

**REPORT TO THE SUBDIVISION AND
DEVELOPMENT APPEAL BOARD**

| | |
|---|---|
| DATE: May 5, 2026 | APPEAL NO.: SDAB2026-0052 FILE NO.: DP2025-06986 |
| APPEAL BY: Nathan Galambos | |
| FROM A DECISION OF THE DEVELOPMENT AUTHORITY where a New: Townhouse (1 building), Secondary Suite (4 suites), Accessory Residential Building (garage) was approved at <u>4228 Voyageur Drive NW.</u> | LAND USE DESIGNATION: R-CG Discretionary |
| COMMUNITY OF: Varsity | DATE OF DECISION: March 18, 2026 |
| APPLICANT: Chris Hill | OWNERS: Rezaul Alam & Tanziha Mowreen |

Notes:

- Notice has been given of the hearing pursuant to the *Municipal Government Act* and Land Use Bylaw, including notices to parties who may be affected by the appeal. The final determination of whether a party is an “affected person” will be made by the Board if required.
- This Report is provided as a courtesy only. The Board’s record may include additional materials, including notifications to affected parties and correspondence of a procedural or administrative nature. The Board’s record may be viewed at the Appeal Board office at: 4th Floor, 1212 31 Avenue NE, Calgary, Alberta during regular office hours.

In accordance with Sections 678 and 686 of the Municipal Government Act and The City of Calgary Bylaw 25P95, as amended, an appeal to the Subdivision and Development Appeal Board must be filed within the legislated time frame and each Notice of Appeal must be accompanied by the legislated fee.

| | |
|---|--|
| Municipal Address of Site Under Appeal [required] | 4228 Voyageur Drive NW, Calgary |
| Development Permit/Subdivision Application/File Number [required] | DP2025-06986 |
| Name of Appellant [required] | Nathan Galambos |
| Agent Name (if applicable) | |
| Street Address [required] | 4224 Voyageur Drive NW |
| hdnFullAddress | 4224 Voyageur Drive NW Calgary AB T3A0J4 |
| City [required] | Calgary |
| Province [required] | Alberta |
| Postal Code [required] | T3A 0J4 |
| Residential Phone # [required] | ██████████ |
| Business Phone # | |
| Email Address [required] | ██████████ |

APPEAL AGAINST

Required field. Check one item only: for multiple appeals you must submit another Notice of Appeal.

Development Permit Approval

I do hereby appeal the decision of the Subdivision/Development Authority for the following reasons [required]

- Impact to biodiversity by removing multiple (>50 year old) trees, diverse bird species including migratory songbirds, grey horned owls and woodpeckers nesting in trees
- Potential impact of excavation on my foundation
- Site drainage
- Parking considerations
- Impact to adjacent high collision intersection
- Misalignment with current street aesthetic and community
- Impact to established trees/tree roots directly adjacent to proposed excavation
- Impact to city services (water/sewer) availability
- Fire risk with adjacency of large vaulted building to my home, limited area for firefighting with reduced property clearances
- Severe impact to privacy with structure overlooking back yard including noise

In order to assist the Board in scheduling, please answer the following questions to the best of your ability:

Estimated Presentation Time 30m

Will you be using an agent/legal counsel? [required] Yes

Do you anticipate any preliminary issues with your appeal? (i.e. jurisdiction, parties status as affected persons, adjournment, etc.)? [required] No

If yes, what are the issues?

Do you anticipate bringing any witnesses/experts to your hearing? [required] Unknown

If yes, how many will you be bringing?

I confirm and acknowledge that

- *I have read and understood this form;*
- *The information I have provided is accurate to the best of my knowledge; and*
- *I am responsible for paying the appeal fee and my notice of appeal will not be considered filed until my appeal fee has been received.*

Submission Date 2026-04-12 19:31:42 MST

The Board collects and uses personal information under the authority of sections 4(a) and (c) and 13(1) of the Protection of Privacy Act, SA 2024, cP-28.5 and sections 678 and 686 of the Municipal Government Act, RSA 2000 c. M-26 for the purposes of administering and adjudicating appeals before the Board. By clicking the link, calling the phone number, or otherwise participating, you are acknowledging and agreeing that your name, phone number, email address, image, or other personal information may be displayed during the videoconference, referenced in the Board's publicly available written decision, and/or included in the recording of the proceedings. If you make written or verbal submissions to the Board, those submissions including personal information contained in those submissions such as your name, phone number, email address, and an audio, visual, or audio-visual recording of verbal submissions will be publicly available (and may be posted on the Board's website as part of a public report) and may be referenced in the Board's publicly available written decision. The Board may use your contact information in the future for follow-up consultation for feedback regarding the appeal process. All information will be kept by the Board in accordance with the Board's information retention policies from time to time. If you have any questions regarding the collection, use, or retention of this information, contact the Tribunal Coordinator of the City Appeal Boards at 403-268-5312, or info@calgarysdab.ca.

If you require further information regarding appeal deadlines and procedures, please contact the SDAB office at:

Website: calgary.ca/sdab

Phone: (403) 268-5312

Email: info@calgarysdab.ca

Jinnah, Aly

From: Nate Galambos <[REDACTED]>
Sent: Monday, April 27, 2026 7:03 AM
To: Calgary SDAB Info
Cc: chris
Subject: [External] P2025-06986 – 4228 Voyager Drive NW, Calgary
Attachments: 2026 April 27 - SDAB2026-0052 (4228 voyageur) - Dias_Galambos - Jurisdictional evidence (1).pdf; SDAB2026-0052 Notice of Appeal.pdf

Follow Up Flag: Follow up
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Good morning,
Please see attached evidence in support of subject appeal.
On cc is Christopher Davis, who will be representing me in this matter.

Regards,

Nathan Galambos

Evidence in support of appeal : Jurisdictional Hearing (Scheduled 5 May 2026)

P2025-06986 – 4228 Voyager Drive NW, Calgary. Proposed Row House Development

Community Context:

The proposed development does not fit with the current community context. The property is proposed as a 4 property rowhouse each with secondary suites, resulting in 8 family units living on a current single family property. All adjacent properties, and properties in neighbouring Vandergrift are single family homes, with the exception of duplex properties on larger lots on Valiant Drive.

Photographs & Satellite image: Single family homes surrounding proposed development





Development plans – Proposed development: Proposed Rowhouse does not fit into community context.



Size Height & Massing: The size, height and massing of the development does not fit the community context, and overshadows existing family homes. The proposed structure nearly doubles the height of neighbouring structures.



Parking Considerations:

A 4 unit rowhouse with secondary suites indicates 8 family units living in a current one family property. Resulting parking requirements are increasing significantly, and although 4 garage spaces are indicated in drawings. 8 units is likely to result in more than 4 vehicles with limited parking available due to single side parking on Voyageur Drive due to the sound wall between Shaganappi and no lane parking available in adherence with city parking regulations (not parking in front of garages or driveways).

The satellite image below has been marked to indicate unavailable locations for parking.



Single side parking on Voyageur:



Back lane context and garages.



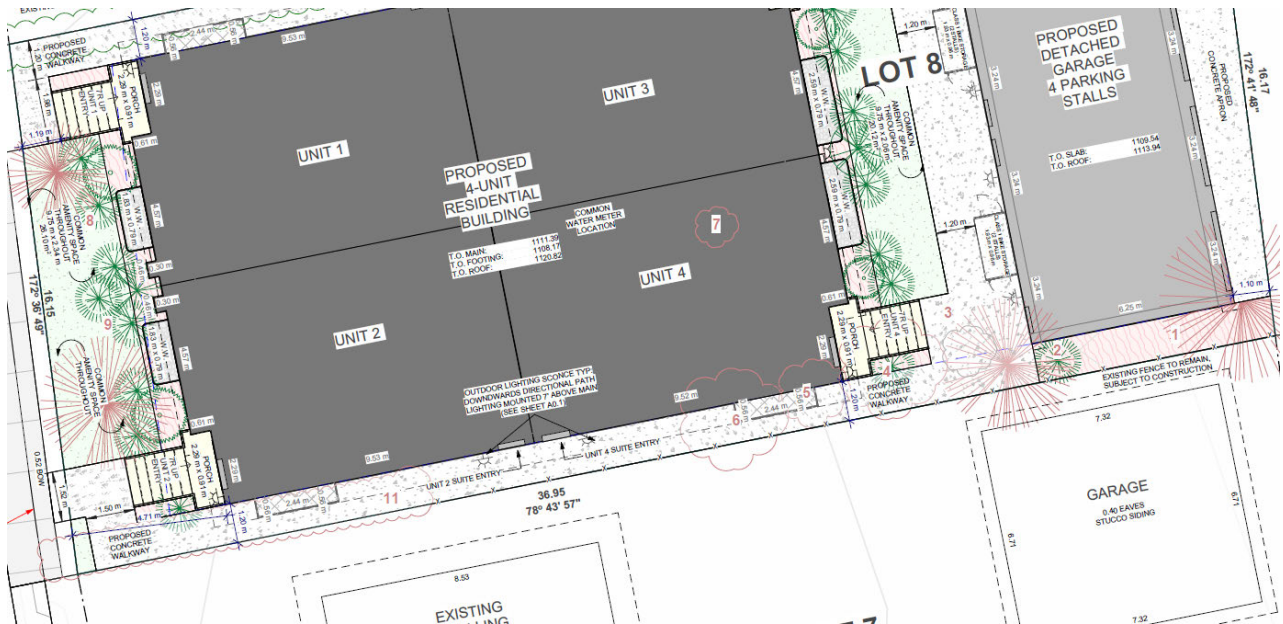
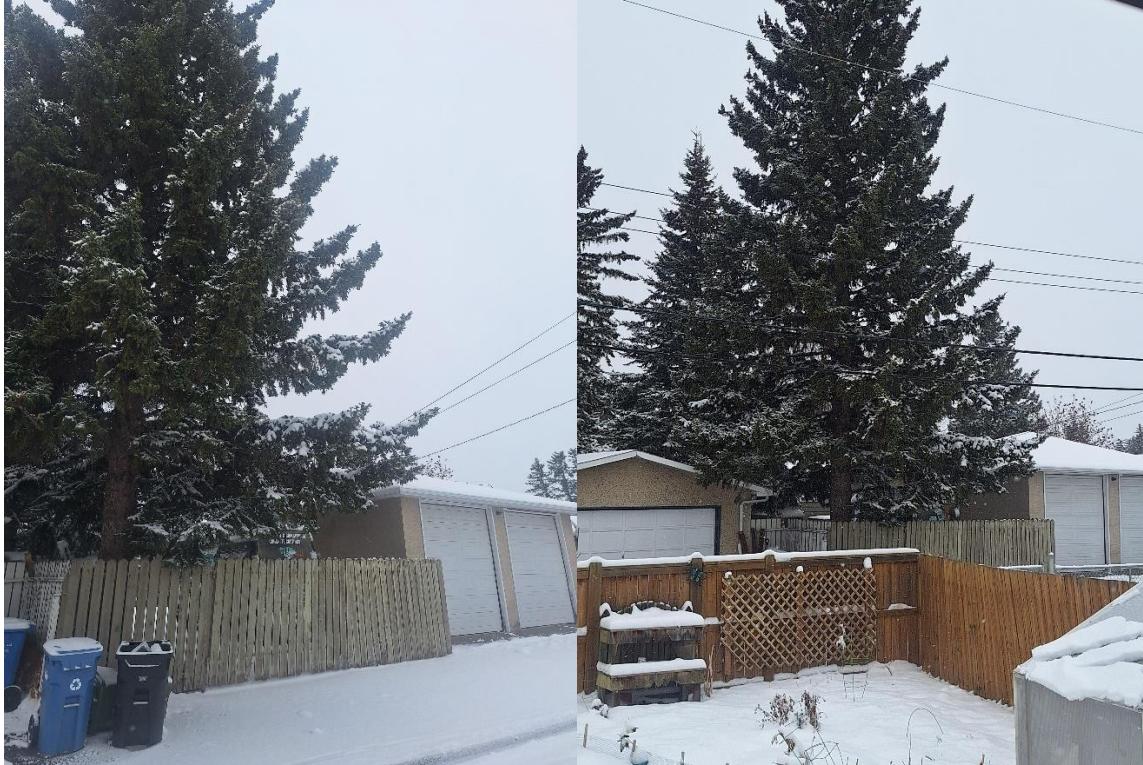


