided is accurate to the best of my knowledge; and*
- *I am responsible for paying the appeal fee and my notice of appeal will not be considered filed until my appeal fee has been received.*

Submission Date 2023-08-23 12:46:08 MST



This personal information is collected under the authority of the Freedom of Information and Protection of Privacy Act, section 33(c) and the Municipal Government Act, Sections 678 and 686. THIS INFORMATION WILL BE USED FOR PROCESSING YOUR APPEAL AND WILL BECOME PART OF A PUBLIC AGENDA. If you have any questions regarding the collection of this information, contact the Tribunal Coordinator, City Appeal Boards at 403-268-5312 or PO Box 2100, Stn "M", #8110, Calgary, AB, T2P 2M5.

If you require further information regarding appeal deadlines and procedures, please contact the SDAB office at:

Website: calgary.ca/sdab

Phone: (403) 268-5312

Email: info@calgarysdab.ca

Afternoon everyone,

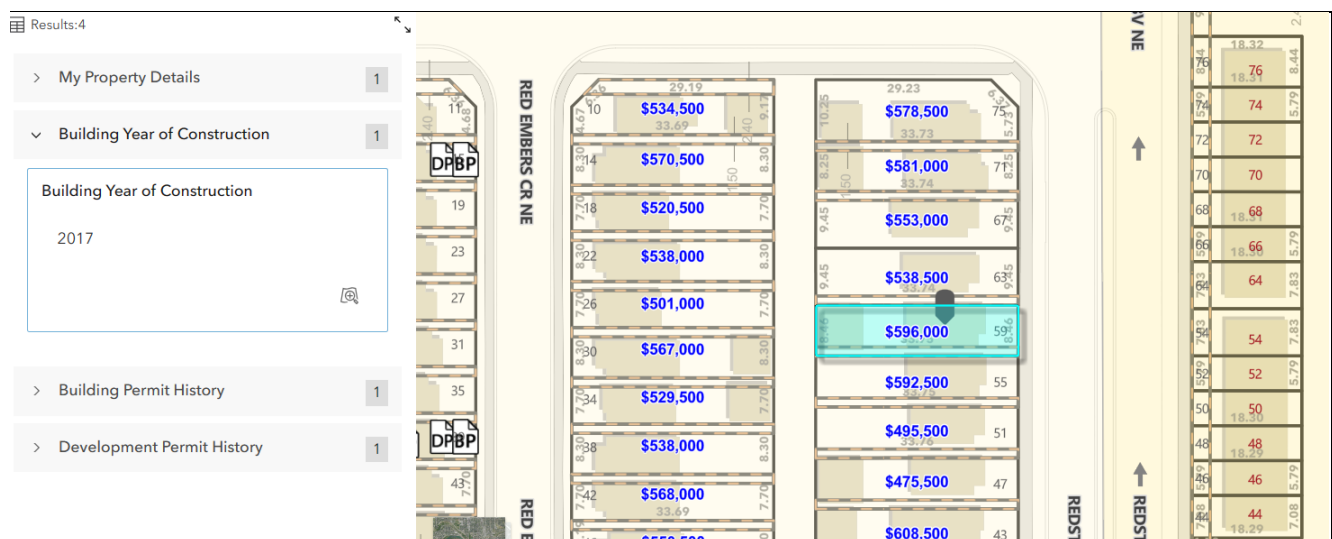
Myself Amarjeet Uppal resident of 59, Redstone Blvd NE, Calgary, AB-T3N0R5. My development permit number: **DP2023-03313**. I want to make a secondary suite basement but due to some Land Use Bylaw and policies the city sends me refusal. I want to go forward for appeal. Please accept my appeal.

I am explaining my existing scenarios.

Relaxation Consideration for Parking

I make a garage last year 24'x24' and I also have space for one car parking in it for secondary suite basement. And one in the front along the roadside if city allow me (**if acceptable**). I am renting (my tenant) to that person who ever having one vehicle, so I give him space in the garage. I don't want to break the city rules and regulation. In below I am showing you my existing property scenario.

Secondly, if I need any extra parking during the guest coming so I manage with my neighbours in the back-alley parking lots who ever don't having garage so I will pay for it to them. My both sides neighbours are very good with us.



Bus Service

I already talk with city of Calgary transit department regarding bus frequency, so they put my request for the service improvement or frequency increases (request no. 23-00615384). They give me update soon. As I talk with customer representatives from transit department, he said we are improving day my day service to certify our customer and our surrounding communities which is also part of city boundary line. They are hiring lot of bus or transit drivers.

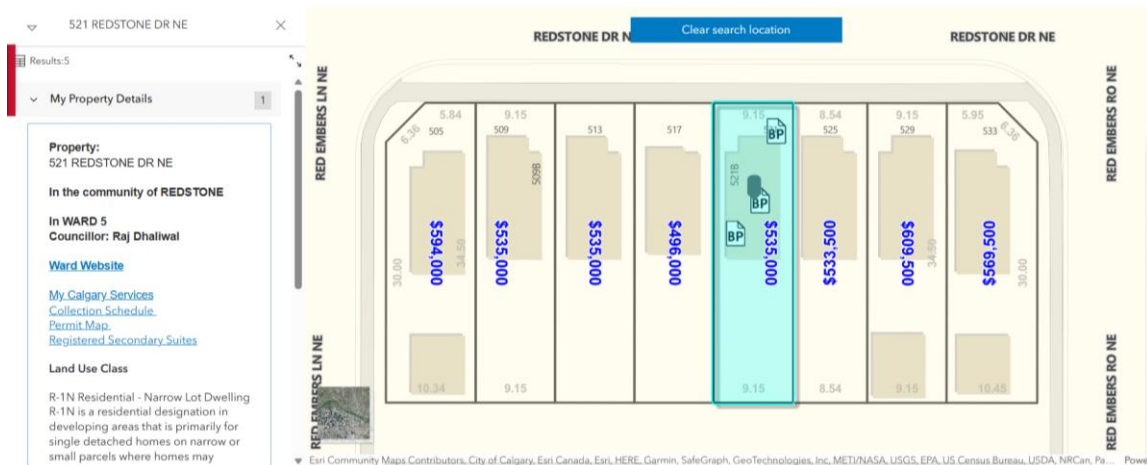
Thirdly, I will explain to them for Bus Route 128 & vice versa Bus Route 145 also.

Future rapid transit network also crossing from 128 AVE which is advantage for legal suite basement in future.

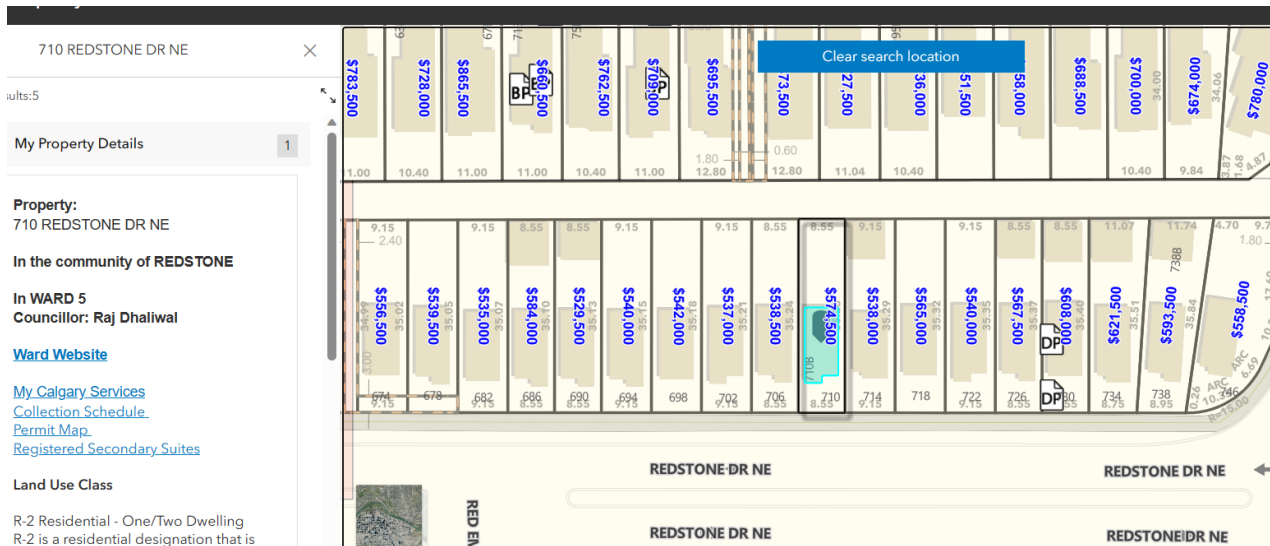
Future rapid transit network also crossing from 128 AVE which is advantage for legal suite basement in future.

More than 150 secondary suites are in Redstone Blvd NE community. See below.

If you want to check, there is one more 532 Redstone Dr Ne is also 9.15metres width. No back garage.



SDAB2023-0048



Finally, I want to make a legal secondary suite. Otherwise, I don't have any option, so please help me for it. It helps in more earning like as a role of property tax to city. If any happen to my property so home insurance, police and city of Calgary municipality will also help for it.

Minimum parcel width is only -054m means 6.4% is nothing as per total parcel. So, this is not a big reason the refusal. If there is any penalty for only 6.4% parcel width, I will pay for it if its in my budget.

Parking problem is every where if you see this. I have only one vehicle which is already explain you. If tenant come here so, he or she then I explain before they asked me one parking in the garage. Finally, if city need for the parking payment for the front car parking, I will also pay for it.

If I give advertisement for the legal suite basement, then I always mention it.

I am legal person in Canada so I also want to make sure for my property should be follow all the rules and regulations, legal policies. I just want to go with legal basement but if finally, not approved then I have no works to city of Calgary for the help.

Due to shortage of housing in Canada, I want to do legal development so I will accommodate to some one who really want to live.

If single suite not approved, then city of Calgary is the major role for developing illegal basement from me. If I don't have any option.

Please call me any time for further discussion or email me.

Thank You.

Amarjeet Singh Uppal

587-223-5356

uppal.amarjeet85@gmail.com



The City of Calgary
Planning & Development Services

Development Authority Appeal Response

Appeal Number: SDAB2023-0048

Development Permit Number: DP2023-03313

Address: 59 Redstone BV NE

Description: New: Secondary Suite (basement)

Land Use: Residential - Narrow Parcel One Dwelling (R-1N)

Community: Redstone

Identified Appeal Body:

Subdivision and Development Appeal Board (SDAB)

Development Authority Attendance: No

Use: Discretionary

Notice Posted: Not Required

Public Response(s) Received? No

Applicable Planning Policies:

- Policy to Guide Discretion for Secondary Suites and Backyard Suites (the Policy)

Bylaw Relaxations:

The development requires the following Land Use Bylaw relaxations.

| Regulation | Standard | Provided |
|-------------------------|---|--|
| 464 Parcel Width | (1) The minimum parcel width is: | Plans indicate a parcel width of 8.46m(-0.54m). |
| | (b) 9.0 metres for a parcel containing a Backyard Suite or Secondary Suite, unless otherwise referenced in subsection (c); and (c) 7.5 metres for a parcel containing a Backyard Suite or Secondary Suite where: (i) it is located on a corner parcel or laned parcel; and (ii) 3.0 or more motor vehicle parking stalls are provided on the parcel; | Plans indicate 2(-1) motor vehicle parking stalls are on the subject parcel. |
| 473 Parking | The minimum number of motor vehicle parking stalls is 2.0 stalls for a Single Detached Dwelling located on a parcel with a parcel width less than 9.0 metres. | Plans indicate 1(-1) motor vehicle parking stall for the Single-detached Dwelling. |

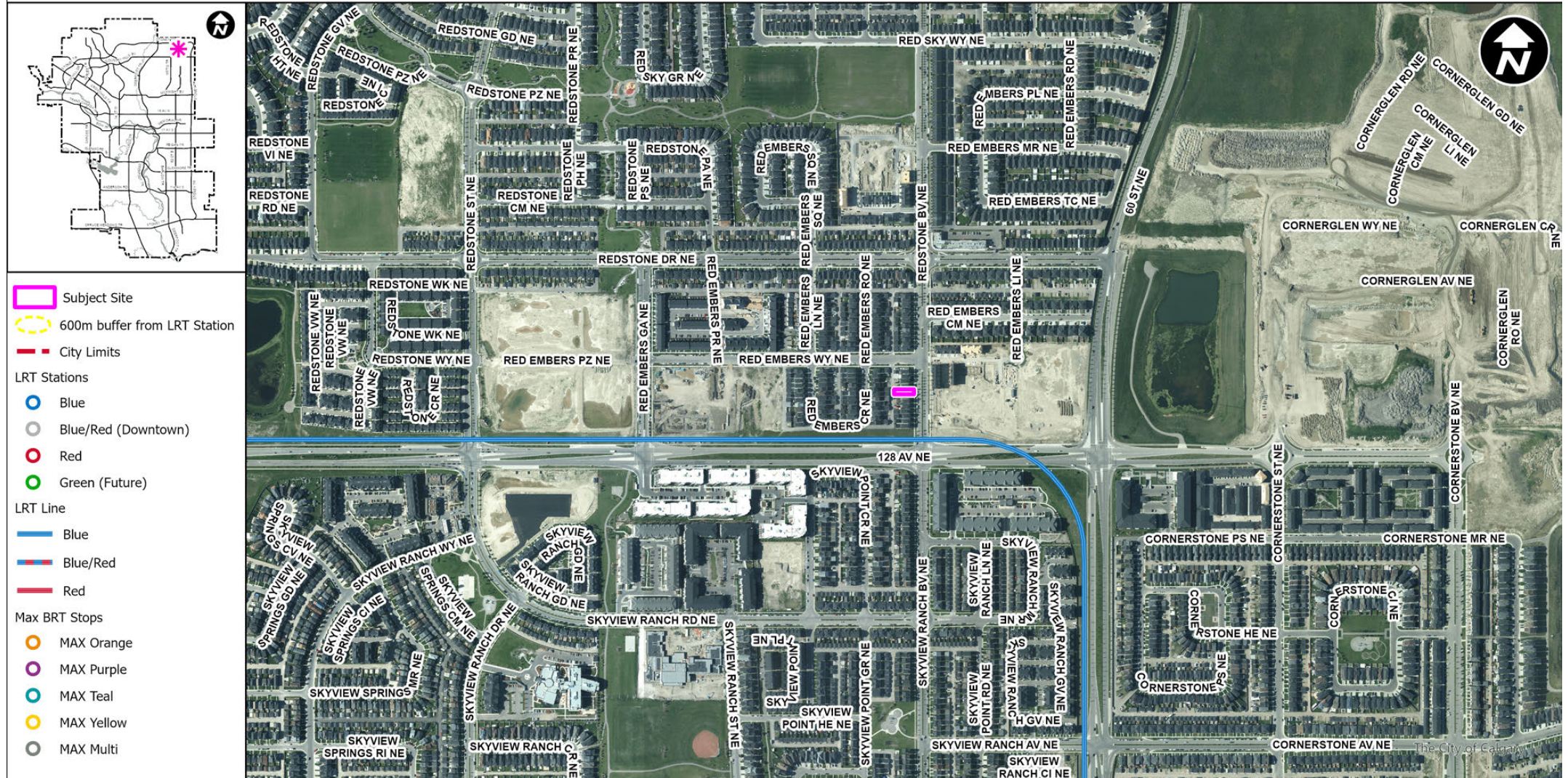
Considerations for Parking as per Secondary Suite Policy

| | | | | | | | | | | |
|--|--|--------------|-------------------------|---------|---------|---------|---------|----------|-----------|------|
| ii. in Area 2 of the Parking Areas Map and within: | A. 600 metres of a capital funded Light Rail Transit platform; | N/A | | | | | | | | |
| | B. 400 metres of a Bus Rapid Transit stop; or | N/A | | | | | | | | |
| | C. 400 metres of a bus service which generally has frequency of at least one bus every 20 minutes on weekdays from 6:30 AM to 6:00 PM and a frequency of at least one bus every 30 minutes on weekday evenings from 6:00 PM to the end of service and on weekends during times of service. | Route number | Route Name | AM Peak | Mid Day | PM Peak | Evening | Sat. Day | Sat. Eve. | Sun. |
| | | 128 | Cornerstone / Redstone | 32 | 32 | 33 | / | / | / | / |
| | | 145 | Skyview Ranch/ Redstone | 8/15 | 28 | 6/12 | 25 | 25 | 25 | 25 |

















Additional Factors, Considerations, and/or Rationale:

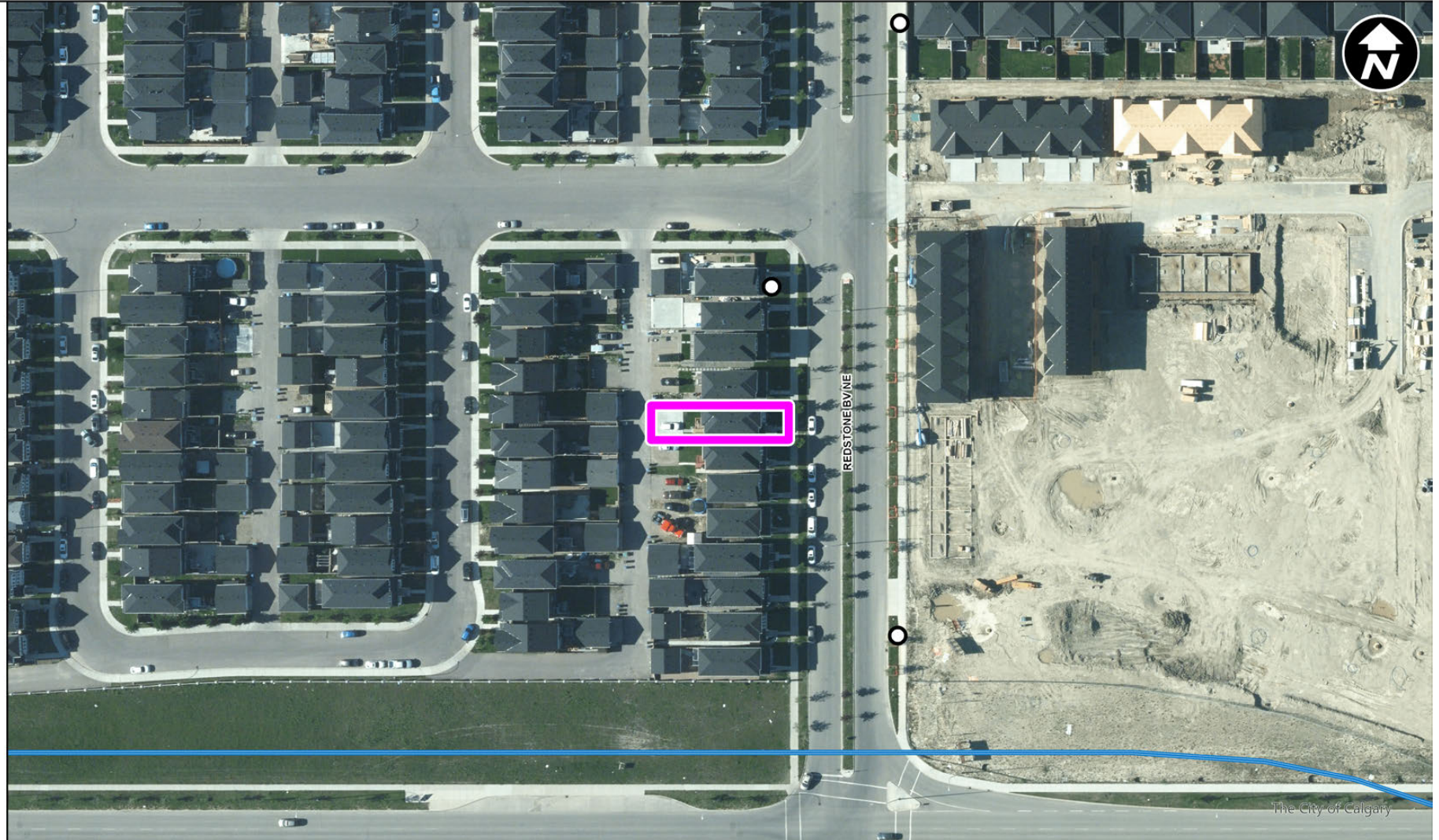
1. Please see the Reasons for Refusal.
2. In response to the Notice of Appeal:
 - a. Each secondary suite is evaluated on its own merit and evaluated with the information at the time of decision. Calgary Transit reviews their service four times a year to see if improvements could be made to their schedules. Previously approved secondary suites may have met the considerations for a parking relaxation as outlined in the Policy.
 - b. Previously approved secondary suites may meet the Land Use Bylaw requirements for parking. Parcels may have different parcel widths which is a detriment for the required number of parking stalls.
 - c. Land Use Bylaw sections 464 and 473 outline the criteria for the required number of parking stalls. If a parcel has a width of 9.0 metres or less than the required parking for the house is 2 parking stalls. The secondary suite requires 1 parking stall regardless of parcel width. The subject parcel width is less than 9.0 metres and requires 3 parking stalls.
 - d. During the review, the file manager considered the natural and human-made barriers to accessing the frequent transit service when reviewing the parking relaxation. It was determined that Route 145 is within 400 metres of the subject parcel and transit users would need to cross 128 AV NE, an arterial road, and Skyview Ranch MR NE. Both roads are not pedestrian-friendly making it less likely that the tenant would use this bus.
3. The Development Authority may provide additional materials prior to the merits hearing.

Community Context SDAB2023-0048

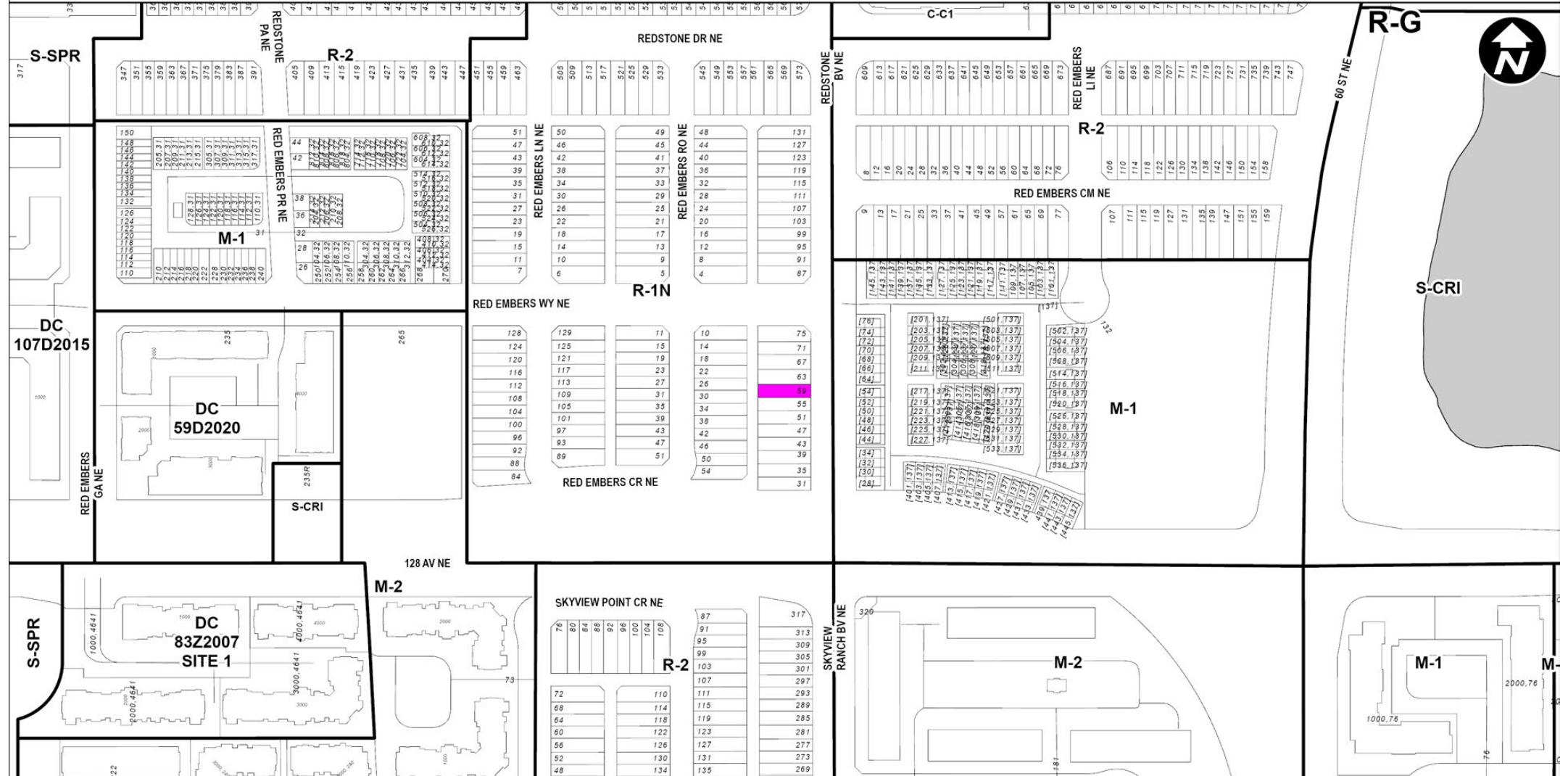


Site Context SDAB2023-0048

-  Subject Site
 600m buffer from LRT Station
 City Limits
- LRT Stations
-  Blue
 -  Blue/Red (Downtown)
 -  Red
 -  Green (Future)
- LRT Line
-  Blue
 -  Blue/Red
 -  Red
- Max BRT Stops
-  MAX Orange
 -  MAX Purple
 -  MAX Teal
 -  MAX Yellow
 -  MAX Multi
 -  Bus Stop



Land Use Districts SDAB2023-0048



Surrounding Land Use SDAB2023-0048



From: [Yakemchuk, Michele](#)
To: operations@bluehorseworldwide.com
Cc: [Reilander, Craig R.](#)
Subject: Notification of Decision for DP2023-03313 at 59 REDSTONE BV NE
Date: Wednesday, August 16, 2023 12:08:00 PM
Attachments: [DP2023-03313 Notification.pdf](#)
[DP2023-03313 Reasons for Refusal.pdf](#)

Hello Varinder,

This is your notification of the decision by the Development Authority to refuse the above noted Development Permit application. Attached is the Notification of Refusal and the Reasons for Refusal. You have **21 days** to file an appeal, please review the attached Notification of Refusal letter for more information.

For more information about the Development Permit process please visit www.calgary.ca/dpprocess.

Please contact me if you have any questions or concerns about your Development Permit.

Thank You,
Michele

Michele Yakemchuk

Senior Planning Technician

Development & Subdivision Application Services | Community Planning

Planning and Development Services

T. 403.333.5612 | www.calgary.ca |

ISC: Protected



August 16, 2023

BLUE HORSE WORLDWIDE
VARINDER Gill



RE: Notification of Decision for DP2023-03313
Subject: New: Secondary Suite (basement)
Address: 59 REDSTONE BV NE

This is your notification of the decision by the Development Authority to refuse the above noted Development Permit application on August 16, 2023. Attached are the Reasons for Refusal.

If you wish to appeal, submit your appeal with reasons and the \$200.00 filing fee to the Subdivision and Development Appeal Board within 21 days of this notice of decision being given. The appeal may be filed online at www.calgarysdab.ca or in person or by mail.

Should you have any questions or concerns, please contact me at 403-333-5386 or by email at Craig.Reilander@calgary.ca.

Sincerely,

CRAIG REILANDER
Senior Planning Technician
Planning and Development



**DEVELOPMENT PERMIT
LAND USE BYLAW NO 1P2007**

DP2023-03313

This permit relates to land in the City of Calgary municipally described as:

59 REDSTONE BV NE

Community: **Redstone**

L.U.D.: **R-1N**

and legally described as:

1610884;26;17

and permits the land to be used for the following development:

New: Secondary Suite

The present owner and any subsequent owner of the above described land must comply with any attached conditions.

The development has been approved subject to any attached conditions and to full compliance with the approved plans bearing the stamp of approval and the above development permit number.

Decision By: **Development Authority**

Date of Decision: **August 16, 2023**

Development Authority: **Michele Yakemchuk**

File Manager: **Craig Reilander**

Release Date: _____

This permit will not be valid if development has not commenced by:

This is NOT a Building Permit

In addition to your Development Permit, a Building Permit may be required, prior to any work commencing. further information, you should contact the City of Calgary, Planning, Development & Assessment - Building Regulations Division.

WARNING

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Applicant: **BLUE HORSE WORLDWIDE**
Address: **128 RAVENSKIRK CLOSE SE**
City: **AIRDRIE, Alberta, T4A 0T1**
Phone: **[REDACTED]**



**DEVELOPMENT PERMIT
LAND USE BYLAW NO 1P2007**

DP2023-03313

Complete Address and Legal Description listing for Development Permit DP2023-03313

| Address Type | Address | Legal Description |
|---------------------|-------------------|--------------------------|
| Building | 59 REDSTONE BV NE | |
| Parcel | 59 REDSTONE BV NE | 1610884;26;17 |



The City of Calgary
 Planning & Development Services
 Development & Subdivision Application Services

Reasons for Refusal for DP2023-03313

This document summarizes the development permit review and refusal reasons. Information about the application process, Land Use Bylaw relaxations, and other supporting information for the decision are included.

Proposed Use

This application seeks approval for a Secondary Suite (basement) at 59 Redstone BV NE in the community of Redstone. The parcel is designated R-1N; Residential – Narrow Parcel One Dwelling District under Land Use Bylaw 1P2007. Secondary Suite is listed as a discretionary use in this district.

Planning Review and Analysis

During the review, the Development Authority considered the Policy to Guide Discretion for Secondary Suites and Backyard Suites (the Policy), the Land Use Bylaw and the compatibility and impact of the proposed development with respect to adjacent properties and the neighbourhood.

The R-1N District requires a minimum parcel width of 9.0 metres for a parcel containing a Secondary Suite. This ensures the parcel can accommodate the required amenities, including parking and outdoor space, while maintaining the character of the district. Secondary Suites require their own separate parking stall and the main residential dwelling unit requires two parking stalls. This development requires three motor vehicle parking stalls. The application proposes a Secondary Suite on a parcel with a width of 8.46 metres while only providing two motor vehicle parking stalls.

The Policy establishes expectations when considering parking and parcel width relaxation. This parcel is not within the policy-stipulated distance of an LRT platform, Bus Rapid Transit stop, or frequent transit service. By outlining criteria by which relaxations should be granted the Policy establishes the intent of the rules and establishes what types of development are materially similar, or in this case dissimilar, when applying the test for relaxation. The distinction between frequent bus service and day-time commuter-type bus service is that the latter does not provide practical transportation for a resident to use throughout the day and evening. The current bus service frequency does not provide practical transportation for a resident to use throughout the day for typical day-to-day needs. (i.e., shopping and errands). It is likely that tenants for the secondary suite will require motor vehicle parking. As there is no frequent transit service a parking relaxation is not supported.

As a Discretionary Use sections 35, 36 and 37 apply. The Development Authority is of the opinion that the proposed development does not comply with the policies, or the test for relaxation.

Decision

For the above-noted reasons, this application is refused.

M. Yakemchuk

Michele Yakemchuk, Development Authority

August 16, 2023

Date



The City of Calgary

Planning & Development Services

Development & Subdivision Application Services

Attachments for DP2023-03313

Site and Context

The parcel is 8.46 metres in width. The subject parcel contains a Single Detached Dwelling. The Single Detached Dwelling is a laned parcel, with parking for the house provided in a rear detached garage.

Process

| | |
|------------------|--|
| Notice Posting | Notice Posting was not required as per section 27 of the Land Use Bylaw. |
| Circulation | No comments received |
| Public Responses | No comments received |
| Bylaw Review | The application does not comply as shown in the bylaw relaxations table. |

Key Land Use Bylaw Provisions

Discretionary Use Development Permit Application

35 When making a decision on a *development permit* for a *discretionary use* the *Development Authority* must take into account:

- (a) any plans and policies affecting the *parcel*;
- (b) the purpose statements in the applicable land use district;
- (c) the appropriateness of the location and *parcel* for the proposed *development*;
- (d) the compatibility and impact of the proposed development with respect to *adjacent development* and the neighbourhood;
- (e) the merits of the proposed *development*;
- (g) access, parking and transportation requirements;
- (j) sound planning principles.

Discretionary Use That Does Not Comply

36 (1) The *Development Authority* may approve a *development permit* application for a *discretionary use* where the proposed *development* does not comply with all of the applicable requirements and rules of this Bylaw if in the opinion of the *Development Authority*:

- (a) the proposed *development* would not unduly interfere with the amenities of the neighbourhood or materially interfere with or affect the use, enjoyment or value of neighbouring properties;

295 "Secondary Suite"

- (d) requires a minimum of 1.0 *motor vehicle parking stalls*

Parcel Width

464 (1) The minimum *parcel width* is:

- (b) 9.0 metres for a *parcel* containing a *Backyard Suite* or *Secondary Suite*, unless otherwise referenced in subsection (c); and
- (c) 7.5 metres for a *parcel* containing a *Backyard Suite* or *Secondary Suite* where:
 - (i) it is located on a *corner parcel* or *laned parcel*; and
 - (ii) 3.0 or more *motor vehicle parking stalls* are provided on the *parcel*.



The City of Calgary

Planning & Development Services

Development & Subdivision Application Services

Bylaw Relaxations

| Bylaw Requirement | | Provided | Variance (+/-) | |
|---|------------|------------|----------------|-------|
| Minimum parcel width | 9.0 m | 8.46 m | -0.54 m | 6.4% |
| Minimum number of parking stalls required for both uses (Single Detached Dwelling and Secondary Suite). | 3.0 stalls | 2.0 stalls | -1.0 stalls | 33.3% |

Applicable Planning Policies

Policy to Guide Discretion for Secondary Suites and Backyard Suites

B. Planning Principles for Secondary Suites and Backyard Suites

2. Relaxation Considerations for Parking

a. The Development Authority may consider a parking relaxation for a Secondary Suite or Backyard Suite based on the proximity of the suite to the Centre City and to frequent transit service. The Development Authority may consider relaxing the minimum parking requirements for a Secondary Suite or Backyard Suite where the suite is located:

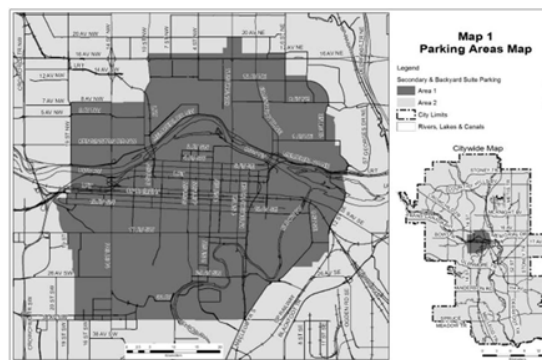
- i. in Area 1 of the Parking Areas Map
- ii. in Area 2 of the Parking Areas Map and within:

A. 600 metres of a capital funded Light Rail Transit platform;

B. 400 metres of a Bus Rapid Transit stop; or

C. 400 metres of a bus service which generally has a frequency of at least one bus every 20 minutes on weekdays from 6:30 AM to 6:00 PM and a frequency of at least one bus every 30 minutes on weekday evenings from 6:00 PM to the end of service and on weekends during times of service.

b. The Development Authority should consider natural and human-made barriers (e.g. waterbodies, landforms, skeletal and arterial roads) to accessing frequent transit service when considering a parking a relaxation for a Secondary Suite or Backyard Suite.



Considerations for Parking as per Secondary Suite Policy

| | | | | | | | | | | |
|--|--|--------------|-------------------------|---------|---------|---------|---------|----------|-----------|------|
| ii. in Area 2 of the Parking Areas Map and within: | A. 600 metres of a capital funded Light Rail Transit platform; | N/A | | | | | | | | |
| | B. 400 metres of a Bus Rapid Transit stop; or | N/A | | | | | | | | |
| | C. 400 metres of a bus service which generally has frequency of at least one bus every 20 minutes on weekdays from 6:30 AM to 6:00 PM and a frequency of at least one bus every 30 minutes on weekday evenings from 6:00 PM to the end of service and on weekends during times of service. | Route number | Route Name | AM Peak | Mid Day | PM Peak | Evening | Sat. Day | Sat. Eve. | Sun. |
| | | 128 | Cornerstone / Redstone | 32 | 32 | 33 | / | / | / | / |
| | | 145 | Skyview Ranch/ Redstone | 8/15 | 28 | 6/12 | 25 | 25 | 25 | 25 |



**APPLICATION FOR A DEVELOPMENT PERMIT
LAND USE BYLAW NO 1P2007**

436314443-001
Taken By:

Application Date **May 23, 2023**

APPLICATION NO DP2023-03313

I/We hereby make application for a Development Permit under the provisions of the Land Use Bylaw in accordance with these plans and supporting information submitted herewith and which form part of this application.