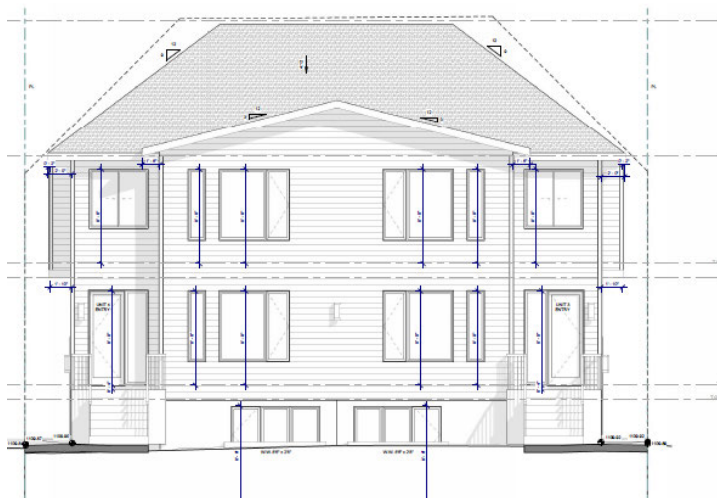
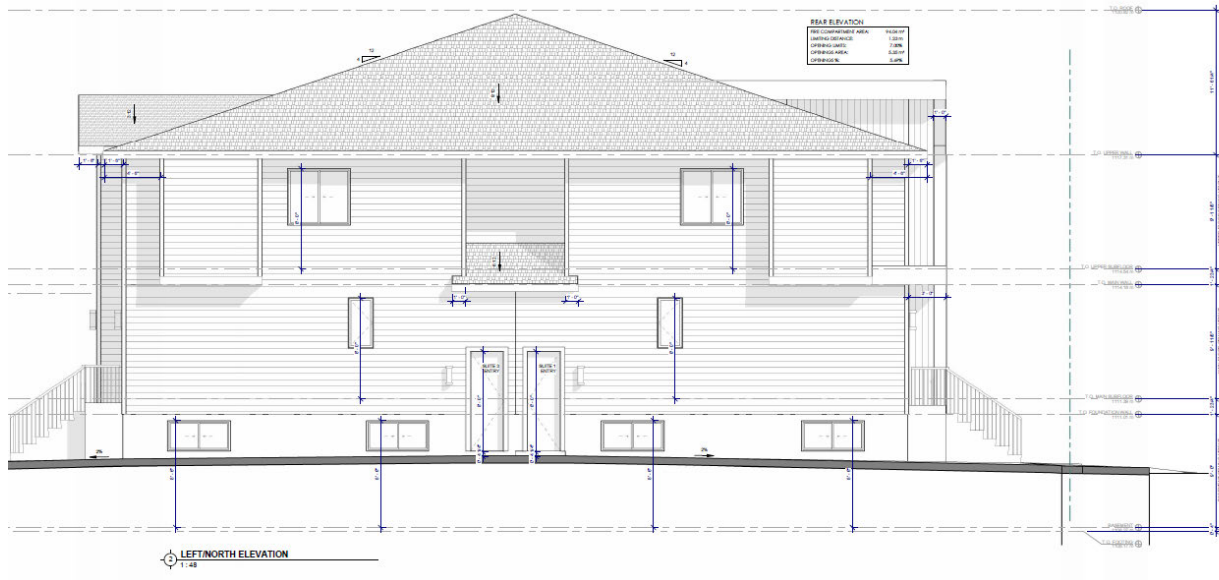
In addition to parking considerations, increased traffic in this area raises safety risks to the footbridge that allowing safe access to dozens of school children to attend local middle schools. The proposed development increases traffic at the base of this bridge, located less than 90m away with access to the lane and front parking both impacting.



Loss of privacy due to removal of mature trees & increased height over neighbours yards, with high glazing providing sight lines impacting both side properties and neighbouring properties across back lane

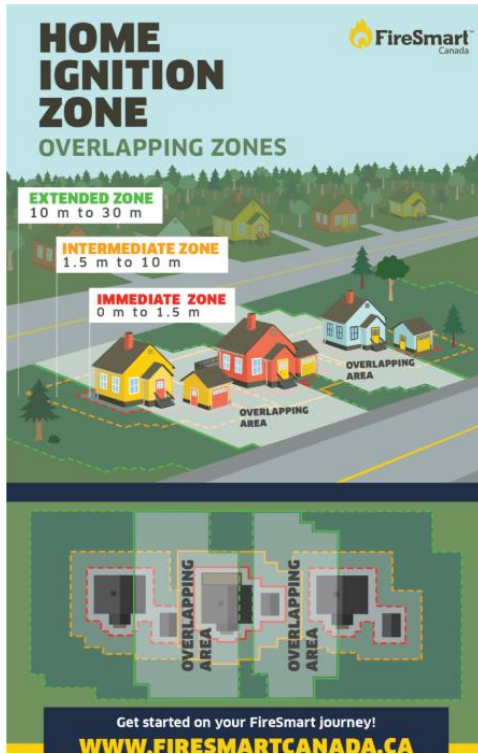
It is expected that units will also include air conditioning units, which as the project is so close to neighbouring yards will add noise emissions affecting neighbours.



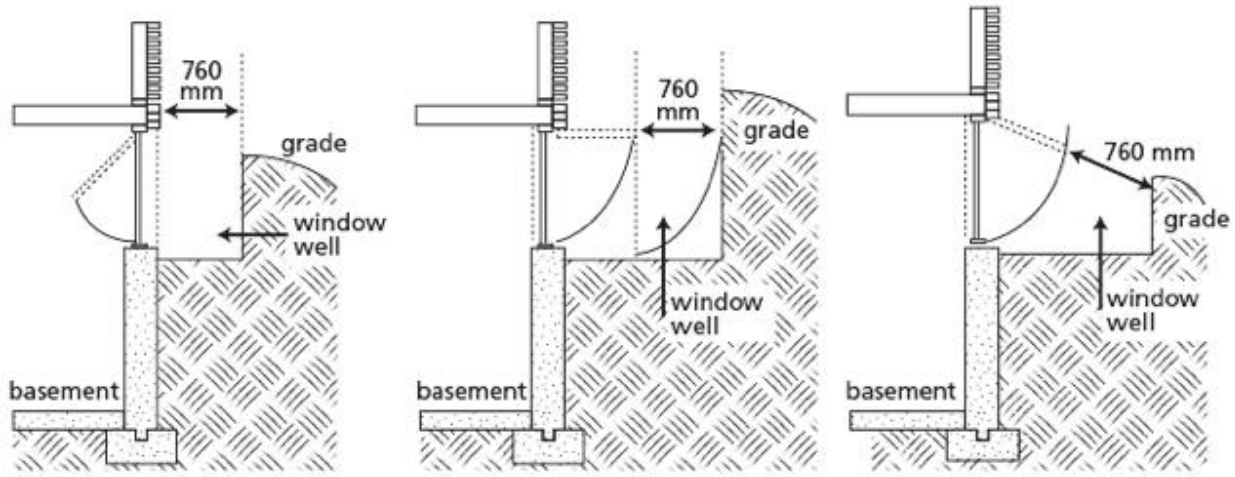


Fire/Safety Considerations:

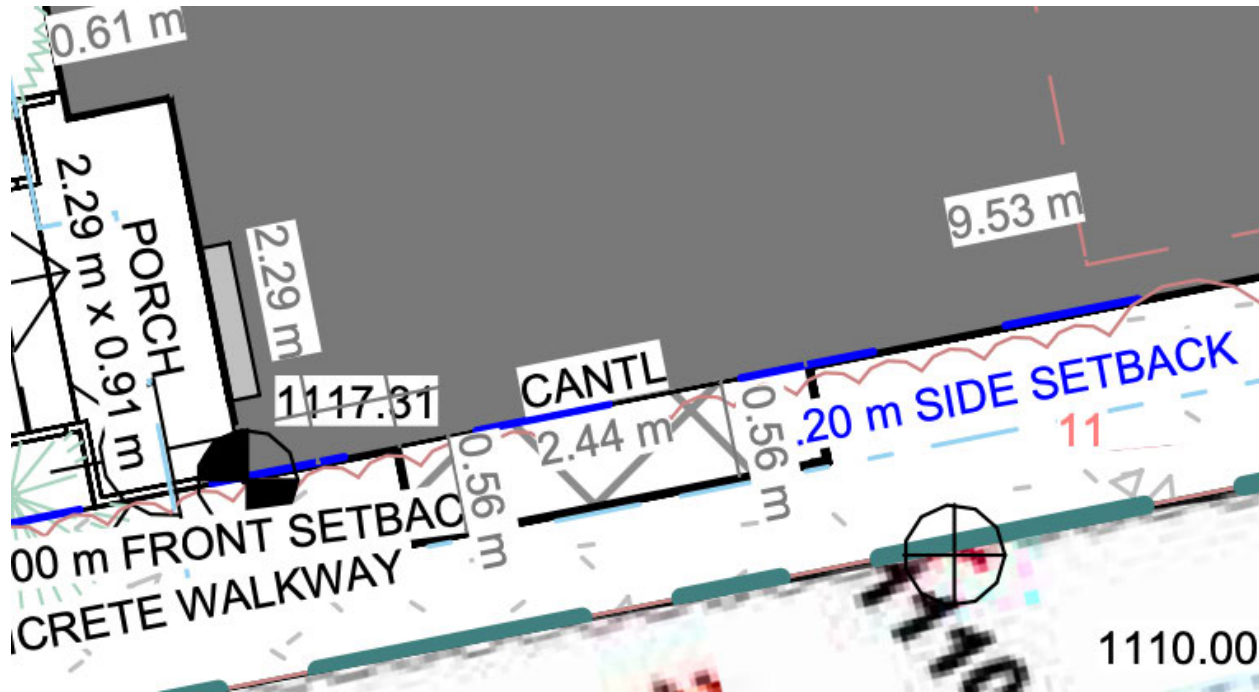
Increased development of a large vaulted structure increases risk of fire spreading towards neighbouring properties. Due to large open floor plans and vaulted ceilings ...fire it is accelerated. The overlapping ignition zone is increased. It looms over the neighbouring single family homes below and the height easily allows the fire to spread to vents or roofs of the smaller adjacent homes below. The firewall appears to stop at the underside of the ceiling line from these drawings....need more sections but it should run the full height to the roof to avoid fire jumping from one unit to the other. Fire still spreads through glass openings and attic areas.



Additionally, the window wells are not acceptable by code as it should be 760 mm (30") for escape and drawings show .560 meters



The drawings indicate .560 meters with a side yard of 1.2 meters.



Jinnah, Aly

From: Christopher Davis <chris@chrisdavislaw.ca>
Sent: Monday, April 27, 2026 9:52 AM
To: Calgary SDAB Info
Cc: Nate Galambos; Amy Galambos; Michelle Dias; James Dudley
Subject: [External] SDAB2026-0052 (4228 Voyageur Dr NW) - DP2025-06986

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Dear SDAB and staff:

I act for Nate Galambos, the appellant named in filing the above captioned appeal.

The initial procedural meeting is scheduled for Tuesday May 5 at 10:45 a.m.

There are two additional joint co-appellants:

- Michelle Dias. Her email was used on the appeal submission. Her contact information is as follows:

4224 Voyageur Dr NW
Calgary, T2A 0J4

[Redacted]

- Amy (Roberts) Galambos. The Galambos' correct email and contact information follows as well:

4531 Vandergrift Cres NW
Calgary T3A 0J1

[Redacted]

I confirm that, pursuant to privacy legislation, personal information such as phone numbers and emails will be redacted on the official SDAB record. Personal addresses will NOT be redacted as they are relevant to the appeal.

I further confirm that others beyond the 3 named appellants are affected by this approval and are

expected to make submissions (and possibly appearances) at this appeal hearing. I am copying this email to one of those individuals, Mr. James Dudley.

Sincerely,

Chris

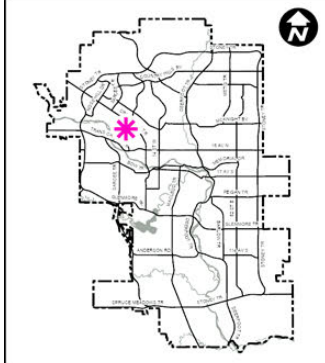
Chris Davis

Senior Lawyer | Municipal Law | Land Development | Legal Services

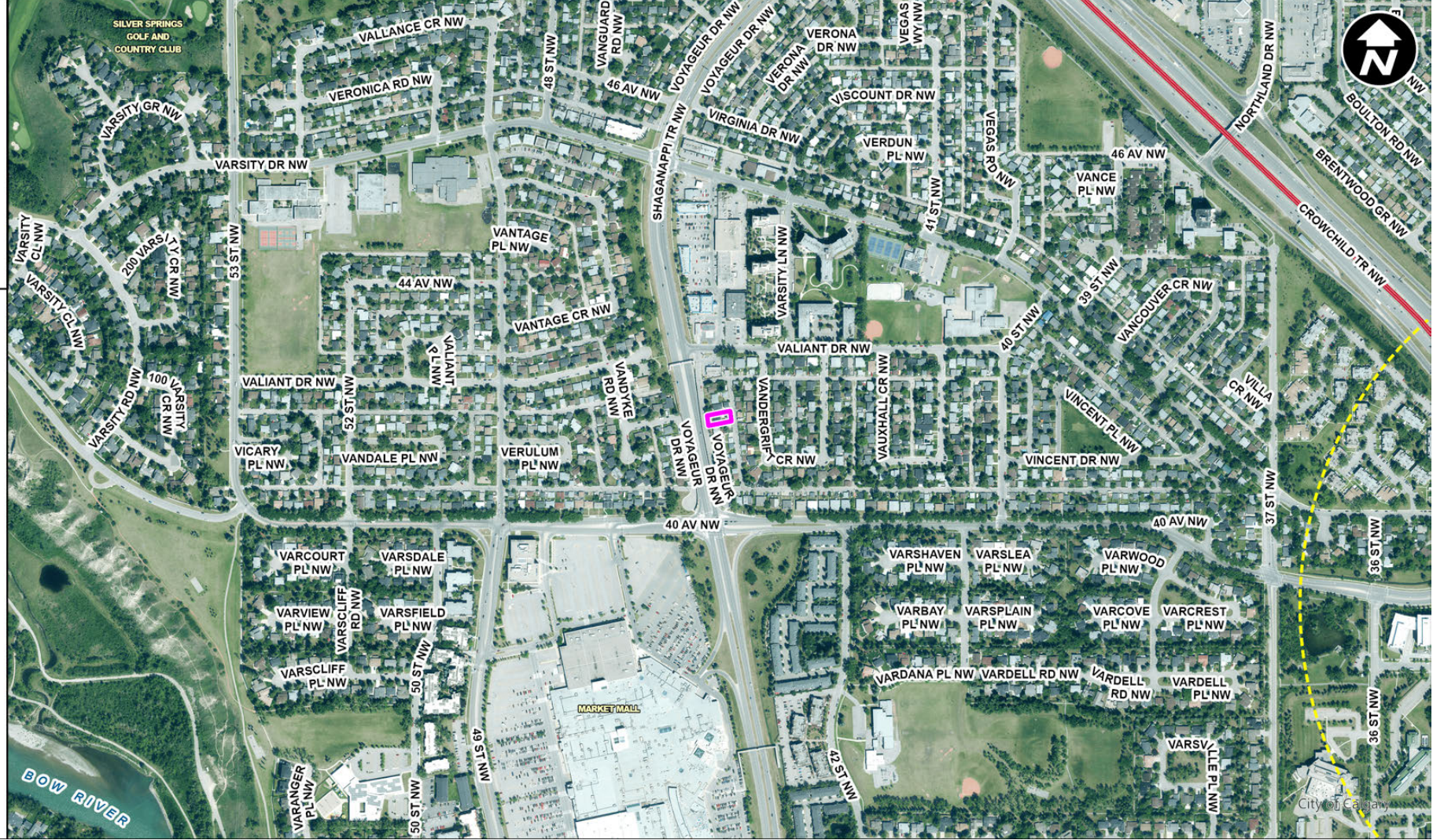
Email: chris@chrisdavislaw.ca

Cell: (403)701-2775

















Community Context SDAB2026-0052

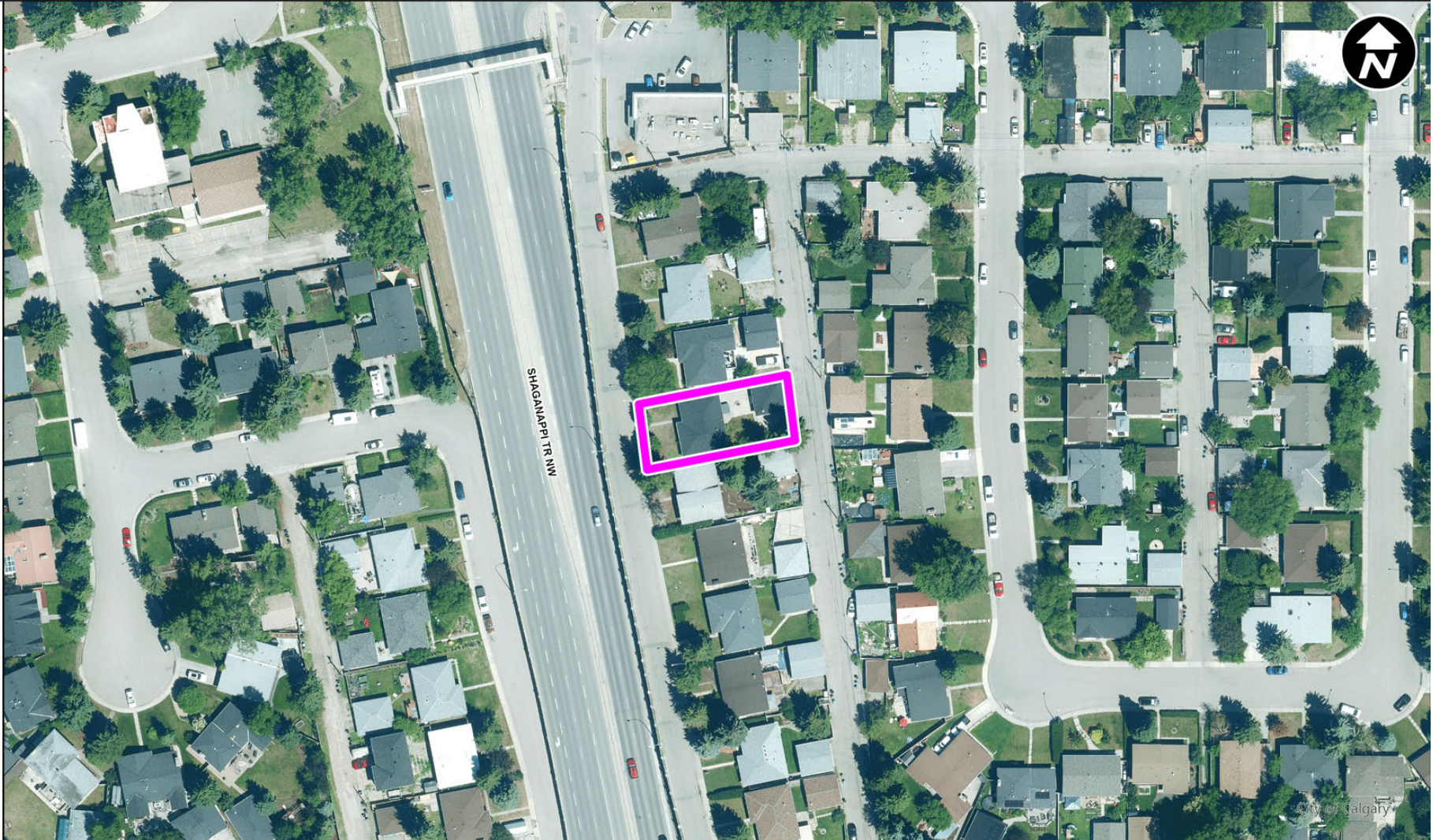


- Subject Site
- 600m buffer from LRT Station
- City Limits
- LRT Stations
 - Blue
 - Blue/Red (Downtown)
 - Red
 - Green (Future)
- LRT Line
 - Blue
 - Blue/Red
 - Red
- Max BRT Stops
 - MAX Orange
 - MAX Purple
 - MAX Teal
 - MAX Yellow
 - MAX Multi