Total Fees: \$0.00

Cart #:

Applicant: **BLUE HORSE WORLDWIDE**
Address: **128 RAVENSKIRK CLOSE SE**
City: **AIRDRIE, Alberta, T4A 0T1**
Phone:

Contact: **Gill, VARINDER**
Phone:
Fax: **() -**
e-mail:

Parcel Address: **59 REDSTONE BV NE**
Legal: **1610884;26;17**
Building Address: **59 REDSTONE BV NE**
Legal:

L.U.D.: **R-1N**

Community: **REDSTONE**
Sec. Number: **26NE** Ward: **05**

Description: **New: Secondary Suite (basement)**

\r\nDwelling Units: 1

Proposed Development is: **Discretionary**

Proposed Use: **Secondary Suite**

I agree to receive correspondence via electronic message related to this application.

By signing below, I confirm that the contact information provided above is accurate and further, acknowledge the ability of the General Manager - Planning and Development to inactivate and cancel incomplete applications.

Applicant / Agent Signature: _____ Date: _____

The personal information on this form is being collected under the authority of The Municipal Government Act, Section 640, and The City of Calgary Land Use Bylaw 1P2007 (Part 2) and amendments thereto. It will be used for the permit review and inspection processes. It may also be used to conduct ongoing evaluations of services received from Planning, Development & Assessment. The name of the applicant and the nature of the permit will be available to the public. Please send inquiries by mail to the FOIP Program Administrator, Planning, Development & Assessment, PO Box 2100, Station M, Calgary, AB T2P 2M5 or contact us by phone at 311.

Home Improvement - Development Permit

=====
Application Submitted at: May 23, 2023 8:26:39 AM

Permit Type: Development Permit

Applicant Info and Project Location

=====
Project Location : 59 REDSTONE BV NE

Project Location Full Spell : 59 REDSTONE BOULEVARD NE

Applicant Information

I am the property owner : False

I am the licensed contractor : True

Contact Info

First Name : VARINDER

Last Name : Gill

Phone Number : [REDACTED]

Email : [REDACTED]

Mailing Address

Address Line 1 : 59 REDSTONE BV NE

Address Line 2 :

City : Calgary

Province : Alberta

Country : Canada

Postal Code : T3N0R5

What are you applying for?

=====
Selected Permits : Secondary Suite

Additional Info

What type of secondary suite do you apply for? : Proposed Suite

Option 1: Provide the reduced requirements under 'Option 1: Reduced application requirements' on the application checklist. : False

Option 2: Provide the full requirements under 'Option 2: Full plans' on the application checklist. : False

Development Permit Detail

Are any public trees affected by the project? : No

Input Data

Uploaded Document:

Document Type: : ARCHITECTURAL

Document Subtype: : PLANS

Document Name: : 59 redstone plan.pdf

Is Optional: : False

Is Personal Document: : False

Uploaded Document:

Document Type: : SUPPORTING DOCUMENT

Document Subtype: : ABANDONED WELL

Document Name: : abandoned-well-declaration-5 (1).pdf

Is Optional: : False

Is Personal Document: : False

Uploaded Document:

Document Type: : SUPPORTING DOCUMENT

Document Subtype: : PUBLIC TREE DISCLOSURE

Document Name: : public-tree-disclosure-statement-3.pdf

Is Optional: : False

Is Personal Document: : False

Uploaded Document:

Document Type: : ARCHITECTURAL

Document Subtype: : INFORMATION FORM

Document Name: : Drawings for 59 home.pdf

Is Optional: : True

Is Personal Document: : False

Uploaded Document:

Document Type: : SUPPORTING DOCUMENT

Document Subtype: : OTHER

Document Name: : 59 redstone lot plan.pdf

Is Optional: : True

Is Personal Document: : False

FOIP DISCLAIMER

=====

The personal information obtained on this form is being collected under the authority of section 33(c) of the FOIP Act. This information is being collected for the purpose of our inspection processes (if required) and will be disclosed to relevant City Business Units, Federal and Provincial agencies, Utility companies, Community Associations/Groups/Organizations, Adjacent Municipalities, Municipal school boards and/or any agencies required for review as part of the application review process. It may also be used to conduct ongoing evaluations of services received from Planning & Development.

The name of the applicant and the nature of the application will be available to the public, as authorized by the FOIP Act. You may direct questions about the collection, use or disclosure of your personal information by the City of Calgary at 800 Macleod Trail SE Calgary, Alberta in relation to this program by emailing the FOIP Program Administrator for Planning and Development at plngbldg@calgary.ca or by telephone at (403)268-5311.

Applicant's Declaration

Terms and Conditions : Online Services Terms of Use

PLEASE REVIEW THESE TERMS OF USE CAREFULLY. BY ACCESSING AND USING THIS ELECTRONIC ONLINE SERVICES WEBSITE, YOU ACCEPT AND AGREE TO THE FOLLOWING TERMS OF USE. IF YOU DO NOT AGREE WITH THESE TERMS OF USE YOU ARE NOT AUTHORIZED TO USE THIS ONLINE SERVICES SITE AND MUST IMMEDIATELY DISCONTINUE USE OF THIS ONLINE SERVICES SITE.

1. <u>Interpretation</u>

These Online Application Consent and Confirmation of Applicant supplement, and shall be interpreted consistently with, the general Terms of Use for the City of Calgary's website, found at the bottom of each web page.

2. <u>Accuracy of Information Submitted</u>

You acknowledge and agree that your electronic submission of information to The City of Calgary ("The City") using this Online Application is true and accurate and is intended to be your permit application to The City.

3. <u>Consent to Electronic Decision</u>

I agree that The City can issue its formal decision to in electronic form (e.g. electronic mail) to the email address provided through the Online Application. If my email address changes I will advise The City of the new email address or provide a mailing address for the formal approval.

4. <u>Electronic Submission</u>

Except as may otherwise be required by The City, you must only submit, provide and accept information or records related to your application in electronic form and you will not re-submit your application in paper form. The City does not guarantee that the entire electronic permit application process will be completed electronically, and The City reserves the right in its sole discretion to require you to submit information and records relating to your application in paper form.

5. <u>Complete Application</u>

I acknowledge that The City may inactivate or cancel incomplete permit applications that do not contain all of the requested information at The City's sole discretion.

6. <u>Changes to Site and Terms of Use</u>

The City reserves the right to make changes to this Online Services Site, the Terms of Use and provide additional terms at any time without notice. The changes or additional terms are effective immediately upon being posted to this Online Services Site. Your use of the Online Services Site will be subject to the Terms of Use posted on the Online Services Site at the time of use. In the event any of the provisions of the Terms of Use are determined to be invalid, void, or unenforceable for any reason, that provision will be deemed to be severable and will not affect the validity or enforceability of any remaining condition of the Terms of Use. You may be asked to agree to separate terms of use for other pages or applications used elsewhere on The City's website.

7. <u>Disclaimer of Warranties and Conditions</u>

THE CONTENTS, PRODUCTS AND SERVICES ON THIS ONLINE SERVICES SITE AND YOUR USE OF THIS ONLINE SERVICES SITE ARE PROVIDED IN GOOD FAITH ON AN "AS IS" AND "AS AVAILABLE" BASIS. YOU RELY ON THE INFORMATION CONTAINED IN THIS ONLINE SERVICES SITE AT YOUR OWN RISK.

THE CITY DISCLAIMS ALL WARRANTIES OR CONDITIONS, EXPRESS OR IMPLIED, WITH RESPECT TO THE CONTENTS, PRODUCTS AND SERVICES CONTAINED ON THIS ONLINE SERVICES SITE, INCLUDING WITHOUT LIMITATION, IMPLIED WARRANTIES AND CONDITIONS OF TITLE, MERCHANTABILITY,

FITNESS FOR ANY PARTICULAR PURPOSE AND NON-INFRINGEMENT. THE CITY FURTHER DISCLAIMS ANY AND ALL WARRANTIES REGARDING SECURITY, CURRENCY, CORRECTNESS, QUALITY, ACCURACY, COMPLETENESS, RELIABILITY, PERFORMANCE, TIMELINESS, OR CONTINUED AVAILABILITY WITH RESPECT TO THE ONLINE SERVICES SITE OR YOUR USE OF THE SITE. THE CITY FURTHER DISCLAIMS ALL WARRANTIES WITH RESPECT TO ANY DELAYS OR ERRORS IN THE TRANSMISSION OR DELIVERY OF ANY MATERIALS, PRODUCTS OR SERVICES AVAILABLE THROUGH THIS ONLINE SERVICES SITE. THESE DISCLAIMERS APPLY TO THE FULLEST POSSIBLE EXTENT IN JURISDICTIONS THAT LIMIT THE EXCLUSION OF IMPLIED WARRANTIES.

WHILE THE CITY TRIES TO ENSURE THE ACCURACY AND COMPLETENESS OF INFORMATION ON THIS ONLINE SERVICES SITE, IT DOES NOT GUARANTEE ITS ACCURACY OR COMPLETENESS. THE CITY DOES NOT GUARANTEE OR WARRANT THAT THIS SITE WILL ALWAYS BE AVAILABLE FOR USE.

8. Privacy Statement and Collection of Personal Information

Any information, including personal information, contained in a permit application submitted by using this site is being collected under the authority of The Calgary Building Permit Bylaw 64M94 (for Building Permits) or the Municipal Government Act, Section 640, and The City of Calgary Land Use Bylaw 1P2007 (Part 2) (for Development Permits) as well as the *Alberta Freedom of Information and Protection of Privacy Act* ("FOIP"), Section 33(a) and (c). This information will be used for The City's permit review and inspection processes and may be communicated to relevant City Business Units, utility providers, and Alberta Health Services for purposes related to these processes. Information may also be used by The City to conduct ongoing evaluations of services received from The City's Planning and Development Department. The name of the applicant and the nature of the permit will be made available to the public as authorized by FOIP. Please send inquiries by mail to the FOIP Program Administrator, Planning and Development, PO Box 2100, Station M, Calgary, AB T2P 2M5 or contact us by phone at 311.

9. Alberta Law

You agree to be bound by Alberta law when using this Online Services Site and agree that any court proceedings or other legal action will take place in Alberta.

10. No Damage or Modification of Site

You agree that you will not take any action to damage, modify, or breach the security of this Online Services Site, or cause the Online Services Site to no longer be available for use. You agree not to impersonate or misrepresent your association with any other person. You agree that you will not submit any information that is harmful, unlawful, or otherwise objectionable.

11. Site Ownership

The contents of this Online Services Site are owned or licensed by The City. You may not copy, transfer, store, upload, distribute, publish or otherwise use this content except as permitted by these Online Services Terms of Use. The words, phrases, names, designs or logos used on this Online Services Site may constitute trademarks, service marks or trade names of The City or other entities. The display of any such marks does not imply that The City or other entities have granted a license to you to use these marks.

12. Security of Account Information

You are responsible for protecting the confidentiality of any account information, user names, logins, passwords, security questions and answers, and other information you might need to access and use this Online Services Site. You are responsible for all activities occurring under your account, user name, or login. You agree to notify The City if you suspect that your account, user name, or login is not secure or is being used for an inappropriate purpose.

13. Violation of Terms of Use

Any rights you have to use this Online Services Site will terminate immediately upon any violation of these Online Services Terms of Use. The City may, in its sole discretion, temporarily or permanently terminate your access to and use of this Online Services Site, at any time, for any reason, without notice or liability to you. The City is not liable for any damages resulting from its termination of your access to, or use of, this Online Services Site.

14. Copyright

I acknowledge and understand that, as part of The City's process in reviewing, evaluating, and processing the permit application, The City will need to make available, in print and digital form, copies of the application materials to relevant City business units, members of City council, utility providers, other municipalities, municipal school Boards, relevant community associations/groups/organizations (including their boards of directors and planning committees), members of the general public, and any other external agencies or third parties whose input is required by The City in connection with the processing of your application. I hereby (i) consent to The City's copying, reproduction, distribution, and communication of the permit application materials, in any material form and via any medium, as required for the purpose of enabling The City to process your application; and (ii) certify that I am authorized and have the right to grant such consent.

15. Condominium Property

I have all authorizations required under the Condominium Property Act, RSA 2000, c C-22, as amended or replaced, the bylaws of the Condominium Corporation, and otherwise in law to apply for this application if it is respecting condominium property. I further agree to immediately notify The City, in writing, of any changes regarding this information.



New Secondary Suite: Permit Checklist

Before you apply:

- Visit [Calgary.ca/suites](https://calgary.ca/suites) to find more information on rules, requirements and to estimate your fee
- For help with your drawings visit [Calgary.ca/suites](https://calgary.ca/suites) to view our sample drawings [here](#)
- Please do not include personal information on plans

STEP 1: Planning Approval (Development Permit)

- Use the **property information tool** to determine your land use district and review the section “**What rules does my property have for suites**” found at [Calgary.ca/suites](https://calgary.ca/suites)
- If a secondary suite is listed as a permitted use and meets the suite requirements listed in the district, or you have completed this step, proceed to **Step 2: Building Safety Approval (Building Permit)**. If not, provide the information below

Supporting Documents

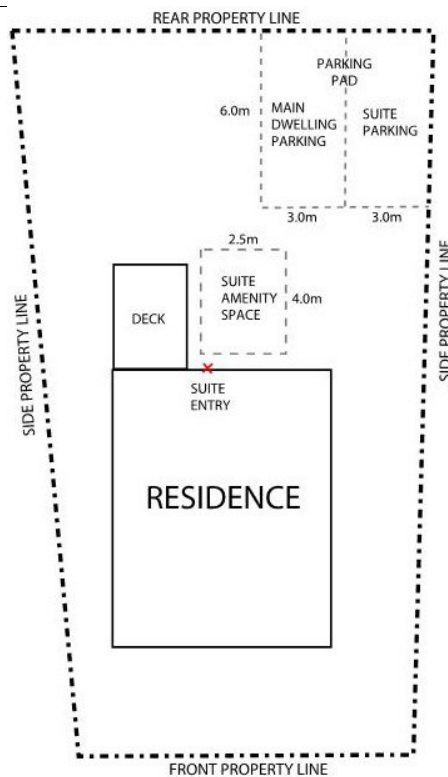
- Completed [Application Form](#) (Do not fill out if applying online)
- Completed [Abandoned Well Declaration](#)
- Completed [Public Tree Statement](#)

Plans

- One (1) copy of a **Site Plan**

Your **Site Plan** should include the following:

- Address
- Property lines
- Names of adjacent city streets
- Outline and dimensions of the home and any other buildings on the property
- Distance from the property lines to the house
- Location of all exterior stairs
- Location of all parking stalls on the parcel and label stall to be used for the secondary suite (indicate size and material of parking stall(s))
- Location and dimensions of the outdoor amenity space for the suite



123 FOUR ST NW

Tip: you can modify a Real Property Report (RPR) to use as your Site Plan

- One (1) copy of a **Floor Plans**

Your **Floor Plans** should include the following:

- 1 Address
- 2 Layout of **each** floor of the house (i.e. basement, main floor, upper floor(s))
- 3 Label the purpose of each room (i.e. kitchen, bathroom)
- 4 Location of all windows and exterior doors (indicate the size, type and operation)
- 5 Area of the secondary suite (i.e. square footage)

F. One (1) copy of **Elevations**

Your **Elevations** should include the following:

- 1 Height and width of the entire existing house
- 2 Location of all windows and exterior doors (indicate the size, type and operation)
- 3 If applicable, locations of all exterior stairs (above and/or below the ground)

STEP 2: Building Safety Approval (Building Permit)

Supporting Documents

- A. Completed **Application Form** (Do not fill out if applying online)
- B. Completed **Asbestos Abatement Form** - This is only needed if your house was constructed **before 1990**

Plans

- C. One (1) copy of a **Site Plan** – refer to **Step 1, Item D** for drawings requirements
- D. One (1) copy of a **Floor Plans** - refer to **Step 1, Item E** for drawings requirements

In addition to the above drawings requirements, please provide the following information on your Floor Plans:

- 1 Locations of separate ventilation and heating for the main dwelling unit and the suite

- E. One (1) copy of a **Elevations** - refer to **Step 1, Item F** for drawings requirements

NOTE: The Development Authority or Safety Code Officer may require additional materials considered necessary to properly evaluate the proposed development (as stated in Part 2, Section 26(3) of Land Use Bylaw 1P2007, Section 6(1) of Bylaw 64M94 and Alberta Building Code 2014)



Public Tree Disclosure Statement

The City of Calgary Street Bylaw (20M88) and the Tree Protection Bylaw (23M2002) protect trees growing on City (public) land. An approved Tree Protection Plan is required when construction activities occur within 6m of a public tree. More information regarding protecting trees during construction and development is found here. Public trees are required to be shown on plans submitted for this application.

1. Are there public trees on the City lands within six meters of and/or overhanging the development site? ☐ Yes ☒ No

If you answered yes, ensure all trees identified are shown on the submitted plans.

Note: if you are not sure how to determine which trees are yours and which are public, you can:

- Use the [City's tree map](#) (may not be up to date for your property)
- Contact 3-1-1 to put in a "development tree inquiry" to get confirmation from an Urban Forester
- Send inquiries to tree.protection@calgary.ca

2. Who will be submitting the Tree Protection Plan for this development?

☐ Applicant ☒ Owner ☐ Builder ☐ Other:

If Other: Name: AMARJEET UPPAL Phone: [REDACTED]
Email: [REDACTED]

The Tree Protection Plan must be submitted directly to Urban Forestry at tree.protection@Calgary.ca following the [Tree Protection Plan Guidelines](#).

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Abandoned Well Declaration

Application # _____
for office use only

Site Address: 59 Redstone blvd NE, Calgary, AB T3N 1B6

Legal Description: _____

The *Municipal Government Act's Subdivision and Development Regulations (Alberta Regulation 160/2012)* requires developers to identify abandoned oil and gas wells and, where present, to comply with setback requirements as identified in the Energy Resources Conservation Board (ERCB) [Directive 079: Surface Development in Proximity to Abandoned Wells](#).

You are responsible for the accuracy of the information provided in this statement. The questions must be answered to the best of your knowledge based upon diligent inquiries and a thorough inspection and review.

1. Provide a map of the subject parcel showing the presence or absence of abandoned wells.

- [User Guide to Finding Abandoned Wells on GeoDiscover Alberta's Map Viewer](#)
- [Abandoned Well Locations on GeoDiscover Alberta's Map Viewer](#)

NOTE: The map must show the actual well location, as identified in the field, including the surface coordinates (available on the Abandoned Well Map Viewer or by contacting the ERCB Customer Contact Centre at 1-855-297-8311) and the 5 metre setback established in [ERCB Directive 079](#) in relation to existing or proposed building sites.