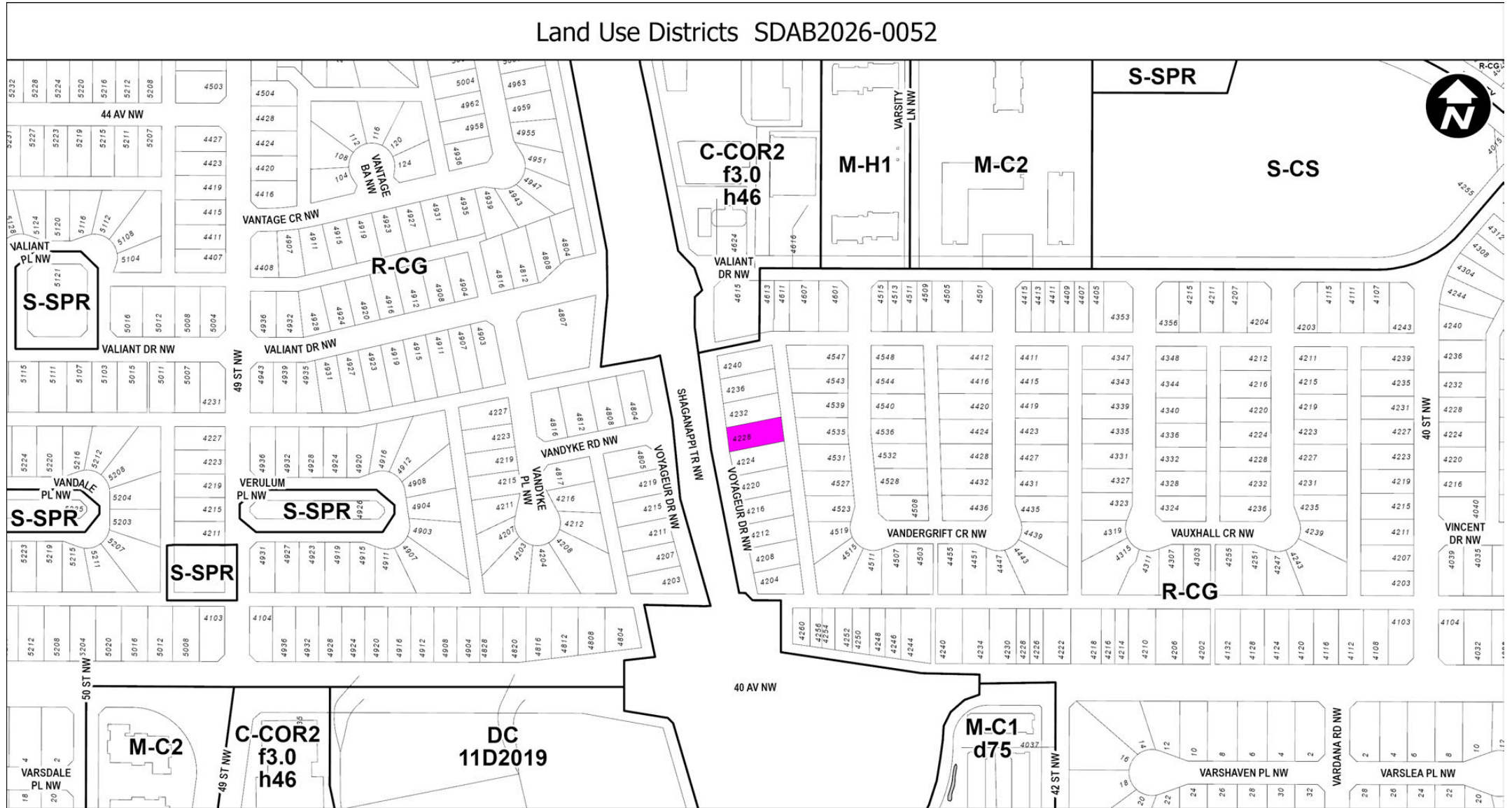


Site Context SDAB2026-0052

-  Subject Site
-  600m buffer from LRT Station
-  City Limits
- LRT Stations**
 -  Blue
 -  Blue/Red (Downtown)
 -  Red
 -  Green (Future)
- LRT Line**
 -  Blue
 -  Blue/Red
 -  Red
- Max BRT Stops**
 -  MAX Orange
 -  MAX Purple
 -  MAX Teal
 -  MAX Yellow
 -  MAX Multi
 -  Bus Stop



Land Use Districts SDAB2026-0052



Surrounding Land Use SDAB2026-0052

- Subject Site
- Land Use Designation Polygons
- Single Detached Dwelling
- Semi-Detached/Duplex Dwelling
- Rowhouse/Multi-Residential
- Commercial
- Heavy Industrial
- Light Industrial
- Parks & Openspace
- Service Station
- Vacant
- Transportation, Communication, and Utility
- Rivers, Lakes
- Public Service





March 18, 2026

Hill, Chris



Dear Applicant:

RE: Notification of Decision: DP2025-06986

Subject: New: Townhouse (1 building), Secondary Suite (4 suites), Accessory Residential Building (garage)

Address: 4228 VOYAGEUR DR NW

This is your notification of decision by the Development Authority to approve the above noted application on March 18, 2026.

Read all of the Permanent Conditions of approval carefully as they form part of the approval decision. The Prior to Release Requirements must be met to the satisfaction of the Development Authority before your Development Permit will be released to you. The Permanent Conditions form part of the approval decision. Advisory Comments, if applicable, are also attached and are intended to be of assistance in obtaining additional permits and supplementary information for the successful completion of your development.

Development approved by this permit must commence by March 18, 2028 or the development permit shall cease to be valid. The decision will be advertised beginning March 26, 2026 at www.calgary.ca/publicnotices, which is the start of the mandatory 21-day appeal period. This appeal period will conclude at midnight April 16, 2026. Release of the permit will occur within 2-4 business days following the conclusion of the appeal period and upon receipt of all Prior to Release requirements.

If you wish to appeal, submit your appeal with reasons and the \$200.00 filing fee to the Subdivision and Development Appeal Board within 21 days of this notice of decision being given. The appeal may be filed online at www.calgarysdab.ca or in person or by mail.

Please note that this letter is to advise you of the conditions of approval, the mandatory advertising appeal period and the timeframe in which you may appeal this decision. If no appeals have been filed during the appeal period, and the Prior to Release conditions have been met, your Development Permit will be released. Should you require clarification of the above or further information, please contact me at (825) 945-8857 or by email at Christian.LePichouron@calgary.ca and assist me by quoting the Development Permit number.

Yours truly,

Christian Le Pichouron
Planner 2
Planning and Development
Attachment(s)



DEVELOPMENT PERMIT
LAND USE BYLAW NO 1P2007

DP2025-06986

This permit relates to land in the City of Calgary municipally described as:

4228 VOYAGEUR DR NW

Community: **Varsity**

L.U.D.:**R-CG**

and legally described as:

3473JK;7;8

and permits the land to be used for the following development:

New: Townhouse (1 building), Secondary Suite (4 suites), Accessory Residential Building (garage)

The present owner and any subsequent owner of the above described land must comply with any attached conditions.

The development has been approved subject to any attached conditions and to full compliance with the approved plans bearing the stamp of approval and the above development permit number.

Decision By: **Development Authority**

Date of Decision: **March 18, 2026**

Development Authority: **Matt A. Rockley**

File Manager: **Christian Le Pichouron**

Release Date: _____

This permit will not be valid if development has not commenced by: March 18, 2028

This Development Permit was advertised on: **March 26, 2026**

This is NOT a Building Permit

In addition to your Development Permit, a Building Permit may be required, prior to any work commencing. further information, you should contact the City of Calgary, Planning, Development & Assessment - Building Regulations Division.

WARNING

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Applicant: **Hill, Chris**

Address:

City:

Phone:





**DEVELOPMENT PERMIT
LAND USE BYLAW NO 1P2007**

DP2025-06986

Complete Address and Legal Description listing for Development Permit DP2025-06986

| Address Type | Address | Legal Description |
|---------------------|---------------------|--------------------------|
| Building | 4228 VOYAGEUR DR NW | |
| Parcel | 4228 VOYAGEUR DR NW | 3473JK;7;8 |



Conditions of Approval – Development Permit

| | |
|---|---|
| Application Number: | DP2025-06986 |
| Application Description: | New: Townhouse (1 building), Secondary Suite (4 suites), Accessory Residential Building (garage) |
| Land Use District: | Residential - Grade-Oriented Infill |
| Use Type: | Discretionary |
| Site Address: | 4228 VOYAGEUR DR NW |
| Community: | VARSITY |
| Applicant: | Hill, Chris |
| Development Applications Review Team | |
| Planning: | CHRISTIAN LE PICHOURON (825) 945-8857 Christian.LePichouron@calgary.ca |
| Utility Engineering: | BRAD O'KEEFE (403) 966-6846 Brad.O'keefe@calgary.ca |
| Mobility Engineering: | DAVID WANYONG ZHONG 587-576-1844 David.Zhong@calgary.ca |

Prior to Release Requirements

The following requirements shall be met prior to the release of the permit. All requirements shall be resolved to the satisfaction of the Approving Authority:

Planning

1. Submit a complete digital set of the amended plans in PDF format and a separate PDF that provides a point-by-point explanation as to how each of the Prior to Release conditions were addressed and/or resolved. The submitted plans must comprehensively address the Prior to Release conditions as specified in this document. Ensure that all plans affected by the revisions are amended accordingly. To arrange the digital submission, please contact your File Manager directly.

Utility Engineering

2. Amend the plans to:

Utility Specialists - Water Servicing

- a. Indicate an adequate water meter area where the services (50mm and smaller) enter the building,

Track your application on-line with VISTA. Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

- b. Indicate an adequate water meter area where the services enter the building,
- c. Indicate and dimension a minimum 2.0m vertical clearance for the proposed water meter room/area on all relevant plans, details and sections,

Utility Specialists - Sanitary and Stormwater Servicing

- a. Provide site grading details (complete with elevations) to confirm site stormwater does not drain into the neighboring parcels.
3. Submit a Development Site Servicing Plan for review and acceptance from Utility Specialists, as required by Section 5 (2) of the Utility Site Servicing Bylaw 33M2005. Contact [Utility Specialists](#) for additional details. For further information, refer to the following:

Development Site Servicing Plan Webpage

<https://www.calgary.ca/uep/water/specifications/water-development-resources/development-site-servicing-plans.html>

Development Site Servicing Plans CARL (requirement list)

<http://www.calgary.ca/PDA/pd/Pages/Permits/carl-building-development-permit-search.aspx>

4. The subject property requires a storm sewer connection (main extension) and is within the storm redevelopment levy area. As the parcel is smaller than 700m², the applicant may:
- a. Provide a drywell design at the Development Site Servicing Plan (DSSP) stage sized to store the 1:100 year 24-hour storm event in the gravel drainage rock.
 - b. Submit payment for the storm redevelopment fee (\$84 / m frontage) at the DSSP stage, and
 - c. Provide block profiles that conform to the Standard Block Profile Specifications for CAD and Manual Formats for the proposed storm sewer extension as a part of the DSSP submission for approval by Water Resources. Onsite storm service must be stubbed by the Developer to the property line adjacent to the proposed main extension. The main extension and service to the stub will be done by the City of Calgary.

If the applicant would like to pursue a main extension at their expense, they must enter into an indemnification agreement for work within the City Right-of-way. This must be completed prior to the DSSP application.

5. After the Development Permit is approved but prior to its release, the landowner shall make payment of off-site levies pursuant to Bylaw 1H2024. The off-site levy is based on a 2025 development approval date and on the following:

| Phase | Description | Unit(s) |
|-------|---------------------|---------------------------------|
| 1 | 4228 VOYAGEUR DR NW | Existing Single: 1/New Grade: 4 |

Based on the information above, the preliminary estimate is \$13,226.00. Final estimate and payment instructions will be sent via email upon Development Permit approval.

Should the landowner wish to defer the payment of the offsite levies to Development Completion Permit (DCP), an Offsite Levy Agreement will be required.

To obtain an off-site levy agreement or for further information, contact the Infrastructure Strategist (DANIELA PAUL-GUTIERREZ at 587-215-6525 or daniela.paul-gutierrez@calgary.ca).

Mobility Engineering

6. Remit a performance security deposit (certified cheque, bank draft, letter of credit) for the proposed infrastructure listed below within the public right-of-way to address the requirements of the Business Unit. The amount of the deposit is calculated by Roads and is based on 100% of the estimated cost of construction.

The developer is responsible to arrange for the construction of the infrastructure with their own forces and to enter into an Indemnification Agreement with Roads at the time of construction (the security deposit will be used to secure the work).

Roads

- a. Construction of new 1.5m monolithic sidewalks adjacent to Voyageur Drive NW, new curb and gutter, to City standards,
- b. Rehabilitation of existing driveway crossings, sidewalks, curb and gutter, etc., should it be deemed necessary through a site inspection by Roads personnel.

Note: Please note that for 1.5m monolithic sidewalk with standard curb the actual sidewalk width is 1.61m. Dimension the back of walk accordingly. Refer to Roads Construction 2021 Standard Specifications, Figure 37, File No 454.1013.009. Where significant trees are to be retained, existing sidewalk width can remain within the drip line and transition to new width clear of the drip line.

7. Remit payment (certified cheque, bank draft) for the proposed street light upgrades adjacent to the subject site within the public right-of-way to address the requirements of the Roads Business Unit. The amount is calculated by Roads the respective Business Unit and is based on 100% of the estimated cost of construction.

The developer is responsible to coordinate the timing of the construction by City forces. The payment is non-refundable.

Permanent Conditions

The following permanent conditions shall apply:

Planning

8. All rules of Land Use Bylaw 1P2007 apply, subject to any relaxations approved by the Development Authority in this development permit.
9. The development shall be completed in its entirety, in accordance with the approved plans and conditions. The stamped and signed plans are a legal document.
10. No changes to the approved plans shall take place unless authorized by the Development Authority. If changes to the development occur or are proposed, a new development permit or revised plan application may be required.
11. A development completion permit must be issued for the development before the use is commenced or the development occupied. A development completion permit is independent from the requirements of City of Calgary Building Regulations inspections and permission for occupancy. Request a development completion permit inspection by visiting inspections.calgary.ca or call 403-268-5311.
12. Parking and landscaping areas must be separated by a 150mm (6 inch) continuous, poured in place, concrete curb or equivalent material to the satisfaction of the Development Authority, where the height of the curb is measured from the finished hard surface.
13. When the main floor is constructed, submit the surveyed geodetic elevation to Geodetic.Review@Calgary.ca

Utility Engineering

14. The developer / project manager, and their site designates, shall ensure a timely and complete implementation, inspection and maintenance of all practices specified in erosion and sediment control report and/or drawing(s) which comply with Section 3.0 of The City of Calgary Guidelines for Erosion and Sediment Control. Any amendments to the ESC documents must comply with the requirements outlined in Section 3.0 of The City of Calgary Guidelines for Erosion and Sediment Control.

For other projects where an erosion and sediment control report and/or drawings have not been required at the Prior to Release stage, the developer, or their designates, shall, as a minimum, develop an erosion and sediment control drawing and implement good housekeeping practices to protect onsite and offsite storm drains, and to prevent or mitigate the offsite transport of sediment by the forces of water, wind and construction traffic (mud-tracking) in accordance with the current edition of The City of Calgary Guidelines for Erosion and Sediment

Track your application on-line with VISTA. Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

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Control. Some examples of good housekeeping include stabilization of stockpiles, stabilized and designated construction entrances and exits, lot logs and perimeter controls, suitable storm inlet protection and dust control.

For all soil disturbing projects, the developer, or their representative, shall designate a person to inspect all erosion and sediment control practices a minimum of every seven (7) days and during, or within 24 hours of, the onset of significant precipitation (> 12 mm of rain in 24 hours, or rain on wet or thawing soils) or snowmelt events. Note that some practices may require daily or more frequent inspection. Erosion and sediment control practices shall be adjusted to meet changing site and winter conditions. The City of Calgary Guidelines for Erosion and Sediment Control can be accessed at: www.calgary.ca/ud (under publications).

15. If during construction of the development, the developer, the owner of the titled parcel, or any of their agents or contractors becomes aware of any contamination,
 - a. the person discovering such contamination shall immediately report the contamination to the appropriate regulatory agency including, but not limited to, Alberta Environment and Protected Areas and The City of Calgary (311).
 - b. on City of Calgary lands or utility corridors, The City of Calgary, Climate and Environment (Contaminated Sites Section) must be immediately notified (311).
16. Stormwater runoff must be contained and managed in accordance with the Stormwater Management & Design Manual all to the satisfaction of the Coordinator, Utility Specialist.
17. The grades indicated on the approved Development Site Servicing Plan must match the grades on the approved Development Permit plans. Upon a request from the Development Authority, the developer or owner of the titled parcel must confirm under seal from a Consulting Engineer or Alberta Land Surveyor, that the development was constructed in accordance with the grades submitted on the Development Permit and Development Site Servicing Plan.
18. After approval of the Development Permit but prior to issuance of a Development Completion Permit or any occupancy of the building, payment shall be made for off-site levies pursuant to Bylaw 1H2024.
19. Pursuant to Bylaw 1H2024, off-site levies are applicable.

Mobility Engineering

20. No direct vehicular access is permitted to or from VOYAGEUR DR NW.
21. The developer shall be responsible for the cost of public work and any damage during construction in City road right-of-ways, as required by the Manager, Development Engineering. All work performed on public property shall be done in accordance with City standards.
22. Indemnification Agreements are required for any work to be undertaken adjacent to or within City rights-of-way, bylawed setbacks and corner cut areas for the purposes of crane operation, shoring, tie-backs, piles, surface improvements,

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lay-bys, utility work, +15 bridges, culverts, etc. All temporary shoring, etc., installed in the City rights-of-way, bylawed setbacks and corner cut areas must be removed to the satisfaction of the Manager, Development Engineering, at the applicant's expense, upon completion of the foundation. Prior to permission to construct, contact the Indemnification Agreement Coordinator, Roads at roadsia@calgary.ca

23. The approved driveway(s) required for this development must be constructed to the ramp grades as shown on the approved Development Permit plans. Negative sloping of the driveway within the City boulevard is not acceptable. If actual grades do not match the approved grades, the developer/owner shall be responsible for all costs to remove and reconstruct the entire driveway ramp in accordance with approved grades.

Advisory Comments

The following advisory comments are provided as a courtesy to the Applicant and registered property owner. The comments represent some, but not all of the requirements contained in the Land Use Bylaw that must be complied with as part of this approval.

Planning

24. The Applicant may appeal the decision of the Development Authority, including any of the conditions of the development permit. If you decide to file an appeal, please refer to the notification of decision letter for the appropriate appeal body and appeal process.
25. The approval of this development permit does not limit in any way the application of any federal, provincial, or municipal law, policy, code, regulation, bylaw, and/or guideline, nor does it constitute any permit or permission under any federal, provincial, or municipal law, policy, code, regulation, bylaw, and/or guideline.
26. In addition to this development permit, building permits may also be required. Building permit applications may be submitted upon approval of the associated development permit. Contact Building Regulations at 403-268-5311 for further information.
27. This development permit has not been reviewed for potential issues with the National Building Code - current Alberta Edition. You may require a Building Permit in addition to this development permit in which case compliance with the Code will be assessed through a Building Permit application. Should a Building Permit review require changes to the approved development permit, the changes must be to the satisfaction of the Development Authority and are potentially subject to a new development permit.
28. There are many types of caveats and other agreements that can be registered on the title of the property that can restrict the ability to develop. The City has not reviewed or considered all instruments registered on the title to this property. Property owners must evaluate whether this development is in compliance with any documents registered on title.
29. BenchmarkYYC is a free and voluntary program that assists Building Owners and Operators with:
 - collecting aggregated, whole-building energy use information;
 - creating an ENERGY STAR Portfolio Manager account;
 - sharing data to obtain a digital Energy Performance Scorecard;
 - monitoring available building retrofit funding and financing opportunities; and
 - accessing free and discounted training on building decarbonization.

Continuous benchmarking of your building energy and emissions performance promotes continuous optimization of building systems and can help decision-makers prioritize decarbonization projects while planning capital investments.

Track your application on-line with VISTA. Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

Your participation in BenchmarkYYC will also help the City of Calgary further its commitment to our Climate Strategy, while contributing to affordability through potential energy cost savings.

Contact energybenchmarking@calgary.ca to confirm if your proposed development is a suitable candidate for this program.

30. The applicant should be aware that buildings should be net zero no later than 2050, to align with the targets of the [Calgary Climate Strategy](#). By not building to a net zero ready standard at the time of construction the applicant may be forgoing substantial energy and cost savings over the lifecycle of the development, and may necessitate costly, difficult, and premature retrofits.

Utility Engineering

31. The developer is responsible for ensuring that:
- a. The environmental conditions of the subject property and associated utility corridors meet appropriate regulatory criteria and appropriate environmental assessment, remediation, exposure control or risk management is undertaken.
 - b. Appropriate environmental assessment(s) of the property has been undertaken and, if required, a suitable Remedial Action Plan, Exposure Control Plan and/or Risk Management Plan has been prepared, reviewed and accepted by the appropriate regulatory agency(s) including but not limited to Alberta Environment and Protected Areas.
 - c. The development conforms to any reviewed and accepted Remedial Action Plan, Exposure Control Plan and/or Risk Management Plan.
 - d. All reports are prepared by a qualified professional in accordance with accepted guidelines, practices and procedures that include but are not limited to those in the most recent versions of the Canadian Standards Association and City of Calgary Phase I & II Environmental Site Assessment Terms of Reference.
 - e. The development is in compliance with applicable environmental approvals, for example from Alberta Environment and Protected Areas, Alberta Energy Regulator and/or Natural Resources Conservation Board; as well, any related setback requirements, and landfill setback requirements as set out in the Subdivision and Development Regulation.