2. Are there abandoned Oil/Gas wells located within 5 m of the site? ☐ Yes ☒ No
If you answered 'yes', please answer question 3 and include the well location(s) on the site plan.

3. Have you contacted the licensee of the well(s) to confirm the exact location? ☐ Yes ☐ No
If you answered 'yes', you must have written confirmation included with your application.

Licensee Company Name _____ Licensee Contact _____

NOTE: Where a well is identified, the Development Authority must refer a copy of the application to the Licensee(s) of Record. The referral will include the applicant's contact information.

4. Who is submitting the Abandoned Well Declaration for this development?

☐ Applicant ☒ Owner ☐ Builder ☐ Other _____

Company Name _____ Contact Person **AMARJEET UPPAL**

Address 59 Redstone blvd NE, Calgary, AB T3N 1B6

Phone _____ Cell Phone _____ Email _____

5. Will the development result in construction activity within the setback area?

☐ Yes ☒ No

If you answered 'yes':

- Provide a statement confirming that the abandoned wells will be temporarily marked with on-site identification to prevent contact during construction; and
- Describe what measures will be taken to prevent contact during construction.

NOTE: This form is to be signed by the titled owner(s) of the property or their authorized agents or consultants.

I, the ☒ owner, ☐ authorized agent, ☐ authorized consultant, state that, to the best of my knowledge, the information provided in this statement is accurate, complete and is based on diligent inquiry and thorough inspection and review of all the documents and other information reasonably available pertaining to the subject property.

23 MAY 2023

Date

Applicant Signature

AMARJEET UPPAL

Applicant Name (Please Print)

Company Name (Please Print)

FOIP DISCLAIMER: The personal information on this form is being collected under the authority of The Freedom of Information and Protection of Privacy (FOIP) Act, Section 33(c). It will be used to provide operating programs, account services and to process payments received for said services. It may also be used to conduct ongoing evaluations of services received from Planning & Development. Please send inquiries by mail to the FOIP Program Administrator, Planning & Development, PO Box 2100, Station M, Calgary, AB T2P 2M5 or contact us by phone at 311.

From: [Reilander, Craig R.](#)
To: operations@bluehorseworldwide.com
Subject: DP2023-03313 at 59 Redstone BV NE DR-1
Date: Monday, June 19, 2023 11:36:00 AM
Attachments: [DP2023-03313 DR-1.pdf](#)

Good Morning Varinder,

Attached is a detailed review of DP2023-03313 at 59 Redstone BV NE. We are not able to support this application at this location, as proposed. Please, review the attachment to see your options and let me know how you would like to proceed with this application. Feel free to contact me with any questions.

Regards,
Craig Reilander
Senior Planning Technician
Technical Planning | Community Planning
Planning & Development
T. 403.333.5386 | E. Craig.Reilander@calgary.ca

Check out www.calgary.ca/pdmap to learn more about the development activity in your community.



June 19, 2023

BLUE HORSE WORLDWIDE
Gill, VARINDER



Dear Applicant:

RE: Detailed Review (DR)

Development Permit Number: DP2023-03313

Based on the plans received, your application has been reviewed in order to determine compliance with the Land Use Bylaw and applicable City policies. Any variance from the Land Use Bylaw or City policies may require further discussion or revision prior to a decision being rendered.

A written response to the Prior to Decision issues in this DR is required from the Applicant by the end of the thirty (30) calendar day response due date. In the event that the response due date expires, the application may be inactivated subject to a fifteen (15) calendar day reactivation timeline. In the case of a non-responsive or incomplete application, the General Manager – Planning & Development Services may cancel the application as per Section 41.1 of Land Use Bylaw 1P2007.

Should you have any questions or concerns, please contact me at 403-333-5386 or by email at Craig.Reilander@calgary.ca.

Sincerely,

Craig Reilander
Senior Planning Technician
Technical Planning | Community Planning
Planning & Development
T. 403.333.5386 | E. Craig.Reilander@calgary.ca



Detailed Review 1 – Development Permit

| | |
|---------------------------------|--|
| Application Number: | DP2023-03313 |
| Application Description: | New: Secondary Suite (Secondary Suite) |
| Land Use District: | Residential - Narrow Parcel One Dwelling |
| Use Type: | Discretionary |
| Site Address: | 59 REDSTONE BV NE |
| Community: | REDSTONE |
| Applicant: | BLUE HORSE WORLDWIDE |
| Date DR Sent: | June 19, 2023 |
| Response Due Date: | July 20, 2023 |
| Planning: | CRAIG REILANDER 403-333-5386 Craig.Reilander@calgary.ca |

General Comments

This development permit is to review the proposed addition of a basement suite at 59 Redstone BV NE. This is a R-1N site in the community of Redstone.

Comments on Relevant City Policies

Policy to Guide Discretion for Secondary Suites and Backyard Suites

2. Relaxation Considerations for Parking

- a. The Development Authority may consider a parking relaxation for a Secondary Suite or Backyard Suite based on the proximity of the suite to the Centre City and to frequent transit service. The Development Authority may consider relaxing the minimum parking requirements for a Secondary Suite or Backyard Suite where the suite is located:
 - i. in Area 1 of the Parking Areas Map
 - ii. in Area 2 of the Parking Areas Map and within: A. 600 metres of a capital funded Light Rail Transit platform; B. 400 metres of a Bus Rapid Transit stop; or C. 400 metres of a bus service which generally has frequency of at least one bus every 20 minutes on weekdays from 6:30 AM to 6:00 PM and a frequency of at least one bus every 30 minutes on weekday evenings from 6:00 PM to the end of service and on weekends during times of service.

Track your application on-line with VISTA. Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

- b. The Development Authority should consider natural and human-made barriers (e.g. waterbodies, landforms, skeletal and arterial roads) to accessing frequent transit service when considering a parking a relaxation for a Secondary Suite or Backyard Suite.

Busses do not meet policy requirements for relaxation:

- Weekdays (Route 145 = 28 min & Route 128 = 32 min.) when a 20 minute frequency is required.
- Evenings & weekends (Route 145 = 25 min), or peak periods (Route 145 = 15 min & Route 128 = 33 min.) meet the minimum policy standards.
- Route 145 does not meet the policy consideration for part b above as noted in the table below.

| Bylaw Discrepancies | | |
|--|---|--|
| Regulation | Standard | Provided |
| 464 Parcel Width | (1) The minimum parcel width is: | Plans indicate a parcel width of 8.46m(-0.54m). |
| | (b) 9.0 metres for a parcel containing a Backyard Suite or Secondary Suite, unless otherwise referenced in subsection (c); and (c) 7.5 metres for a parcel containing a Backyard Suite or Secondary Suite where: (i) it is located on a corner parcel or laned parcel; and (ii) 3.0 or more motor vehicle parking stalls are provided on the parcel; | Plans indicate 2(-1) motor vehicle parking stalls are provided on the subject parcel. <i>Relaxation is not supported.</i> |
| 473 Parking | The minimum number of motor vehicle parking stalls is 2.0 stalls for a Single Detached Dwelling located on a parcel with a parcel width less than 9.0 metres. | Plans indicate 1(-1) motor vehicle parking stall is provided for the Single-detached Dwelling. <i>Relaxation is not supported</i> |
| Notes: XREF BP2021-17648 to confirm garage dimensions | | |
| Parcel Width: 8.46m AVPA: Parcel is no longer located within AVPA as per current map. Floodway / Flood fringe: N/A | | |
| Considerations for Parking | | |
| a. The Development Authority may consider a parking relaxation for a Secondary Suite or Backyard Suite based on the proximity of the suite to the Centre City and to | i. in Area 1 of the Parking Areas Map | Not applicable. |
| | ii. in Area 2 of the Parking Areas A. 600 metres of a capital funded Light Rail Transit platform; | Not applicable. |

Track your application on-line with VISTA. Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

| | | | | | | | | | | | |
|--|-----------------|--|---|-------------------------|---------|---------|---------|---------|----------|-----------|------|
| frequent transit service. The Development Authority may consider relaxing the minimum parking requirements for a Secondary Suite or Backyard Suite where the suite is located: | Map and within: | B. 400 metres of a Bus Rapid Transit stop; or | Not Applicable. | | | | | | | | |
| | | C. 400 metres of a bus service which generally has frequency of at least one bus every 20 minutes on weekdays from 6:30 AM to 6:00 PM and a frequency of at least one bus every 30 minutes on weekday evenings from 6:00 PM to the end of service and on weekends during times of service. | # | Route Name | AM Peak | Mid Day | PM Peak | Evening | Sat. Day | Sat. Eve. | Sun. |
| | | | 1 2 8 | Corn stone / Redstone | 32 | 32 | 33 | / | / | / | / |
| | | | 1 4 5 | Skyview Ranch/ Redstone | 8/15 | 28 | 6/12 | 25 | 25 | 25 | 25 |
| b. The Development Authority should consider natural and human-made barriers (e.g. waterbodies, landforms, skeletal and arterial roads) to accessing frequent transit service when considering a parking a relaxation for a Secondary Suite or Backyard Suite. | | | Route 145 is right at the edge of the 400m, and you need to cross 128 AV NE arterial road and Skyview Ranch MR NE which are not pedestrian friendly, making it less likely this bus will be used. | | | | | | | | |

Prior to Decision Requirements

The following issues must be addressed by the Applicant through a written submission and amended plans prior to a decision by the Approving Authority:

Planning

- The development, as proposed, is not supported for the following reasons:
 - Reference issues/rationale elsewhere in the Detailed Review, including policy section and Prior to Decision issues.

Indicate, in writing, the manner in which the application will proceed:

(A) Request **cancellation** of the application. Any applicable fee refund will be determined at the time of cancellation.

(B) **Pursue** the application, as proposed, with a decision of refusal by the Development Authority. The refusal will be based on the comments listed above.

OR

Track your application on-line with VISTA. Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

(C) **Amend** the application to address all prior to decision conditions of this detailed review (DR).

If option (C) is pursued, the last day to respond to the detailed review is thirty days from the date the detailed review was issued (see cover page of detailed review for exact date).

Prior to Release Requirements

The following requirements shall be met prior to the release of the permit. All requirements shall be resolved to the satisfaction of the Approving Authority:

Planning

2. The Prior to Release conditions will be finalized at the time of Development Authority decision.

Permanent Conditions

The following permanent conditions shall apply:

Planning

3. The permanent conditions will be finalized at the time of Development Authority decision.
4. The development shall be completed in its entirety, in accordance with the approved plans and conditions. The stamped and signed plans are a legal document.
5. No changes to the approved plans shall take place unless authorized by the Development Authority. If changes to the development occur or are proposed, a new development permit or revised plan application may be required.
6. A development completion permit must be issued for the development before the use is commenced or the development occupied. A development completion permit is independent from the requirements of City of Calgary Building Regulations inspections and permission for occupancy. Request a development completion permit inspection by visiting inspections.calgary.ca or call 403-268-5311.

Advisory Comments

The following advisory comments are provided as a courtesy to the Applicant and registered property owner. The comments represent some, but not all of the requirements contained in the Land Use Bylaw that must be complied with as part of this approval.

Planning

7. The advisory comments will be finalized at the time of Development Authority decision.
8. The Applicant may appeal the decision of the Development Authority, including any of the conditions of the development permit. If you decide to file an appeal, please refer to the notification of decision letter for the appropriate appeal body and appeal process.
9. The approval of this development permit does not limit in any way the application of any federal, provincial, or municipal law, policy, code, regulation, bylaw, and/or guideline, nor does it constitute any permit or permission under any federal, provincial, or municipal law, policy, code, regulation, bylaw, and/or guideline.
10. In addition to this development permit, building permits may also be required. Building permit applications may be submitted upon approval of the associated development permit. Contact Building Regulations at 403-268-5311 for further information.
11. This development permit has not been reviewed for potential issues with the National Building Code - 2019 Alberta Edition. You may require a Building Permit in addition to this development permit in which case compliance with the Code will be assessed through a Building Permit application. Should a Building Permit review require changes to the approved development permit, the changes must be to the satisfaction of the Development Authority and are potentially subject to a new development permit.
12. All plumbing services including sanitary, storm and water must be verified onsite by the owner and/or builder to ensure the size and location is compliant with the National Plumbing Code of Canada for the number of fixtures being installed. The waterline must be of the size that is indicated on the grade slip, but in no case smaller than 1 in size.
13. There are many types of caveats and other agreements that can be registered on the title of the property that can restrict the ability to develop. The City has not reviewed or considered all instruments registered on the title to this property. Property owners must evaluate whether this development is in compliance with any documents registered on title.

FILE: DP2023-03313

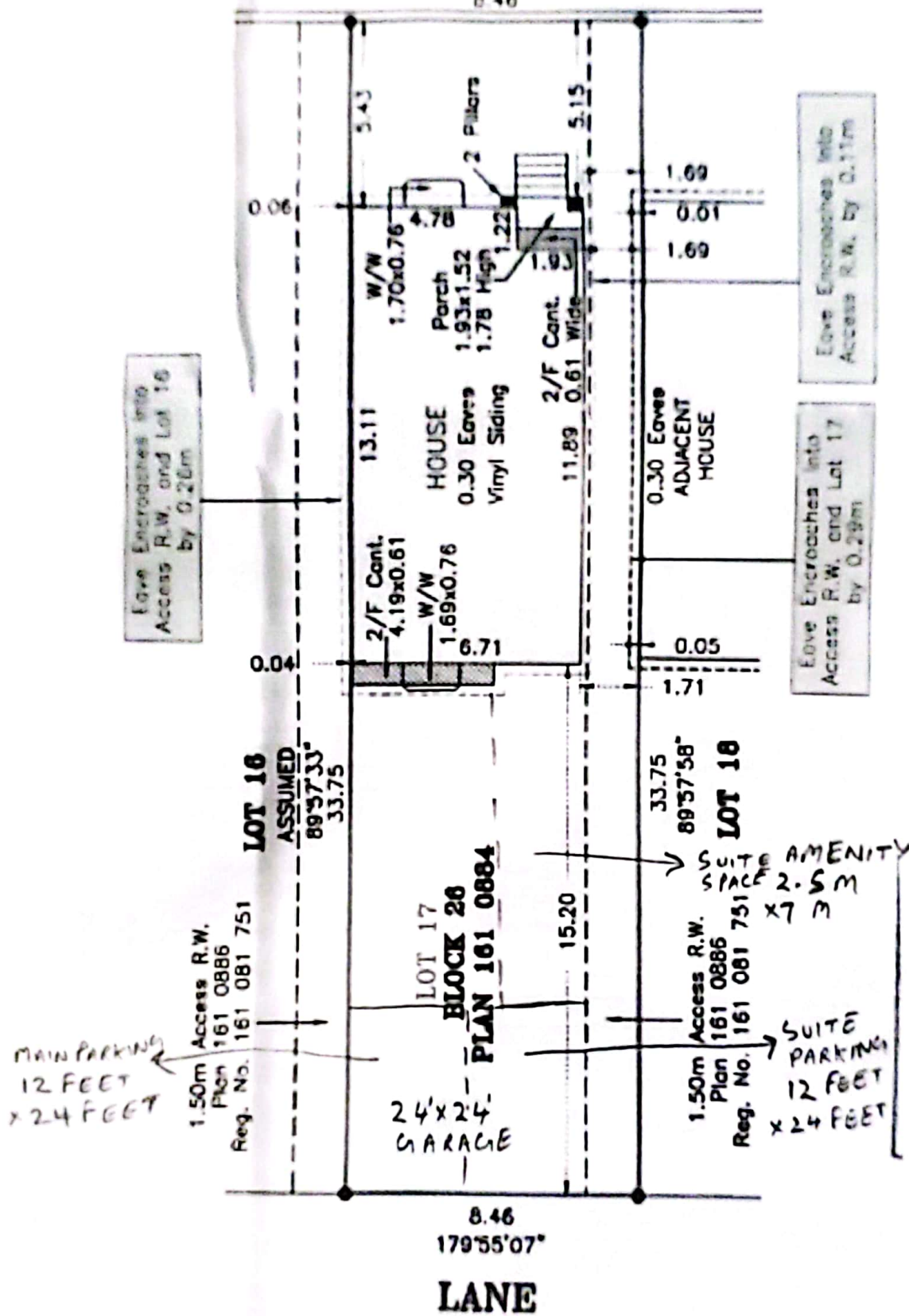
DATE RECEIVED: May 26, 2023

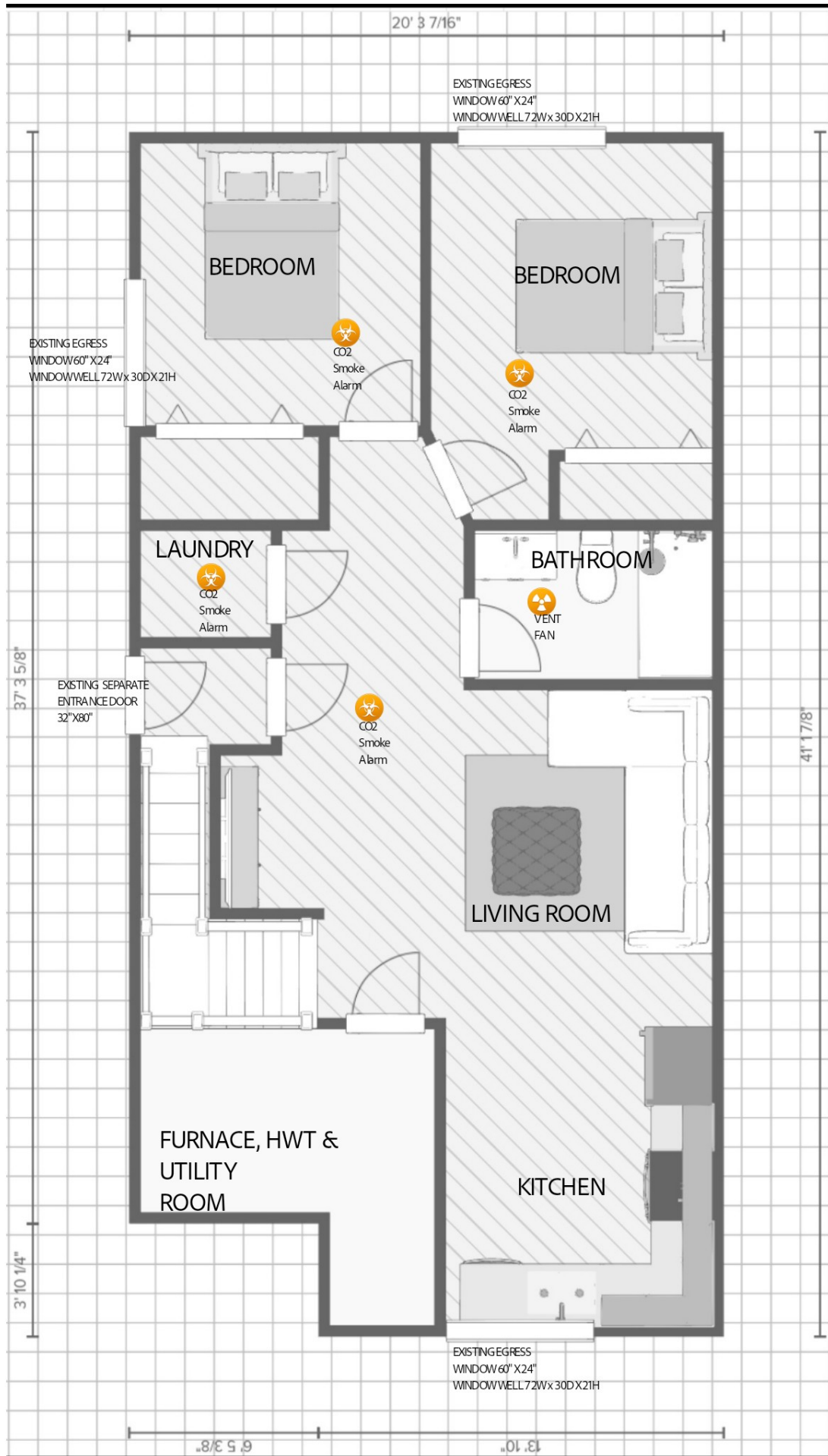
APPLICATION ADDRESS: 59 REDSTONE BV NE

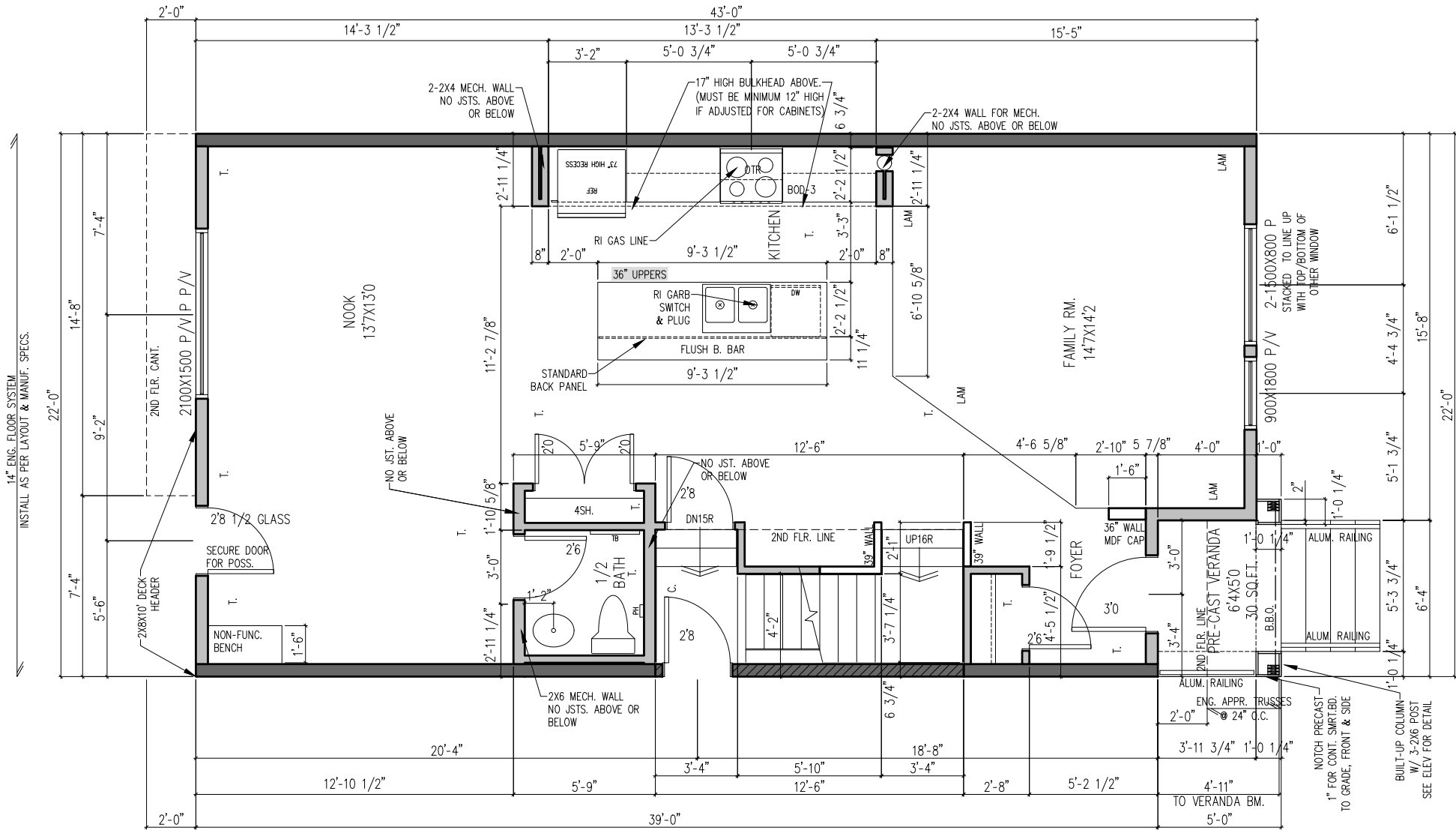
| Bylaw Discrepancies | | | | | | | | | | | | |
|---|---|--|--|--|------------|---------|---------|---------|---------|----------|-----------|------|
| Regulation | | Standard | | | Provided | | | | | | | |
| 464 Parcel Width | (1) The minimum parcel width is: (b) 9.0 metres for a parcel containing a Backyard Suite or Secondary Suite, unless otherwise referenced in subsection (c); and (c) 7.5 metres for a parcel containing a Backyard Suite or Secondary Suite where: (i) it is located on a corner parcel or laned parcel; and (ii) 3.0 or more motor vehicle parking stalls are provided on the parcel; | | | Plans indicate a parcel width of 8.46m(-0.54m). | | | | | | | | |
| | | | | Plans indicate 2(-1) motor vehicle parking stalls are provided on the subject parcel. | | | | | | | | |
| 473 Parking | The minimum number of motor vehicle parking stalls is 2.0 stalls for a Single Detached Dwelling located on a parcel with a parcel width less than 9.0 metres. | | | Plans indicate 1(-1) motor vehicle parking stall is provided for the Single-detached Dwelling. | | | | | | | | |
| Notes: XREF BP2021-17648 to confirm garage dimensions | | | | | | | | | | | | |
| Parcel Width: 8.46m AVPA: Parcel is no longer located within AVPA as per current map. Floodway / Flood fringe: N/A | | | | | | | | | | | | |
| Considerations for Parking | | | | | | | | | | | | |
| a. The Development Authority may consider a parking relaxation for a Secondary Suite or Backyard Suite based on the proximity of the suite to the Centre City and to frequent transit service. The Development Authority may consider relaxing the minimum parking requirements for a Secondary Suite or Backyard Suite | i. in Area 1 of the Parking Areas Map | | | Not applicable. | | | | | | | | |
| | ii. in Area 2 of the Parking Areas Map and within: | A. 600 metres of a capital funded Light Rail Transit platform; | | N/A | | | | | | | | |
| | | B. 400 metres of a Bus Rapid Transit stop; or | | N/A | | | | | | | | |
| | | C. 400 metres of a bus service which generally has frequency of at least one | | # | Route Name | AM Peak | Mid Day | PM Peak | Evening | Sat. Day | Sat. Eve. | Sun. |

| | | | | | | | | | | | |
|--|--|---|---------------|---------------------------|------|----|------|----|----|----|----|
| where the suite is located: | | bus every 20 minutes on weekdays from 6:30 AM to 6:00 PM and a frequency of at least one bus every 30 minutes on weekday evenings from 6:00 PM to the end of service and on weekends during times of service. | 1 2 8 | Corn stone / Red stone | 32 | 32 | 33 | / | / | / | / |
| | | | 1 4 5 | Skyview Ranch / Red stone | 8/15 | 28 | 6/12 | 25 | 25 | 25 | 25 |
| b. The Development Authority should consider natural and human-made barriers (e.g. waterbodies, landforms, skeletal and arterial roads) to accessing frequent transit service when considering a parking a relaxation for a Secondary Suite or Backyard Suite. | | | FM to review. | | | | | | | | |

0.30m to Back of Sidewalk
179°52'41"
8.46







STANDARD MAIN FLOOR

WALL STYLE LEGEND:

- 2X4 ON FLAT
- STANDARD INTERIOR WALL
- 39" HALF WALL HEIGHT
- SOUND INSULATED WALL
- STANDARD EXTERIOR WALL
- TALL WALL FRAMING (SEE ENGINEERING SPECS.)
- NON-STANDARD EXTERIOR WALL HEIGHT
- ZERO LOT LINE WALL
- ZERO LOT LINE TALL WALL (SEE ENGINEERING SPECS.)

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OUR BEST IN ALL WE DO



5661-7TH STREET N.E.
CALGARY, ALBERTA T2E 8V3
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THE SIENNA
CELEBRATION ZLL SPEC 2017
ORIGINALLY DESIGNED BY
MJV NOV 2015

MAIN FLOOR
921 SQ.FT.

1876 SQ.FT. TOTAL
0 SQ.FT. BSMT. DEV.

SCALE 3/16" = 1'-0"

CHECKSET 1 LHF DEC.1/16
CS 1 AR LHF JAN. 11/17

FINAL PLAN LHF JAN.13/17

CHECKSET APPROVAL

INIT. DATE
FINAL PLAN APPROVAL

INIT. DATE

DRAWING SPECIFIC NOTES

MAIN FLOOR
LAM. AREA
186 SQ.FT.

MAIN FLOOR
TILE AREA
567 SQ.FT.

9' MAIN FLOOR WALLS

C/W 76 WINDOW HEADER HEIGHT
--- SQUARE ARCHES @ 8'0" OR
TO UNDERSIDE OF BEAM
UNLESS SPECIFICALLY NOTED

FINAL CABINET LAYOUTS

SEE FINAL CABINET DRAWINGS FOR
VERIFICATION AND/OR SPECIFIC
KITCHEN/BATH, ETC. ADJUSTMENTS

BAL
RESIDENCE

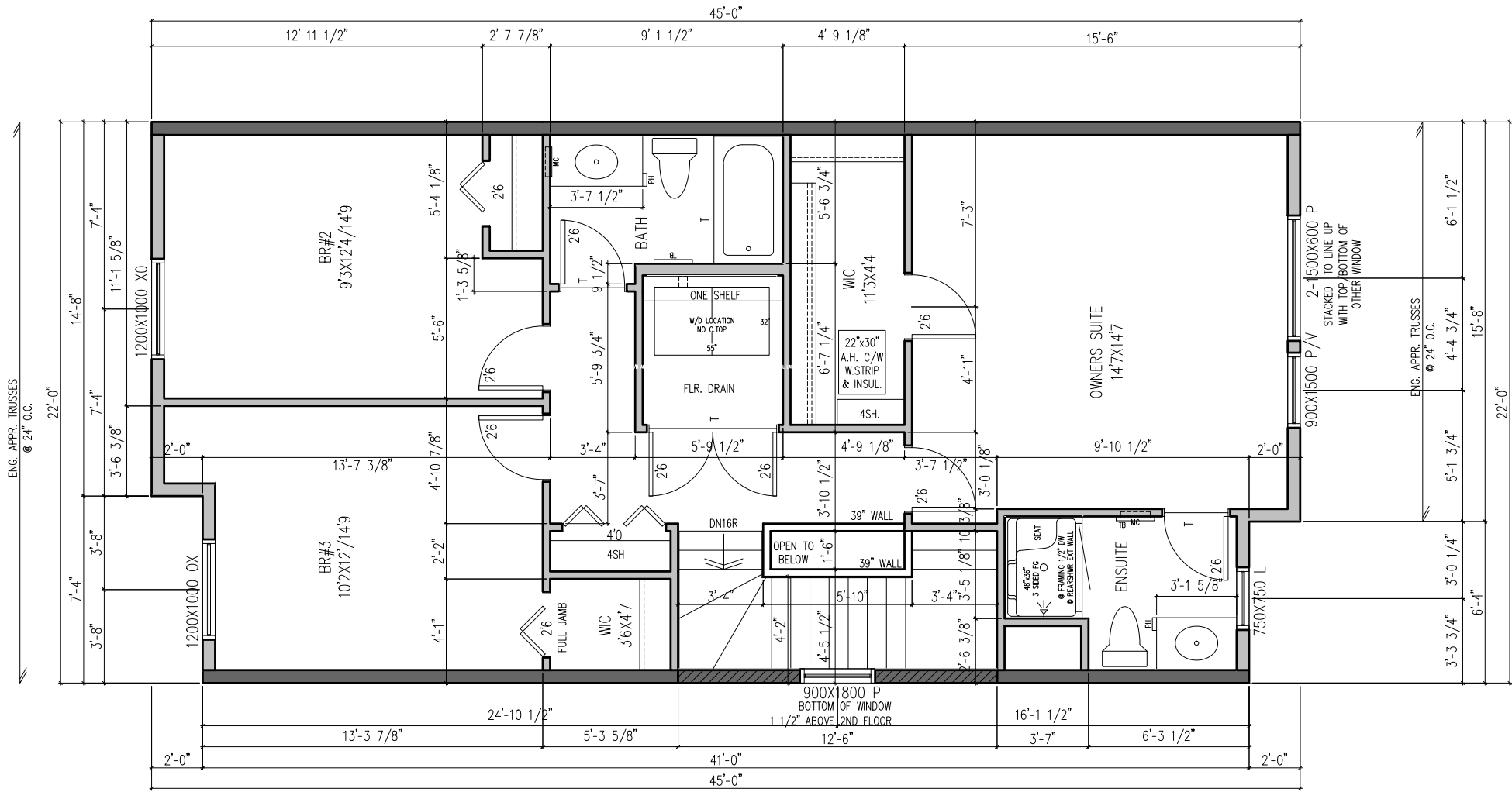
PROJECT ADDRESS
59 REDSTONE BLVD NE

CALGARY

JOB NUMBER
RDZ-17-113

1

16



STANDARD 2ND FLOOR

WALL STYLE LEGEND:

- 2X4 ON FLAT
- STANDARD INTERIOR WALL
- 39" HALF WALL HEIGHT
- SOUND INSULATED WALL
- STANDARD EXTERIOR WALL
- TALL WALL FRAMING
(SEE ENGINEERING SPECS.)
- NON-STANDARD
EXTERIOR WALL HEIGHT
- ZERO LOT LINE WALL
- ZERO LOT LINE TALL WALL
(SEE ENGINEERING SPECS.)

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CALGARY, ALBERTA T2E 8V3
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THE SIENNA
CELEBRATION ZLL SPEC 2017
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MJV NOV 2015

2ND FLOOR
955 SQ.FT.

1876 SQ.FT. TOTAL
0 SQ.FT. BSMT. DEV.

SCALE 3/16" = 1'-0"

CHECKSET 1 LHF DEC.1/16
CS 1 AR LHF JAN. 11/17

FINAL PLAN LHF JAN.13/17

CHECKSET APPROVAL

INIT. DATE
FINAL PLAN APPROVAL

INIT. DATE

DRAWING SPECIFIC NOTES

| | |
|--------------------------------------|-------------------------------------|
| 2ND FLOOR LINO AREA N/A SQ.FT. | 2ND FLOOR TILE AREA 91 SQ.FT. |
|--------------------------------------|-------------------------------------|

8' SECOND FLOOR WALLS

C/W 70 WINDOW HEADER HEIGHT
--- SQUARE ARCHES @ 70" OR
TO UNDERSIDE OF BEAM
UNLESS SPECIFICALLY NOTED

FINAL CABINET LAYOUTS

SEE FINAL CABINET DRAWINGS FOR
VERIFICATION AND/OR SPECIFIC
KITCHEN/BATH. ETC. ADJUSTMENTS

BAL
RESIDENCE

PROJECT ADDRESS
59 REDSTONE BLVD NE
CALGARY

JOB NUMBER
RDZ-17-113

2

16

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THE SIENNA
CELEBRATION ZLL SPEC 2017
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BASEMENT FLOOR

1876 SQ.FT. TOTAL
0 SQ.FT. BSMT. DEV.

SCALE 3/16" = 1'-0"

CHECKSET 1 LHF DEC.1/16
CS 1 AR LHF JAN. 11/17

FINAL PLAN LHF JAN.13/17

CHECKSET APPROVAL

| |
|------------------------|
| INIT. _____ DATE _____ |
| FINAL PLAN APPROVAL |

INIT. _____ DATE _____

DRAWING SPECIFIC NOTES

BASEMENT WINDOW R.O.'S

1200x755 XIVSL - 48" x30 1/2"
1200x755 VSL - 48" x30 1/2"
1500x603 XIVSL - 59 7/8" x24 1/2"
1500x603 VSL - 59 7/8" x24 1/2"
ALL OTHERS REQUIRES R.O. CONFIRMATION

WING WALL HEIGHTS

AS REQ. FOR PRECAST STEP & PRECAST
DECK - T.O.S TO T.O.WW.
2-RISER-25" 3-RISER-31"
4-RISER-39" 5-RISER-47"
6-RISER-55"