If the potential for methane generation or vapours from natural or contaminated soils and groundwater has been identified on the property, the developer is responsible for ensuring appropriate environmental assessment(s) of the property has been undertaken and appropriate measures are in place to protect the building(s) and utilities from the entry of methane or other vapours.

Issuance of this permit does not absolve the developer from complying with and ensuring the property is developed in accordance to applicable environmental legislation.

Track your application on-line with VISTA. Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

32. A new water connection is required to service the development and is available from east lane.
33. Show details of servicing and metering on Development Site Servicing Plan. Provide adequate water meter locations (100mm or larger, room adjacent to an exterior wall; 50mm or less, label water meter location) where services enter building. If static pressure exceeds 550 kPa install pressure reducing device after meter.
34. Maintain a 3.0m separation between Enmax facilities (power poles, light standards, transformer pads, catch basins, etc.) with the proposed water service.
35. Redundant services are to be disconnected at the source and new service installed at the owners expense.
36. Each unit must be individually metered.
37. Ensure that the water service separation from the foundation wall or piles is:
 - a. 4.0m (100mm service or larger), or
 - b. 3.0m (50mm service or smaller), or
 - c. 2.0m when the foundation wall or piles extends vertically a minimum of 2.0m below the invert of the water pipe.
38. The applicant must apply for water and sewer connections as per City Standards.
39. A new sanitary connection is required to service the development and is available from east lane.
40. Storm sewers are unavailable for connection.
41. It has been determined that a storm main extension is required to service the subject proposal. The work is to be constructed by the developer and will be 100% at the developer's expense, subject to the terms and conditions of the Indemnification Agreement, to the satisfaction of the Coordinator, Development Commitments. Potential reimbursement from the Stormwater and Housing Impacts Project (SHIP) may be available. This program provides the potential for the repayment of the costs associated with construction of these types of extensions. The project uses funds from the Housing Accelerator Fund to fund extensions to residential developments. For more information and to apply please contact Pete Meadows at Pete.Meadows@calgary.ca.
42. A sanitary / storm sewer extension is required to service the proposed development at the Developer's expense. Where extensions of City mains are required for proposed development, an indemnification agreement must be entered into to undertake the work. Construction drawings shall be submitted to the City for approval prior to the Development Site Servicing Plan circulation approval.
43. Best Management Practices (BMPs) are activities or practices that are designed to reduce runoff volume and prevent or reduce the release of pollutants to receiving waters. Operation and maintenance manual and sample maintenance log shall be provided to the owner in case there are any BMPs located within the

property as per the current Stormwater Management & Design Manual Section 4.13. Appropriate Source Control Practice checklists must be completed and submitted to Development Approvals (<http://www.calgary.ca/UEP/Water/Pages/Specifications/Submission-for-approval/Development-Approvals-Submissions.aspx>). For more information contact Development Planning at 403-268-6449.

44. The allowable stormwater run-off coefficient shall be 50 L/s/ha.
45. Surface ponding (trapped lows) should be designed to contain all the flow generated from the 100-year storm events.
46. Where possible, discharge of roof leaders should be directed onto grassed or pervious areas to help reduce the volume of runoff. Alternatively, the roof leaders may be directed to the on-site storm sewer system.
47. Ensure elevations of building slab and/or any building openings are 0.3m minimum above trap low spill elevations or the 100-year elevation, whichever is higher. The minimum grade within the lot adjacent to the trap low must be 0.3m higher than the 1:100-year elevation in the trap low or spill elevation, whichever is higher. This minimum grade must be achieved within a 6.0m distance from the common property line of the lot and the road right-of-way.
48. Weeping tile is required to tie to the storm sewer unless a qualified soils consultant has determined otherwise. The consultant shall use the criteria set out in Section 3.3.6.8 of the Stormwater Management & Design Manual. A letter with the appropriate elevations (in metric geodetic) and information will be required by Utility Specialists.
49. The gravel blanket below footing and basement slab will not be considered a substitute for weeping tile around the building footing.
50. As per The City of Calgary Drainage Bylaw 37M2005, the developer, and those under their control, are responsible for ensuring that a Drainage Permit is obtained from Utility Specialists prior to discharging impounded runoff (caused by rainfall and/or snowmelt) seepage or groundwater from construction site excavations or other areas to a storm sewer. The developer, and those under their control, is responsible for adhering to all conditions and requirements stipulated in the Drainage Permit at all times. For further information, contact the Corporate Call Centre at 311 or visit <http://www.calgary.ca/UEP/Water/Pages/Watersheds-and-rivers/Erosion-and-sediment-control/Report-and-Drawings-Templates-and-Guides.aspx> (Drainage Permit applications can be downloaded from this website).
51. Stormwater emergency escape routes must be to a public roadway.
52. A minimum depth of 300mm topsoil for all sodded areas and 600mm for shrub and tree beds is to be used.
53. For questions and concerns regarding waste storage facilities, refer to the Development Reviews: Design Standards for the Storage and Collection of Waste

Found at: <http://www.calgary.ca/UEP/WRS/Pages/Commercial-Services/Development-Permits-Waste-Recycling.aspx>

OR

Contact the Waste & Recycling Services Specialist/Development Engineering Generalist at 403-268-8445 for further site specific details.

54. Waste storage enclosures and collection areas shall be maintained and clear of snow and ice.
55. The waste and recycling enclosure shall be kept in a good state of repair at all times and the doors shall be kept closed while the enclosures are not actively in use for delivery or removal of refuse.
56. Secondary suites may not be eligible to receive a separate set of waste and recycling containers from the City of Calgary. Suites are expected to share the waste storage with the associated primary dwelling unit.

FILE: DP 2025-06986

DATE RECEIVED: March 16, 2026

| Bylaw Discrepancies | | |
|----------------------------|-----------------|-----------------|
| Regulation | Standard | Provided |
| <i>NONE NOTED.</i> | | |



APPLICATION FOR A DEVELOPMENT PERMIT
LAND USE BYLAW NO 1P2007

636428489-001
Taken By:

Application Date **Dec 4, 2025**

APPLICATION NO DP2025-06986

I/We hereby make application for a Development Permit under the provisions of the Land Use Bylaw in accordance with these plans and supporting information submitted herewith and which form part of this application.

Total Fees: \$1,246.00

Cart #:

Applicant: **Hill, Chris**

Address:

City:

Phone:

Parcel Address: **4228 VOYAGEUR DR NW**
Legal: **3473JK;7;8**
Building Address: **4228 VOYAGEUR DR NW**
Legal:

L.U.D.: **R-CG**

Community: **VARSIITY**

Sec. Number: **36W** Ward: **01**

Description: **New: Townhouse (1 building), Secondary Suite (4 suites), Accessory Residential Building (garage)**

Gross Floor Area: 5954.28 feet - squared
Dwelling Units: 4

Proposed Development is: **Discretionary**

Proposed Use: **Townhouse**

Accessory Residential Building
Secondary Suite

I agree to receive correspondence via electronic message related to this application.

By signing below, I confirm that the contact information provided above is accurate and further, acknowledge the ability of the General Manager - Planning and Development to inactivate and cancel incomplete applications.

Applicant / Agent Signature: _____ Date: _____

The personal information on this form is being collected under the authority of The Municipal Government Act, Section 640, and The City of Calgary Land Use Bylaw 1P2007 (Part 2) and amendments thereto. It will be used for the permit review and inspection processes. It may also be used to conduct ongoing evaluations of services received from Planning, Development & Assessment. The name of the applicant and the nature of the permit will be available to the public. Please send inquiries by mail to the FOIP Program Administrator, Planning, Development & Assessment, PO Box 2100, Station M, Calgary, AB T2P 2M5 or contact us by phone at 311.

Track your application on-line with **VISTA** Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) **DP2025-06986** or call our Planning Support Centre at (403)268-5311.

SDAB2026-0052



LAND TITLE CERTIFICATE

S
 LINC SHORT LEGAL TITLE NUMBER
 0018 133 611 3473JK;7;8 251 189 221

LEGAL DESCRIPTION
 PLAN 3473JK
 BLOCK 7
 LOT 8
 EXCEPTING THEREOUT ALL MINES AND MINERALS

ESTATE: FEE SIMPLE
 ATS REFERENCE: 5;2;24;36;N

MUNICIPALITY: CITY OF CALGARY

REFERENCE NUMBER: 981 288 949

 REGISTERED OWNER(S)
 REGISTRATION DATE (DMY) DOCUMENT TYPE VALUE CONSIDERATION

 251 189 221 23/07/2025 TRANSFER OF LAND \$685,000 CASH & MORT

OWNERS

REZAUL ALAM

AND

TANZIHA MOWREEN

BOTH OF:

4228 VOYAGEUR DRIVE N.W.

CALGARY

ALBERTA T3A 0J4

AS JOINT TENANTS

(DATA UPDATED BY: 251189230)

 ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION
 NUMBER DATE (D/M/Y) PARTICULARS

 251 189 222 23/07/2025 MORTGAGE
 MORTGAGEE - CANADIAN IMPERIAL BANK OF COMMERCE.
 P.O. BOX 115, COMMERCE COURT POSTAL STATION,
 TORONTO

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTSPAGE 2
251 189 221

| REGISTRATION NUMBER | DATE (D/M/Y) | PARTICULARS |
|------------------------|--------------|-------------|
|------------------------|--------------|-------------|

ONTARIO M5L1E5
ORIGINAL PRINCIPAL AMOUNT: \$548,000

TOTAL INSTRUMENTS: 001

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 19 DAY OF
NOVEMBER, 2025 AT 10:22 A.M.

ORDER NUMBER: 55589911

CUSTOMER FILE NUMBER:



END OF CERTIFICATE

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED
FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER,
SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM
INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION,
APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS
PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING
OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).



LETTER OF AUTHORIZATION

City of Calgary
 Planning, Development and Assessment
 P.O. Box 2100, Stn. M, #8108
 Calgary, AB, Canada T2P 2M5

To whom it may concern,

With regards to 4228 Voyager Drive NW

Please be advised that we, Rezaul Alam and Tanziha Mowreen are


the owners of the above-mentioned property, and we authorize

Ellergodt Design Inc to apply for any and all Development Permits for the above-mentioned property.

We further agree to immediately notify the City of Calgary, in writing, of any changes regarding the information above.