BAL
RESIDENCE

PROJECT ADDRESS
59 REDSTONE BLVD NE

CALGARY

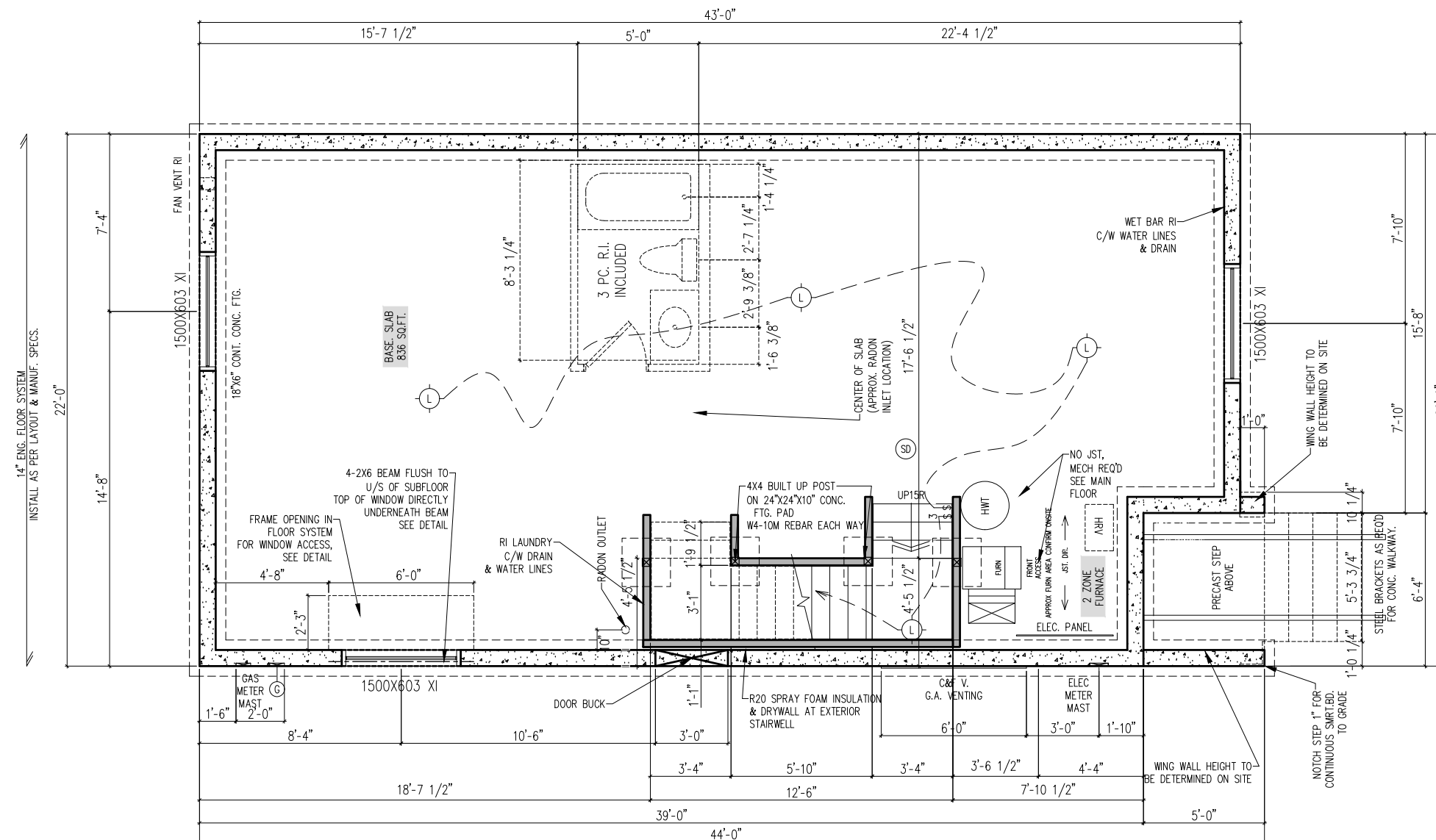
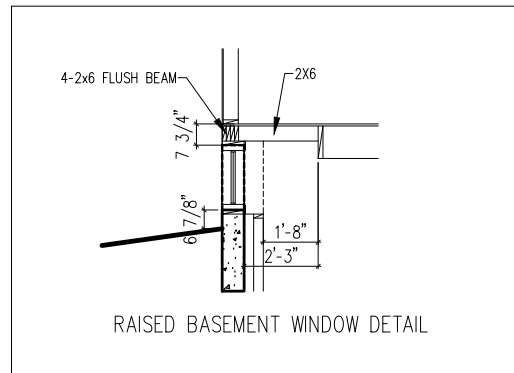
JOB NUMBER
RDZ-17-113

3

16 |

STEEL BRACKETS AT FRONT ENTRY, SUPPORTING CONC. WALKS, ADD LANDING DEPTH FOR PRECASTS.

3RISE = 4' BRACKET
4RISE = 5' BRACKET
5RISE = 6' BRACKET
6RISE = 7' BRACKET



GENERAL NOTES

- ALL STRUCTURAL LUMBER IS #2 SPRUCE OR BETTER OR AS NOTED
- ALL STUDS ARE CONSTRUCTION GRADE SPR.
- ENGINEERED ROOF TRUSS SYSTEM DESIGN INSTALLATION SHALL BE AS PER MANUFACTURER'S LAYOUT
- ENGINEERED FLOOR SYSTEM DESIGN & INSTALLATION SHALL BE AS PER MANUFACTURER'S LAYOUT
- FRAMER IS TO INSTALL GYPSUM LOADING HATCH IN 2 STOREY HOMES, LOCATED BY FIELD STAFF. SEE DETAIL.
- FRAMER TO APPLY 3/8" OR 7/16" O.S.B. TO 1 SIDE OF ANY INT. BRG. WALL WHERE THE T&B PLATES WILL BE SIGNIFICANTLY CUT FOR MECHANICAL INSTALLATIONS. FIELD STAFF TO INDICATE WHICH WALLS.
- TALL WALLS REQUIRE ENGINEERING SPECIFICATIONS
- STANDARD R.O. FOR 1 PC. F.G. TUB/SHWR. UNITS IS 5'-0" ALL OTHERS 5'-1/2"
- STANDARD MIN. R.O. FOR A ENCLOSED WASHER/DRYER AREA IS 5'-8"x3'-2".
- WALL AREAS WHERE LIMITING DISTANCE IS LESS THAN 1.2M REQUIRE 45 MIN. FIRE RATING.
- WHERE STEP FOOTINGS OCCUR, THE VERTICAL & HORIZONTAL DIMENSIONS SHALL NOT EXCEED 24"
- PER SPEC. OR AS A MIN. LOW-FLOW PLUMBING FIXTURES REQUIRE TOILETS 6 LITRES/FLUSH FAUCETS 8.3 LITRES/MINUTE AND SHOWERHEADS 9.5 LITRES/MINUTE MAX
- PROVIDE BACKING AT SM&SM/CM DETECT.
- ☒ = FOR BEAM SUPPORT FOR ROOMS OVER GARAGE USE MINIMUM 4-2x6 POST.
- ALBERTA FIRE CODE 5.6.1.2 - WHERE REQUIRED "PROTECTION OF ADJACENT BUILDING" SIDE WALLS & ROOF GABLES SHEETED WITH APPROVED FIRE-RETARDANT COATED 3/8" OR 7/16" O.S.B.
- FOUNDATION SHALL HAVE FALSE TILE C/W FIO DRAIN SYSTEM
- ALL WINDOWS, DOORS & SKYLIGHTS ARE TO BE OPEN TERRAIN EXPOSURE WHICH MEET OR EXCEED R-PG30 WITH A DESIGN PRESSURE OF +/- 1440 Pa, WATER PENETRATION RESISTANCE OF 330Pa, & A2 AIR.
- AS PER THE ABC 2014 9.7.3.3, FOR CALGARY (-30°C) WINDOWS AND DOORS ARE TO HAVE A MAX. U-VALUE OF 1.70 OR BETTER PERFORMING & MIN. TEMP. INDEX ≥ 68. SKYLIGHTS ARE TO HAVE A MAX. U-VALUE OF 2.56 OR BETTER PERFORMING. SEE REPORT FOR EXACT U-VALUES.
- AS PER THE ABC 2014 9.7.6.1 WINDOWS, DOORS & SKYLIGHTS ARE TO BE INSTALLED IN ACCORDANCE WITH THE AAMA/WDMA/CSA 101/I.S.2/A440 NAFS SPECIFICATION, AS WELL AS, THE MANUFACTURER'S SPECIFICATIONS.

FLOORS

- F1 FINISH AS PER SPECIFICATIONS
3/8" OR 7/16" PARTICLE BOARD UNDER LINO AREAS OR 3/8" OR 7/16" PLYWOOD UNDER TILE AREAS
MIN. 23/32" O.S.B. SEE SPECIFICATIONS
11 7/8" ENG. FLOOR SYSTEM @ MAX 19.2" O.C., SEE LAYOUTS, INSTALLED AS PER MANUFACTURERS SPECS
1/2" INTERIOR GRADE GYPSUM BOARD, AS REQUIRED
- F2 3" CONCRETE SLAB
SLAB HEAT ONLY, INSTALL 3 1/4" RIGID INSUL. (R16.9)
6MIL POLY
5" GRAVEL
RADON PROTECTION AS PER DETAIL
- F3 4" CONCRETE SLAB
6x6x10 W.W.M. OR 10MM REBAR @ 24" O.C. EACH WAY
5" GRAVEL.
- F4 3" CONCRETE SLAB
SLAB HEAT ONLY, INSTALL 3 1/4" RIGID INSUL. (R16.9)
6MIL POLY VAPOUR BARRIER
5" GRAVEL
2" RIGID INSULATION, 48" AT FOUNDATION WALL
- F5 FINISH AS PER SPECIFICATIONS
3/8" OR 7/16" PARTICLE BOARD UNDER LINO AREAS OR 3/8" OR 7/16" PLYWOOD UNDER TILE AREAS
MIN. 23/32" O.S.B. SEE SPECIFICATIONS
11 7/8" ENG. FLOOR SYSTEM @ MAX 19.2" O.C., SEE LAYOUTS, INSTALLED AS PER MANUFACTURERS SPECS
R28 BIBS INSULATION
1/2" INTERIOR GRADE GYPSUM BOARD, AS REQUIRED
- F5B FINISH AS PER SPECIFICATIONS (MECH. RUNS)
3/8" OR 7/16" PARTICLE BOARD UNDER LINO AREAS OR 3/8" OR 7/16" PLYWOOD UNDER TILE AREAS
MIN. 23/32" O.S.B. SEE SPECIFICATIONS
11 7/8" ENG. FLOOR SYSTEM @ MAX 19.2" O.C., SEE LAYOUTS, INSTALLED AS PER MANUFACTURERS SPECS
R28 SPRAY FOAM INSULATION (FLR. JST. MECH. RUN)
R20 BATT INSULATION (DROP. MECH. BULKHEAD)
2X4 STEEL STUDS @24" O.C. (DROP. MECH. BULKHEAD)
1/2" INTERIOR GRADE GYPSUM BOARD, AS REQUIRED

EXTERIOR WALLS

- W1 FINISH AS PER SPEC & ELEVATION DRAWINGS
BUILDING PAPER
3/8" OR 7/16" O.S.B. OR FIRE-RETARDANT COATED 3/8" OR 7/16" O.S.B. @ SIDE WALLS WHERE REQUIRED
2x6 @ 24" O.C. OR 16" O.C. AT FIREPLACES, KITCHEN CABINETS, & SHOWERS
R20 F.G. BATT INSULATION
LINTELS AS PER CHART OR ENGINEERING LAYOUT
FLASHING OVER ALL OPENINGS
6MIL POLY VAPOUR BARRIER
1/2" GYPSUM

FOR WALKOUT ON 2 STORES ONLY:
W2 SAME AS W1 EXCEPT 2x6 IS 16"O.C.

W4 REFER TO FOUNDATIONS WALLS

- W5 1/2" GYPSUM BOARD
2X6 @24" O.C. OR 16" AT FIREPLACES, KITCHEN CABINETS & SHOWERS
R20 F.G. BATT INSULATION
6MIL POLY VAPOUR BARRIER
1/2" GYPSUM BOARD

INTERIOR WALLS

- W3 2x4 OR 2x6 PER PLAN 24" O.C. OR 16"O.C. AT KITCHEN CABINETS & SHOWERS
1/2" GYPSUM BOTH SIDES

EXTERIOR GARAGE WALL SPACING BY HEIGHT:
UP TO 11'-10" - 2X6 @ 16" O.C.
11'-10" TO 16'-7" - REQUIRES 2x6 @ 16" O.C. W/
BLOCKING @ 48" O.C.

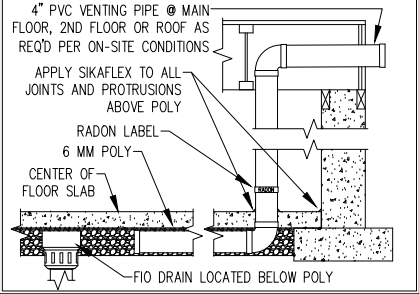
CANTILEVER

- C1 GENERAL FLOOR F1 CONSTRUCTION
6MM POLY VAPOUR BARRIER
R28 SPRAYFOAM CMC#13530-L
3/8" OR 7/16" O.S.B. WITH PREFINISHED PLAIN SOFFIT ON EXPOSED AREAS

ROOF

- R1 ASPHALT SHINGLES
ROOFING FELT
EAVE PROTECTION AS REQUIRED
3/8" OR 7/16" O.S.B. C/W H CLIPS
ENGINEER APPROVED TRUSSES @ 24" O.C.
R40 LOOSE FILL INSULATION/F.G. WHERE REQUIRED OR R20 F.G. FOR GARAGE CEILING.
6MM POLY VAPOUR BARRIER
1/2" INTERIOR GRADE GYPSUM BOARD
- R2 SAME AS R1 EXCEPT:
16" JSI CEILING JOIST AS PER MANUFACTURERS LAYOUT
R40 F.G. BATT INSULATION

PASSIVE RADON GAS VENTING DETAIL



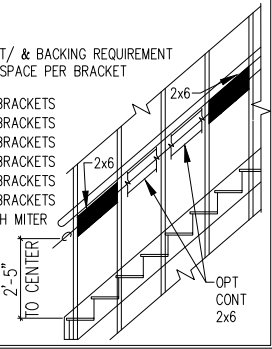
FOUNDATION WALLS

- W4 MINIMUM 6" PARGING
DAMP-PROOFING TO GRADE
8" CONCRETE WALL
1 ROW 10MM REBAR TOP & BOTTOM MINIMUM
ON 18"x6" CONTINUOUS CONCRETE FOOTING
INTERIOR DAMP-PROOFING TO GRADE AS REQUIRED
2x4 @ 24" O.C.
R20 INSULATION TO FLOOR
6MM POLY TO ALL AREAS

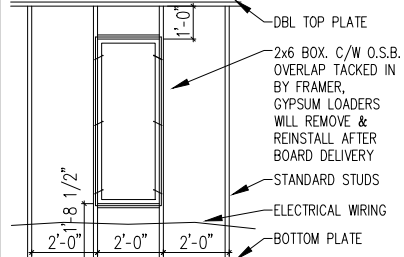
STAIR HANDRAIL

STAIR HANDRAIL LIN/FT/ & BACKING REQUIREMENT
1 BACKING PER STUD SPACE PER BRACKET

- UP TO 6.5' = 2 BRACKETS
UP TO 6.5' W/M = 3 BRACKETS
6.6' TO 11' = 3 BRACKETS
6.6' TO 11' W/M = 4 BRACKETS
OVER 11' = 4 BRACKETS
OVER 11' W/M = 5 BRACKETS
W/M = WITH MITER



GYPSUM LOADING HATCH SECOND STOREY ONLY



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THE SIENNA
CELEBRATION ZLL SPEC 2017
ORIGINALLY DESIGNED BY
MJV NOV 2015

"B" CROSS
SECTION

1876 SQ.FT. TOTAL
0 SQ.FT. BSMT. DEV.

SCALE 3/16" = 1'-0"

CHECKSET 1 LHF DEC.1/16
CS 1 AR LHF JAN. 11/17

FINAL PLAN LHF JAN.13/17

CHECKSET APPROVAL

INIT. _____ DATE _____
FINAL PLAN APPROVAL

INIT. _____ DATE _____

DRAWING SPECIFIC NOTES

LINTEL SPAN CHART

WINDOWS 1' - 6' 2-2x10
& DOORS 6' - 7' 3-2x10
ALL SIZES ARE BY DESIGN IF OVER 7',
SEE FLOOR LAYOUTS FOR SIZES

SOFFIT

ALL ROOF SOFFIT AREAS WITHIN 2.0m
OF SIDE PROPERTY LINES MUST HAVE
PREFINISHED NON-VENTED ALUMINUM
SOFFIT.

BAL
RESIDENCE

PROJECT ADDRESS

59 REDSTONE BLVD NE

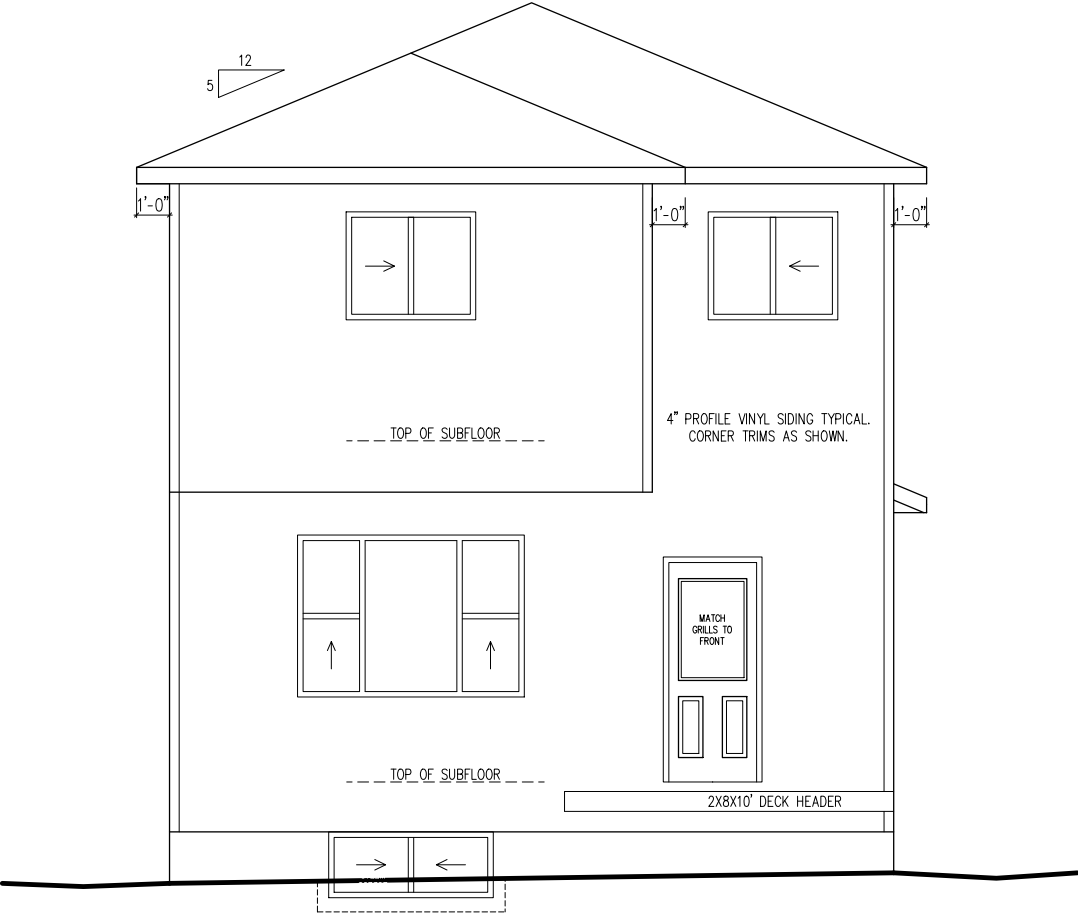
CALGARY

JOB NUMBER

RDZ-17-113

7

16



REAR ELEVATION "B"

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by SHANE HOMES

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THE SIENNA
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"B" REAR
ELEVATION

1876 SQ.FT. TOTAL
0 SQ.FT. BSMT. DEV.

SCALE 3/16" = 1'-0"

CHECKSET 1 LHF DEC.1/16
CS 1 AR LHF JAN. 11/17

FINAL PLAN LHF JAN.13/17

CHECKSET APPROVAL

INIT. _____ DATE _____
FINAL PLAN APPROVAL

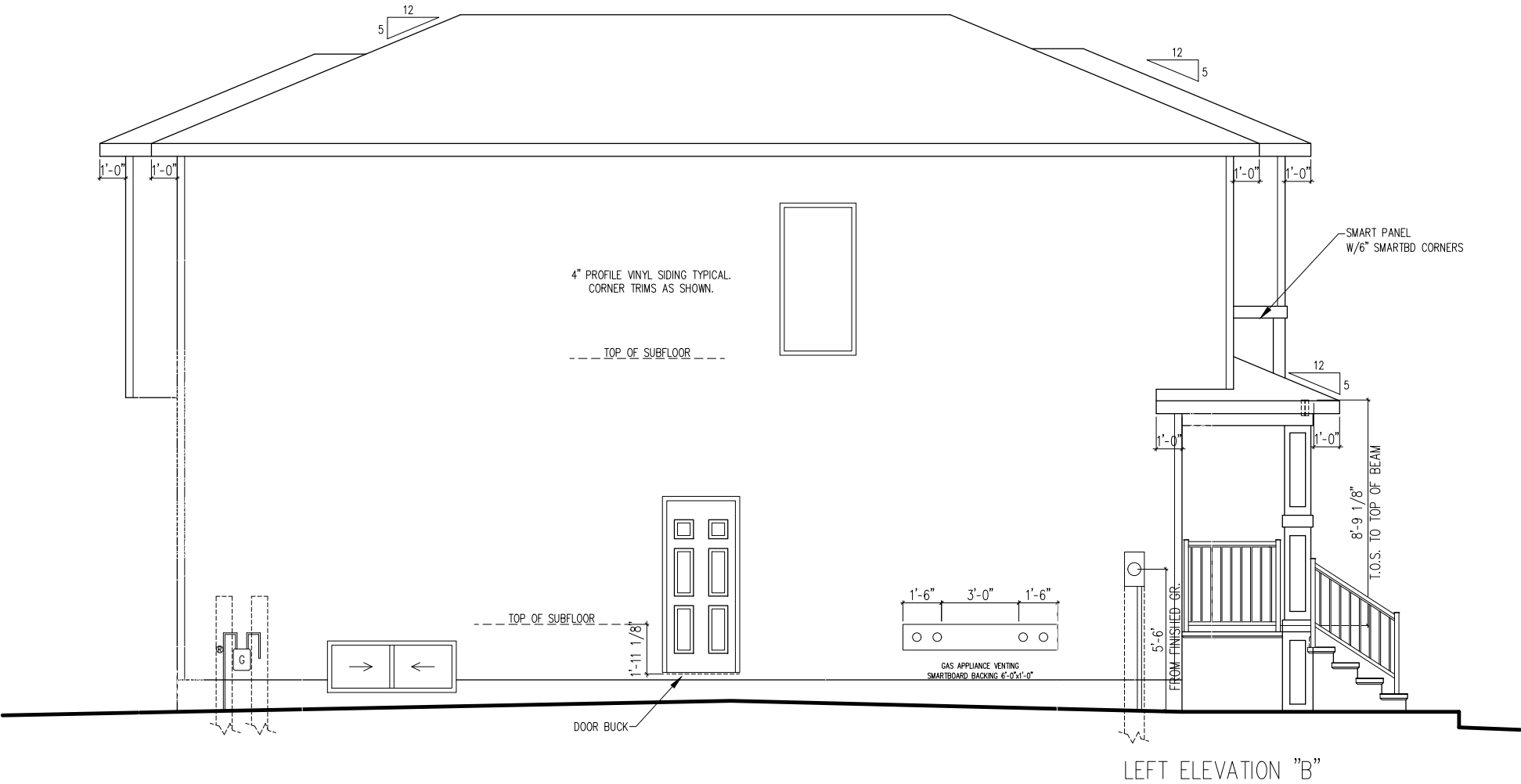
INIT. _____ DATE _____
DRAWING SPECIFIC NOTES

BAL
RESIDENCE

PROJECT ADDRESS
59 REDSTONE BLVD NE
CALGARY

JOB NUMBER
RDZ-17-113

13
16



COMMITTED TO PROVIDING
OUR BEST IN ALL WE DO

creations
by SHANE HOMES

5661-7TH STREET N.E.
CALGARY, ALBERTA T2E 8V3
BUS: 536-2200 FAX: 536-2299

THE SIENNA
CELEBRATION ZLL SPEC 2017
ORIGINALLY DESIGNED BY
MJV NOV 2015

"B" LEFT
ELEVATION

1876 SQ.FT. TOTAL
0 SQ.FT. BSMT. DEV.

SCALE 3/16" = 1'-0"

CHECKSET 1 LHF DEC.1/16
CS 1 AR LHF JAN. 11/17

FINAL PLAN LHF JAN.13/17

CHECKSET APPROVAL

INIT. _____ DATE _____
FINAL PLAN APPROVAL

INIT. _____ DATE _____

DRAWING SPECIFIC NOTES
UNPROTECTED OPENINGS

| TOTAL WALL AREA (SQ.FT.) | TOTAL GLASS AREA (SQ.FT.) |
|-----------------------------|------------------------------|
| 899.64 | 28.21 |
| GLASS COVERAGE (%) | ALLOWABLE GLASS (%) |
| 3.14 | 7.00 |

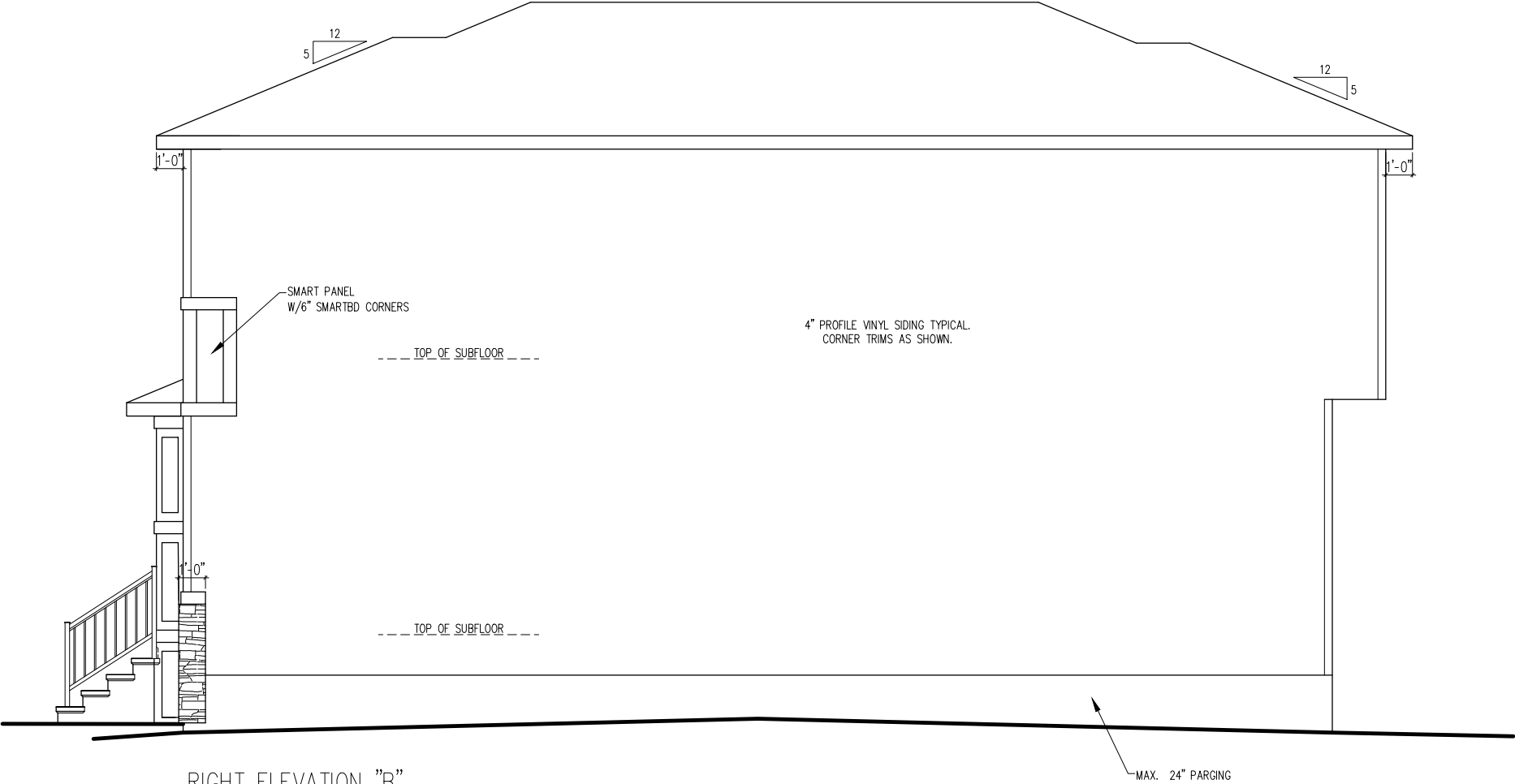
BAL
RESIDENCE

PROJECT ADDRESS
59 REDSTONE BLVD NE
CALGARY

JOB NUMBER
RDZ-17-113

14

16



RIGHT ELEVATION "B"

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CALGARY, ALBERTA T2E 8V3
BUS: 536-2200 FAX: 536-2299

THE SIENNA
CELEBRATION ZLL SPEC 2017
ORIGINALLY DESIGNED BY
MJV NOV 2015

"B" RIGHT
ELEVATION

1876 SQ.FT. TOTAL
0 SQ.FT. BSMT. DEV.

SCALE 3/16" = 1'-0"

CHECKSET 1 LHF DEC.1/16
CS 1 AR LHF JAN. 11/17

FINAL PLAN LHF JAN.13/17

CHECKSET APPROVAL

INIT. _____ DATE _____
FINAL PLAN APPROVAL

INIT. _____ DATE _____
DRAWING SPECIFIC NOTES

BAL
RESIDENCE

PROJECT ADDRESS
59 REDSTONE BLVD NE
CALGARY

JOB NUMBER
RDZ-17-113

15
16

COMMITTED TO PROVIDING
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THE SIENNA
CELEBRATION ZLL SPEC 2017
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MJV NOV 2015

"B" FRONT
ELEVATION

1876 SQ.FT. TOTAL
0 SQ.FT. BSMT. DEV.

SCALE 3/16" = 1'-0"

CHECKSET 1 LHF DEC.1/16
CS 1 AR LHF JAN. 11/17

FINAL PLAN LHF JAN.13/17

CHECKSET APPROVAL

INIT. _____ DATE _____
FINAL PLAN APPROVAL

INIT. _____ DATE _____

DRAWING SPECIFIC NOTES

| MAIN STONE AREA | UPPER STONE AREA |
|--------------------|---------------------|
| 60 SQ.FT. | N/A SQ.FT. |

RAISE STONE 1/2" OFF CONC. FLATWORK

TRAVEL RESTRAINT ANCHORS
AS PER O.H.S. THIS HOME WILL HAVE
PERM. ROOF ANCHORS INST. AS PER THE
MAN. INSTALLATION INSTRUCTIONS. SEE
ACTUAL ANCHOR FOR SPEC. MAX.
LOADING AND CAUTIONS. ONLY APPR.
SAFETY EQUIP. SHOULD BE HARNESSSED
TO THESE ROOF ANCHORS.

FASCIA
ALL BUILDING FASCIA TO BE 6"
ALUMINUM, UNLESS NOTED OTHERWISE

BATTEN WORK
ALL BUILDING ENVELOPE BATTEN WORK IS
SMARTBOARD. VERANDA TRIM IS WOOD,
EX: 7/16" SMRTBD. PANEL, LATTICE, ETC.

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RESIDENCE

PROJECT ADDRESS
59 REDSTONE BLVD NE
CALGARY

JOB NUMBER
RDZ-17-113

16

16

6" WINDOW HDR.
6" SILL TRIM
6" SIDE TRIM TYP.

3.5" VINYL CORNER TRIM. TYP.

5 1/2" EXPOSED BULKHEAD

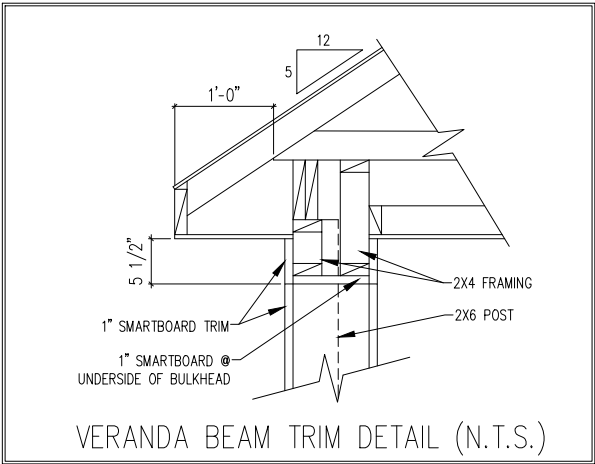
6" DOOR TRIM

SEE DETAIL FOR VERANDA COLUMN

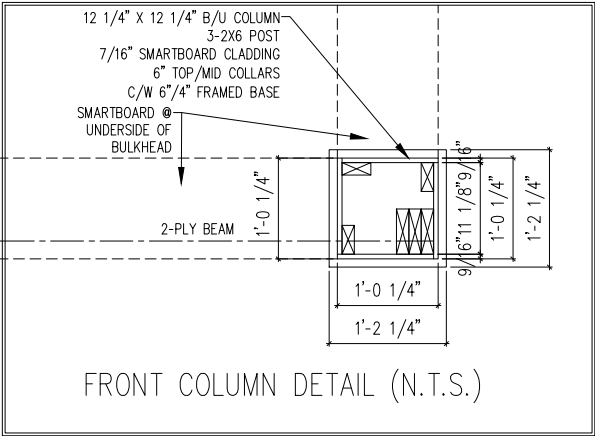
STONE



FRONT ELEVATION "B"
CRAFTSMAN



VERANDA BEAM TRIM DETAIL (N.T.S.)



FRONT COLUMN DETAIL (N.T.S.)

Appeal Board rec'd: September 13, 2023
Submitted by: A. Uppal, Appellant/Applicant

From: [Amarjeet Uppal](#)
To: [Calgary SDAB Info](#)
Subject: [External] Fwd: Notice of Hearing: SDAB2023-0048 (59 Redstone Blvd NE, DP2023-03313)
Date: Wednesday, September 13, 2023 11:27:19 AM
Attachments: [Appeal not heard 2023-0048.pdf](#)

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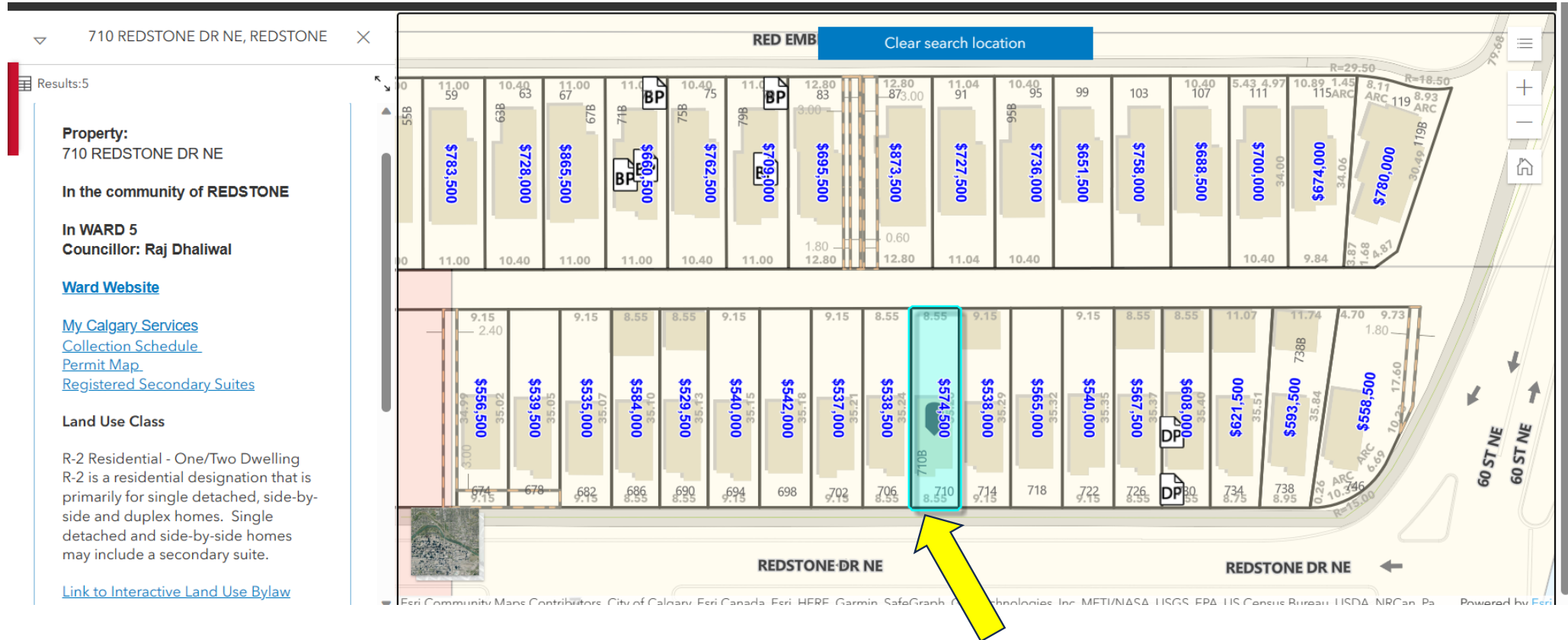
Morning,

I am attaching you my presentation for Appeal Number: SDAB2023-0048.