11/19/2025

date signed

Signed by:

 9A8447D47858402...
 signature of owner or officer/director

Rezaul Alam
 name of owner (printed)

11/19/2025

date signed

Signed by:

 9A8447D47858402...
 signature of owner or officer/director

Tanziha Mowreen
 name of owner (printed)

42

SUBJECT PROPERTY – FRONT



SUBJECT PROPERTY – LANEWAY



SDAB2026-0052

STREETSCAPE – LOOKING NORTH



STREETSCAPE – LOOKING SOUTH







Abandoned Well Declaration

Application # _____
for office use only

Site Address: _____

Legal Description: _____

The *Municipal Government Act's Subdivision and Development Regulations (Alberta Regulation 160/2012)* requires developers to identify abandoned oil and gas wells and, where present, to comply with setback requirements as identified in the Energy Resources Conservation Board (ERCB) [Directive 079: Surface Development in Proximity to Abandoned Wells](#).

You are responsible for the accuracy of the information provided in this statement. The questions must be answered to the best of your knowledge based upon diligent inquiries and a thorough inspection and review.

- Provide a map of the subject parcel showing the presence or absence of abandoned wells.
 - [User Guide to Finding Abandoned Wells on GeoDiscover Alberta's Map Viewer](#)
 - [Abandoned Well Locations on GeoDiscover Alberta's Map Viewer](#)

NOTE: The map must show the actual well location, as identified in the field, including the surface coordinates (available on the Abandoned Well Map Viewer or by contacting the ERCB Customer Contact Centre at 1-855-297-8311) and the 5 metre setback established in [ERCB Directive 079](#) in relation to existing or proposed building sites.

- Are there abandoned Oil/Gas wells located within 5 m of the site? Yes No
If you answered 'yes', please answer question 3 and include the well location(s) on the site plan.
- Have you contacted the licensee of the well(s) to confirm the exact location? Yes No
If you answered 'yes', you must have written confirmation included with your application.

Licensee Company Name _____ Licensee Contact _____

NOTE: Where a well is identified, the Development Authority must refer a copy of the application to the Licensee(s) of Record. The referral will include the applicant's contact information.

- Who is submitting the Abandoned Well Declaration for this development?

Applicant Owner Builder Other _____

Company Name _____ Contact Person _____

Address _____

Phone _____ Cell Phone _____ Email _____

5. Will the development result in construction activity within the setback area? Yes No

If you answered 'yes':

- Provide a statement confirming that the abandoned wells will be temporarily marked with on-site identification to prevent contact during construction; and
- Describe what measures will be taken to prevent contact during construction.

NOTE: This form is to be signed by the titled owner(s) of the property or their authorized agents or consultants.

I, the owner, authorized agent, authorized consultant, state that, to the best of my knowledge, the information provided in this statement is accurate, complete and is based on diligent inquiry and thorough inspection and review of all the documents and other information reasonably available pertaining to the subject property.

Date

Applicant Signature

Applicant Name (Please Print)

Company Name (Please Print)

FOIP DISCLAIMER: The personal information on this form is being collected under the authority of The Freedom of Information and Protection of Privacy (FOIP) Act, Section 33(c). It will be used to provide operating programs, account services and to process payments received for said services. It may also be used to conduct ongoing evaluations of services received from Planning & Development. Please send inquiries by mail to the FOIP Program Administrator, Planning & Development, PO Box 2100, Station M, Calgary, AB T2P 2M5 or contact us by phone at 311.

Map Title



Friday, November 28, 2025 14:19:50 -07:00

Map Scale: 1: 4,514



0.2 0 0.11 0.2 Kilometers



While every effort is made to ensure data from this site is accurate and current, the Government of Alberta is not liable for any loss or damage arising from the possession, publication, or use of, that data. This information is provided "as is" without warranty.





Public Tree Disclosure Statement

The City of Calgary Street Bylaw (20M88) and the Tree Protection Bylaw (23M2002) protect trees growing on City (public) land. An approved Tree Protection Plan is required when construction activities occur within 6m of a public tree. More information regarding protecting trees during construction and development is found here. Public trees are required to be shown on plans submitted for this application.

1. Are there public trees on the City lands within six meters of and/or overhanging the development site? Yes No

If you answered yes, ensure all trees identified are shown on the submitted plans.

Note: if you are not sure how to determine which trees are yours and which are public, you can:

- a. Use the [City's tree map](#) (may not be up to date for your property)
- b. Contact 3-1-1 to put in a "development tree inquiry" to get confirmation from an Urban Forester
- c. Send inquiries to tree.protection@calgary.ca

2. Who will be submitting the Tree Protection Plan for this development?

Applicant Owner Builder Other:

If Other: Name: _____ Phone: _____
 Email: _____

The Tree Protection Plan must be submitted directly to Urban Forestry at tree.protection@Calgary.ca following the [Tree Protection Plan Guidelines](#).

FOIP DISCLAIMER: The personal information on this form is being collected under the authority of The Freedom of Information and Protection of Privacy (FOIP) Act, Section 33(c). It will be used to provide operating programs, account services and to process payments received for said services. It may also be used to conduct ongoing evaluations of services received from Planning, Development & Assessment. Please send inquiries by mail to the FOIP Program Administrator, Planning, Development & Assessment, PO Box 2100, Station M, Calgary, AB T2P 2M5 or contact us by phone at 311.



Site Contamination Statement

Application # _____
for office use only

Site Address: _____

Legal Description: _____

The information provided in this disclosure statement will assist the Development, Land Use and Subdivision Authorities in processing planning applications. The Authorities rely on the information provided in this statement to assist in determining the potential for site contamination, which may have been caused by current or historic activities.

You are responsible for the accuracy of the information provided in this statement. The questions must be answered to the best of your knowledge based upon diligent inquiry and the thorough inspection and review of all documents and other information pertaining to the subject property. **Please be aware that further site assessments may be required as part of the review of your application.**

- 1. Are you aware of any environmental investigations (audits, assessments, tests, surveys or studies) for this site? Yes No

If yes, please provide copy(s).

- 2. Are you aware of any environmental requirements associated with any previous planning applications on this site? (i.e. development permit, land use redesign or subdivision) Yes No

If yes please provided a brief description and the associated development application number(s):

- 3. Has there been site remediation or a request for such on the site? Yes No

If yes, please provide a brief description:

4. Are you aware of any regulatory actions, past or current, which have been applied to this site?

Yes No

Examples include (but are not limited to):

- Environmental Protection Orders
- Reclamation Orders or Certificates
- Control / Stop Orders, fines, tickets or prosecutions
- Violations of environmental statutes, regulations and bylaws
- Administrative penalties and warning letters

If yes, please describe and provide copies of relevant documents:

5. Have any permits been issued or are you currently operating under a license or approval issued by federal or provincial authorities (including, but not limited to the Natural Resources Conservation Board, Energy Resources Conservation Board, Alberta Energy Regulator, Alberta Energy and Utilities Board, Alberta Utilities Commission, Minister of Environment and Parks) or the Calgary Fire Department for activities which may impact the property? (e.g. certificates of approval, storage tank regulations, plant operating permits)

Yes No

If yes, please describe:

6. Has there been contact with Alberta Environment or Calgary Regional Health Authority regarding possible contamination on the site?

Yes No

If yes, please provided a brief description:

NOTE: This form is to be signed by the titled owner(s) of the property or their authorized agents or consultants.

I, the owner, authorized agent, authorized consultant, state that, to the best of my knowledge, the information provided in this statement is accurate, complete and is based on diligent inquiry and thorough inspection and review of all the documents and other information reasonably available pertaining to the subject property. I am not aware of any other information that may indicate that the subject property is potentially contaminated.

Date



Applicant Signature

FOIP DISCLAIMER: The personal information on this form is being collected under the authority of The Freedom of Information and Protection of Privacy (FOIP) Act, Section 33(c). It will be used to provide operating programs, account services and to process payments received for said services. It may also be used to conduct ongoing evaluations of services received from Planning, Development & Assessment. Please send inquiries by mail to the FOIP Program Administrator, Planning, Development & Assessment, PO Box 2100, Station M, Calgary, AB T2P 2M5 or contact us by phone at 311.

Applicant Name (Please Print)

Company Name (Please Print)



Climate Resilience Inventory – Development Permits

PL 1325 (R2025-09)

Important: This PDF was designed to be filled in with Adobe Acrobat Reader only. If you are experiencing issues filling out this form, click here for help with your settings.

PURPOSE

This form is intended to assist in the evaluation of development applications for alignment with the climate targets and direction in the Municipal Development Plan and [Calgary Climate Strategy](#).

Information provided through this form will be used for tracking and reporting purposes, and to inform future policy. Please note all data will be aggregated for public reporting.

For more information and guidance on completing this form, please see the [Climate Resilience Inventory – User Guide: Development Permit](#). All terms in **bold** are defined in the user guide.

Please complete all question to the best of your ability with currently known information.

For assistance, please contact CPclimate@calgary.ca.

SECTION 1: APPLICATION INFORMATION

Please provide the following:

Site Address: _____

SECTION 2: ENERGY AND CARBON

Q1: Please indicate, if known, what performance tier of the National Energy Code of Canada for Buildings (NECB) or the National Building Code – Alberta Edition (NBC-AE) the proposed development will achieve. Please round down if the proposed development falls between tiers.

Please only select one response in only the column corresponding to energy code compliance for the type of building being proposed. For more information about which energy code the development is subject to, please see User Guide Section 2: Energy and Carbon.

Please note that multi-residential, commercial, industrial, institutional and mixed-use buildings achieving Tier 2 or better in the NECB and residential and smaller developments achieving Tier 4 or better in the NCB are eligible for the Green Building Priority Stream, which provides streamlined approval and promotion for developments. Please see [Green Buildings Priority Stream Program](#) for more information:

| National Building Code – Alberta Edition (developments under 300m ²) | National Building Code – Alberta Edition (developments over 300m ²) | National Energy Code of Canada for Buildings |
|---|--|--|
| <input type="checkbox"/> Tier 1 (≥ 0% improvement over reference building) | <input type="checkbox"/> Tier 1 (≥ 0% improvement) | <input type="checkbox"/> Tier 1 (≥ 0% improvement) |
| <input type="checkbox"/> Tier 2 (≥ 0% improvement) | <input type="checkbox"/> Tier 2 (≥ 10% improvement) | <input type="checkbox"/> Tier 2 (≥ 25% improvement) |
| <input type="checkbox"/> Tier 3 (≥ 10% improvement) | <input type="checkbox"/> Tier 3 (≥ 20% improvement) | <input type="checkbox"/> Tier 3 (≥ 50% improvement) |
| <input type="checkbox"/> Tier 4 (≥ 30% improvement) | <input type="checkbox"/> Tier 4 (≥ 40% improvement) | <input type="checkbox"/> Tier 4 (≥ 60% improvement) |
| <input type="checkbox"/> Tier 5 (≥ 60% improvement) | <input type="checkbox"/> Tier 5 (≥ 70% improvement) | |
| <input type="checkbox"/> Unknown | | |



Q2: Please indicate if any of the following certifications are being pursued for the proposed development:

- [Net Zero Home Label – Canadian Home Builders' Association](#)
- [Net Zero Ready Home Label – Canadian Home Builders' Association](#)
- [Passive House Canada Certified Building](#)
- [Passive House Institute US Certified Building](#)
- [CaGBC Zero Carbon Building](#)
- [BUILT GREEN High Density Program Gold or Platinum certification](#)
- [BUILT GREEN Single Family Program Platinum or Net Zero Energy+ certification](#)
- Other: _____
- Not seeking certification

Please note that any development that achieves one or more of the above listed certifications, it is eligible for the Green Building Priority Stream, which provides streamlined approval and promotion for developments. Please see [Green Buildings Priority Stream Program](#) for more information.