Thank you
Amarjeet Uppal
587-223-5356

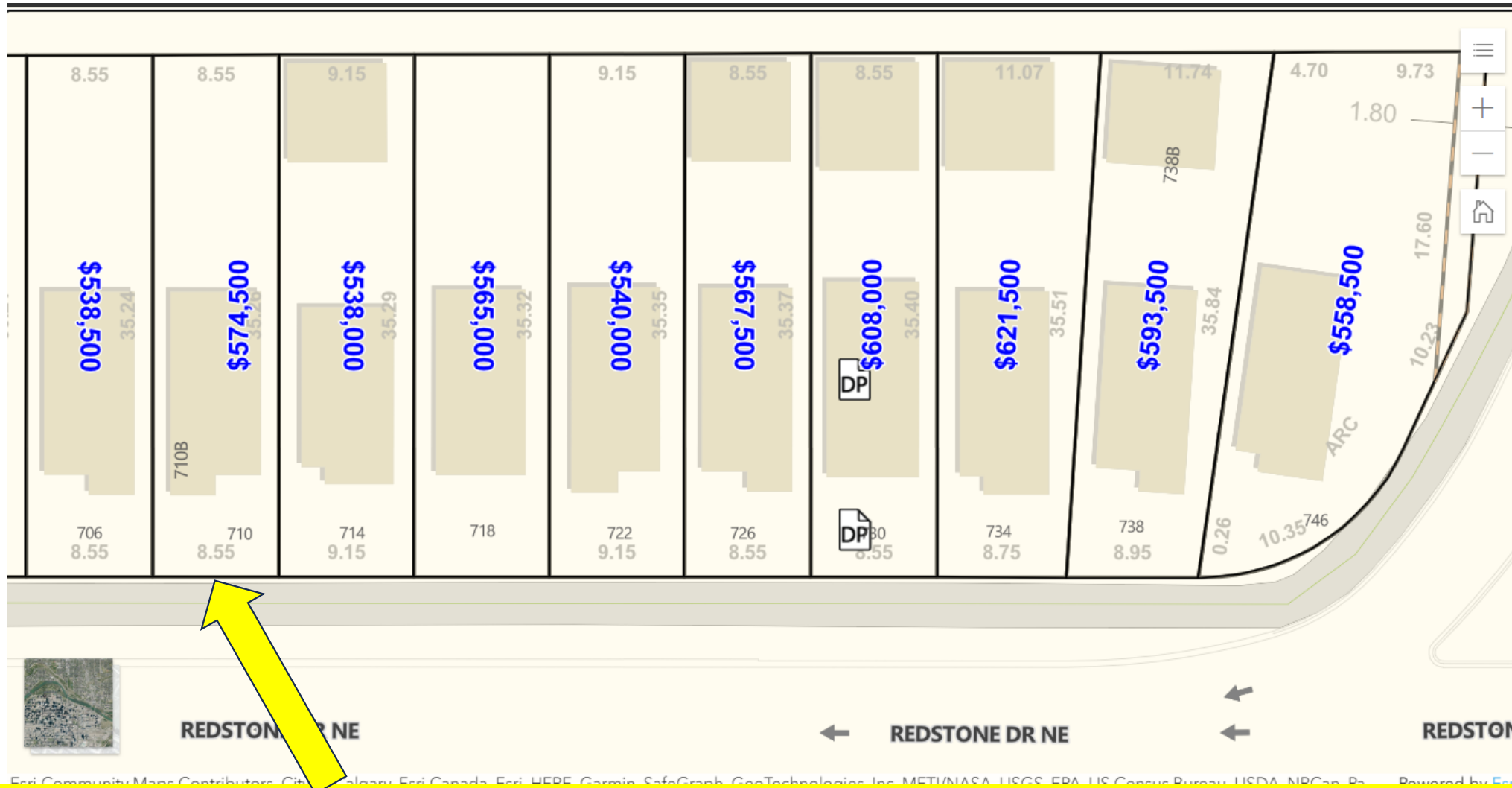
Name : Amarjeet Singh Uppal
Appeal No. SDAB 2023-0048
Contact No. 587-223-5356
Date of submitted :13-09-2023

**59, REDSTONE BLVD NE FOR
LEGAL SUITE BASEMENT APPEAL**



710 & 710B Redstone DR NE parcel width 8.55m

No Bus route on Redstone DR, they also using Bus route 128 which is on Redstone BV NE



Check in this image parcel width is 8.55m 710 Redstone Dr NE

Property 3.0

629 REDSTONE DR NE, REDSTONE

Results:5

My Property Details

1

Property:

629 REDSTONE DR NE

In the community of REDSTONE

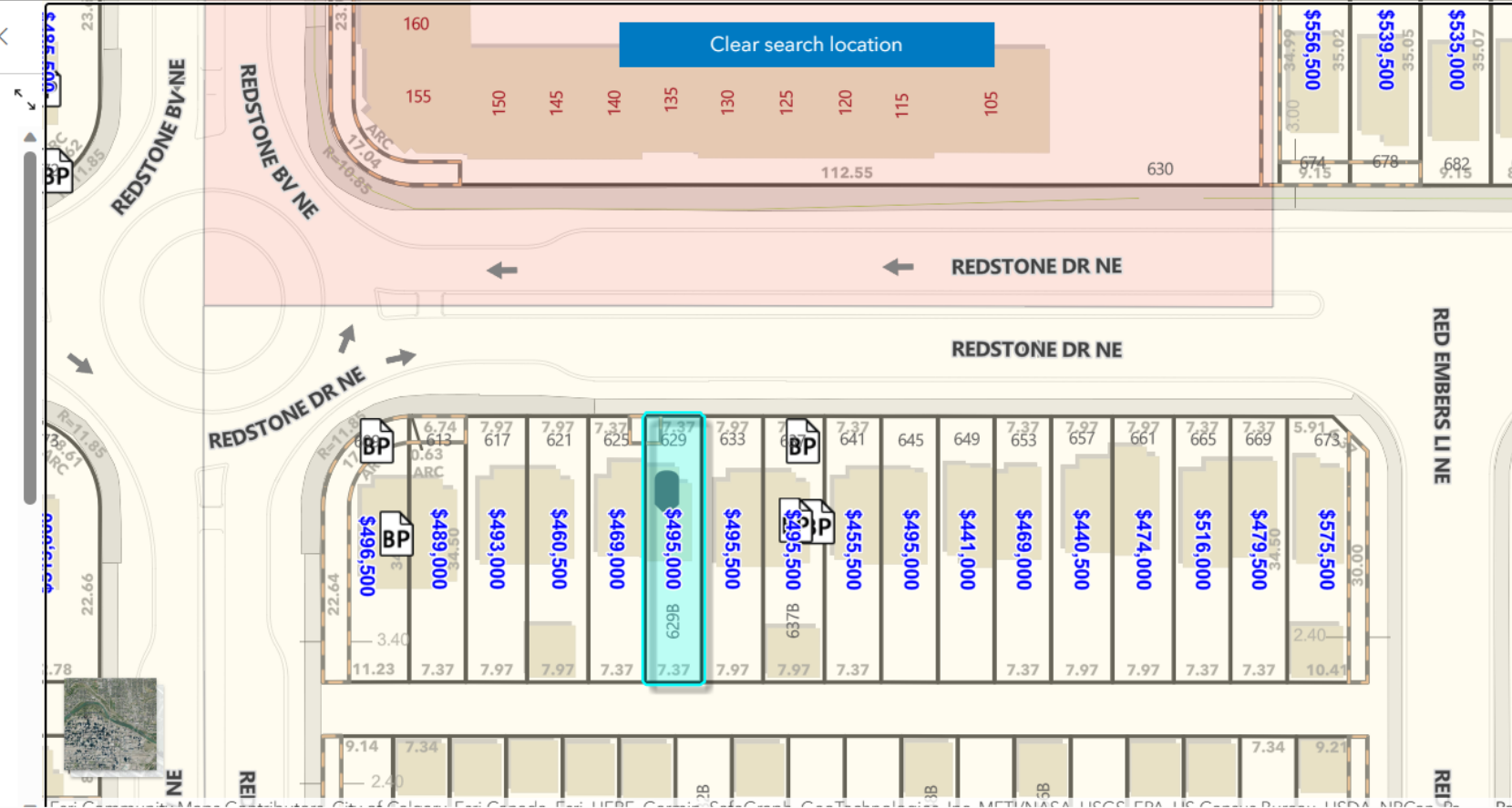
In WARD 5

Councillor: Raj Dhaliwal

[Ward Website](#)[My Calgary Services](#)[Collection Schedule](#)[Permit Map](#)[Registered Secondary Suites](#)

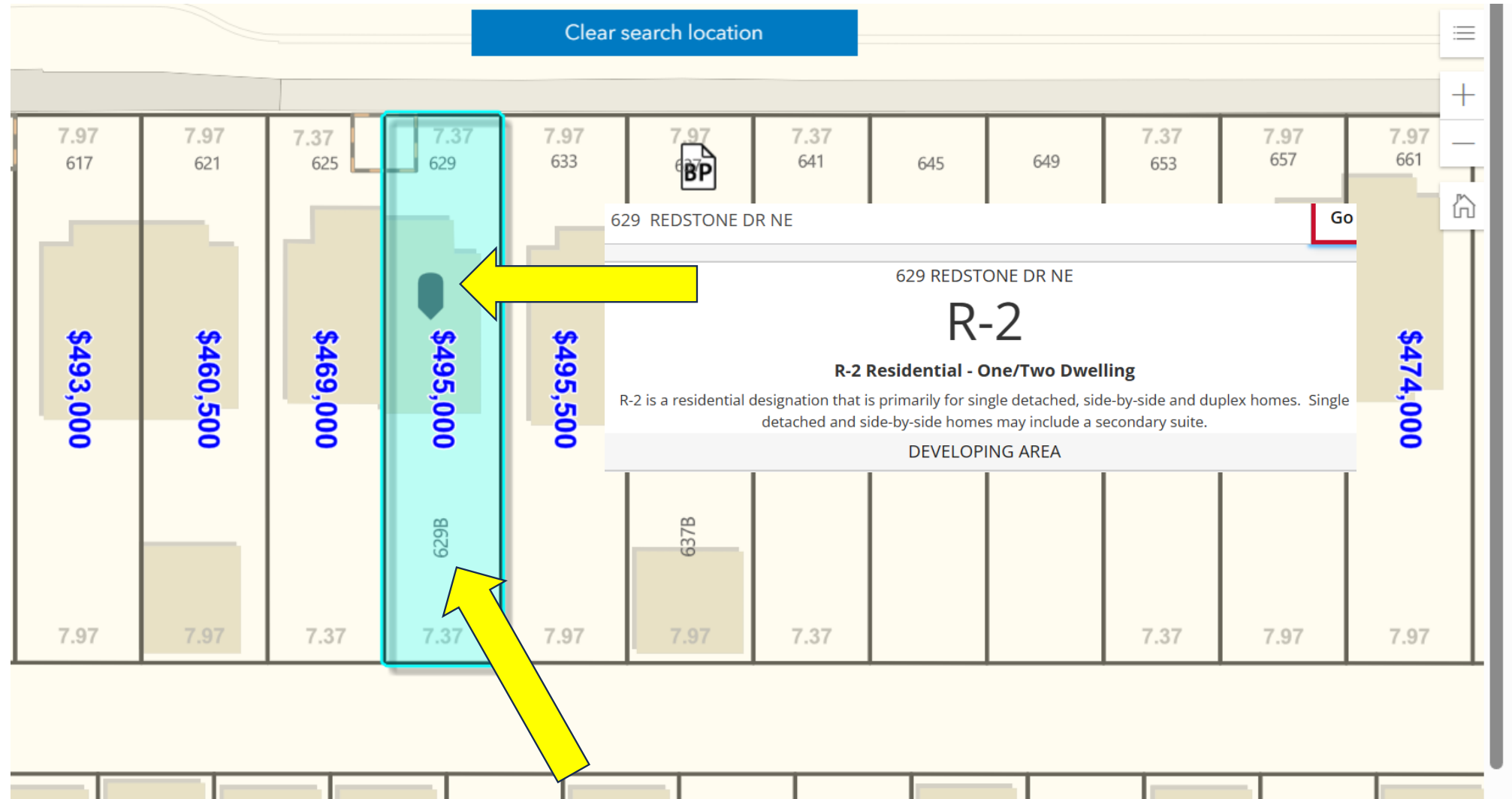
Land Use Class

R-2 Residential - One/Two Dwelling
R-2 is a residential designation that is primarily for single detached, side-by-side and duplex homes. Single detached and side-by-side homes



629 Redstone Dr NE parcel width 7.37m

No Bus route on Redstone DR, they also using Bus route 128 which is on Redstone BV NE



Check in this image parcel width is 7.37m 629 & 629B Redstone Dr NE

EXISTING 59 REDSTONE BLVD NE SECONARIO FOR TRANSIT ROUTE

- Existing 100m away from 128 bus route
- Existing Rapid Transit stop 400m for 145 bus route
- I talk with city of Calgary transit department for bus frequency increase (request No. 23-006315384)

Parking Space

- **Parking** problem is everywhere.
- I have one vehicle, so I also explain to tenant I give you one parking space in the garage.
- If city get any complaint for car parking from the neighbours, then city have a right to give a parking ticket.
- I am renting to students (only for girls).
- if city need for the parking payment for the front car parking, I will also pay for it.
- If I give advertisement for legal suite basement, then I always mention it one car parking available in garage.

Housing Crisis

- I cannot afford mortgage, so I want to build a legal suite basement
- During housing shortage or housing crisis in Calgary, I want to help to city.
- Demand increases and supply less as per requirement, if I make legal basement I am also helping to city and tenant.
- City of Calgary also having discussion on affordable housing.

**THANK YOU
FOR GIVING ME YOUR IMPORTANT TIME**

Appeal Board rec'd: September 19, 2023
Submitted by: A. Uppal, Appellant/Applicant/Owner

Morning SDAB,

Myself Amarjeet Uppal resident of 59, Redstone Blvd NE, Calgary, AB-T3N0R5. My development permit number: **DP2023-03313**. I want to make a secondary suite basement but due to some reason you refused. Appeal No. is **SDAB2023-0048**.

Parking

I am attaching here list of all my neighbour's signs; they have no issue and objection for our car parking.

One designated parking in the front of home. Two in the back alley.

Secondly, I apologize for my car's explanation, I have two cars, but I want to sell my one car if I get approval for the legal basement because I need money for development due to high interest rates, I cannot afford it.

We need only one car, because of I am working in day shift which is only 7 km one side and my wife working in night shift i.e., only walking distance now.

So, I can easily provide one parking slot to the tenant in our garage.

I already explain in previous document, I will explain to my tenant for the existing scenario for bus routes -128 is 100m away and 145 bus routes away from our location is 400m.

Alberta, like all provinces in Canada, is facing a housing and cost of living crisis that has created an urgent demand for supportive (like us legal basement) and affordable housing.

Increasing numbers of Canadians are moving to our province.

Please consider my appeal to all my decision maker members so I go for forward to accommodate to some one who ever needs more.

With Regards,

Amarjeet Uppal

2023-09-19

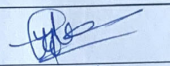

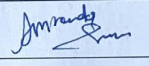
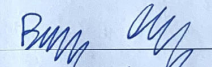
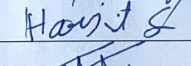
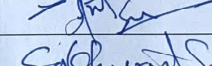
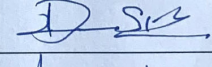
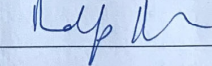
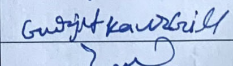
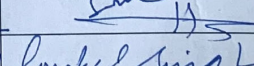
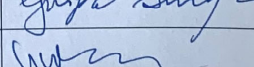
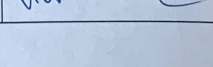
Hello Subdivision & Development Appeal Board Members.

I would like to draw your kind attention to a matter that, I, **Amarjeet Singh Uppal** had applied for a **Secondary Suite (Legal Basement)** for my current home address **59, Redstone Blvd NE, Calgary -T3N0R5**.

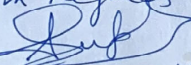
Because of the narrow parcel width, Car Parking and Bus Route -128, my application has been declined and Appeal No. is **SDAB2023-0048**.

Since my neighbour have no objections in any manner to parking issues whatever, I kindly request to you to reconsider my application for secondary suite with immediate effect.

Below here is witness.

| Home No. | Name | Signature |
|---|-----------------------|---|
| 71 Redstone Blvd, NE | Hardik Mahida |  |
| 75 Redstone Blvd NE | Rajdwanter Samra |  |
| 39 Redstone Blvd NE | JASPREET KAUR MANN | Jaspreet Kaur |
| 72 Redstone Blvd NE | Amrendra Singh Sahota |  |
| 54 Redstone Blvd. N.E | Bryan Gray |  |
| 68 Redstone N.E | Harjit Singh |  |
| 50 Redstone Blvd | Harjit Singh |  |
| Red Embury Karan 143 | Karan Kaur Singh | Sachdev Singh |
| 43 Redstone Blvd NE Calgary, AB T3N 0L3 | Darshan Singh |  |
| 31 Redstone Blvd NE Calgary, AB, T3N 0R5 | Ramandeep Mondal |  |
| 51 Redstone BLVD. | GUJRIT KAUR GILL |  |
| 55 RED STONE BLVD | ZAFAR IQBAL |  |
| 47 REDSTONE BLVD T3N 0R5 | GURPAL S CHEEMA |  |
| 64 Redstone Blvd | Gurinder Bhangra |  |

With Regards.


AMARJEET UPPAL

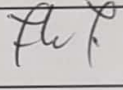
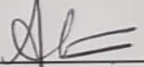
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Below here is witness.

| Home No. | Name | Signature |
|---------------------|--|---|
| 63 Redstone Blvd NE | BABU BALETHAVACHALAM Kaveriya Adusumali |   |

Your Regards,

Amarjeet Singh Uppal