Q3: Please indicate whether the proposed development will include **solar energy generation** from a rooftop, wall, or canopy system or another **renewable or zero emission form of energy** generation. If known, please provide the proposed capacity for the system.

- Yes, solar energy is proposed to be included.
Proposed capacity: _____ kW. *Please leave blank if proposed capacity is not known.*
- Yes, a non-emitting energy generation source that is not solar is proposed to be included.
Proposed capacity: _____ kW. *Please leave blank if proposed capacity is not known.*
- No, a renewable or non-emitting energy source is not proposed to be included

Q4: If a renewable or non-emitting energy source is not proposed to be included, please indicate if the development is proposed to be **solar-ready**:

- Yes
- No

Q5: Please indicate whether the development is proposed to connect to a **district energy system**:

- Yes, the development is proposed to connect to a district energy system
- No, the proposed development will not connect to a district energy system

SECTION 3: ELECTRIC VEHICLE CHARGING

Q1: Please indicate how many parking stalls are intended to have each of the following:

For more information about electric vehicle (EV) charging terms, please see the User Guide Section 3: Electric Vehicle Charging

- Level 2 EV capable: _____ stalls
- Level 2 EV ready: _____ stalls
- Level 2 EV installed: _____ stalls
- Total parking stalls provided: _____ stalls



Climate Resilience Inventory – Development Permits

PL 1325 (R2025-09)

Q2: Please indicate whether any **public EV charging** (charging accessible to any EV driver) will be provided through the proposed development:

- Level 2: _____ stalls
- Level 3: _____ stalls
- Public EV charging will not be provided

Q3: Please indicate whether any other features are proposed to support the use of or adoption of low or zero emissions transportation:

SECTION 4: CLIMATE RESILIENT MATERIALS AND DESIGNS

Q1: Please indicate, if known, the material used for roofing:

If more than one material is used, please indicate the material that covers the largest area.

- Standard asphalt shingles
- Class 4 impact resistant** asphalt shingles
- Other (rubber, wood, metal, concrete, etc.): _____
- Unknown

Q2: Please indicate, if known, the material used for siding for the development:

If more than one material is used, please select the material that covers the largest area.

- Vinyl siding
- Exterior insulated finishing system (EIFS)
- Cementitious stucco
- Fibre cement board (Hardie Board)
- Wood or wood composite
- Brick, stone, or masonry
- Metal
- Other: _____

SECTION 5: LANDSCAPING

Q1: How many existing privately owned trees on the site are expected to be retained?

- Existing trees: _____ trees
- Trees retained: _____ trees

Q2: How many trees are proposed to be planted in excess of minimal landscaping requirements?

_____ trees

Q3: Do the plant species indicated in landscaping plans consist of **climate resilient vegetation**?

- All species indicated in the landscaping plan are climate resilient
- Some species indicated in the landscaping plan are climate resilient
- No species indicated in the landscaping plan are climate resilient



Q4: Please indicate what percentage of the site is **soft landscape area**:

____%

Q5: Does the proposed development include a **green roof**? If so, please include the size of the green roof

- Yes, a green roof is proposed. Size: _____ m²
- No, a green roof is not proposed.

Q6: Please indicate if a low water landscaping option, as defined in the Land Use Bylaw, or a stormwater reuse system will be included as part of the landscaping?

- Yes
- No
- Unknown/Undecided

SECTION 6: STORMWATER MANAGEMENT

Q1: Are there any **Green Stormwater Infrastructure** features proposed? Please select any features that are included

- Rain garden(s)
- Bioswale(s)
- Semi-permeable pavement
- Rain Barrel(s)
- Cistern(s)
- Other: _____

SECTION 7: FOOD RESILIENCE

Q1: Are any of the plants indicated in the proposed landscaping plan able to provide **edible food**? *Please see the User Guide for a list of species considered to provide palatable food*

- Yes
- No
- Unknown

Q2: Are there **spaces for food production** on site? *Please see the User Guide for requirements for spaces for food production.*

- Yes, there are proposed sites for food production
- No, there are no proposed sites for food production
- Unknown



January 19, 2026

Hill, Chris



Dear Applicant:

RE: Detailed Review (DR)

Development Permit Number: DP2025-06986

Based on the plans received, your application has been reviewed in order to determine compliance with the Land Use Bylaw and applicable City policies. Any variance from the Land Use Bylaw or City policies may require further discussion or revision prior to a decision being rendered.

The City endeavors to render decisions on applications within specific service standards. Please assist us in meeting these targets by ensuring your resubmission is complete and made in a timely manner. Please submit a digital set of the amended plan, in PDF format, along with a detailed response letter on how each of the Prior to Decision and/or Prior to Release conditions have been addressed and/or resolved.

This information must be received, in its entirety, no later than March 20, 2026. If a complete submission is not received by this date, the development permit may be inactivated and subject to a reactivation fee. If the development permit application is not reactivated, it may be cancelled by Administration as per Land Use Bylaw 1P2007, Section 41.1. If you require additional time to respond to the conditions outlined in this Detailed Review document, please let me know by contacting me.

Should you have any questions or concerns, please contact me at (825) 945-8857 or by email at Christian.LePichouron@calgary.ca.

Sincerely,

CHRISTIAN LE PICHOURON
Planner 2



Detailed Review 1 – Development Permit

| | |
|---|---|
| Application Number: | DP2025-06986 |
| Application Description: | New: Townhouse (1 building), Secondary Suite (4 suites), Accessory Residential Building (garage) |
| Land Use District: | Residential - Grade-Oriented Infill |
| Use Type: | Discretionary |
| Site Address: | 4228 VOYAGEUR DR NW |
| Community: | VARSITY |
| Applicant: | Hill, Chris |
| Date DR Sent: | January 19, 2026 |
| Response Due Date: | March 20, 2026 |
| Development Applications Review Team | |
| Planning: | CHRISTIAN LE PICHOURON (825) 945-8857 Christian.LePichouon@calgary.ca |
| Utility Engineering: | BRAD O'KEEFE (403) 966-6846 Brad.O'keefe@calgary.ca |
| Mobility Engineering: | DAVID WANYONG ZHONG 587-576-1844 David.Zhong@calgary.ca |

General Comments

The application is for the construction of one (1) building containing four (4) units and four (4) secondary suites with an accessory residential building used as a detached garage. The subject lands are zoned as Residential – Grade-Oriented Infill (R-CG) District in the Land use By-law. The current land use district allows for this type of development.

It should be noted that four (4) comments were received from residents, of which all four (4) were in opposition of the proposed. Areas of concern included the following:

- Parking;
- Landscaping (loss of existing trees);
- Density; and
- Building (massing, façade, height, shadowing, etc.).

Comments on Relevant City Policies

Municipal Development Plan (MDP)

Per Map 1: Urban Structure, the subject lands are located within the *Developed Residential – Established* area. The *Established* area is characterized as primarily residential communities

Track your application on-line with VISTA. Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

with limited redevelopment potential. Policies encourage modest redevelopment and identify Neighbourhood Activity Centres as the focus for redevelopment opportunities, whereas other sites may provide for opportunities for redevelopment over time.

South Shaganappi Communities Local Area Plan (LAP)

Per Map 3: Urban Form, the subject lands are located within the *Neighbourhood Local* area. The *Neighbourhood Local* area is characterized by a range of housing types and home-based businesses. The subject lands are also located within the *Limited (up to 3 storeys)* area, as identified on Map 4: Building Scale. The following applies to parcels located within the *Neighbourhood Local* and *Limited (up to 3 storeys)* areas:

2.2.1.4 (a) Development in Neighbourhood Connector and Neighbourhood Local areas should: i. be primarily residential uses; and, ii. support a broad range and mix of housing types, unit structures, and forms.

2.2.1.4 (c) Development in Neighbourhood Connector and Neighbourhood Local areas should: i. consider the local built form context; ii. be oriented towards the street; iii. consider shadowing impacts on neighbouring properties and parks; and, iv. provide access to off-street parking and loading areas from the lane.

2.3.1(b) Development in Limited Scale areas may limit building mass above the second storey in Neighbourhood Local areas.

In addition to the building and site design policies above, development within the LAP area is subject to the General Policies of Section 2.4. Consideration should be given to the following:

2.4.2.3 (b) Where provided, shared private amenity spaces should be for the use of all occupants of a development and universally-accessible.

2.4.2.3 (c) Building façades adjacent to publicly-accessible or shared private amenity spaces should: i. complement the space using high-quality materials; ii. be of an appropriate scale to support user comfort; and, iii. provide windows and entrances that offer views to and from the building where it is adjacent to shared or publicly-accessible interior space.

2.4.2.3 (d) Publicly-accessible and shared private amenity spaces should: i. be adequately sized to accommodate the anticipated number of users; ii. be flexible and adaptable to a variety of activities and programming; iii. include lighting and furniture; iv. consider sunlight and shade access; and, v. provide weather protection to support year-round use.

| Bylaw Discrepancies | | |
|-----------------------------|---|---|
| Regulation | Standard | Provided |
| 542.2 Planting Requirements | (4) The requirement for the provision of 1.0 tree is met where: | Plans do not indicate the height of the 2 Colorado Blue Spruce trees. |

Track your application on-line with VISTA. Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

| | | |
|------------------------------------|--|--|
| | (b) a coniferous tree has a minimum height of 2.0m | Amend plans to meet By-law requirements. |
| 345 Accessory Residential Building | (6) The height of an Accessory Residential Building must not exceed: (b) 3.0m at any eaveline, when measured from the finished floor of the building | Plans indicate the eaveline height is 3.20m (+0.20m). Amend plans to meet By-law requirements. |

Prior to Decision Requirements

The following issues must be addressed by the Applicant through a written submission and amended plans prior to a decision by the Approving Authority:

Planning

1. Submit a complete digital set of the amended plans in PDF format and a separate PDF response letter that provides a point-by-point explanation as to how each of the Prior to Decision conditions were addressed and/or resolved. If Prior to Release conditions have been addressed in the amended plans, include a point-by-point explanation for these items as well. The submitted plans must comprehensively address the Prior to Decision conditions as specified in the DTR document. Ensure that all plans affected by the revisions are amended accordingly. To arrange the digital submission, please contact the File Manager directly.

This information must be received, in its entirety, no later than 60 days from the date this DTR form was sent to the applicant and owner. If a complete submission is not received within the 60 day time frame, the development permit may be inactivated. Upon inactivation, the applicant and owner will receive written notice of the inactivation and of a further 30 day time frame within which the application may be reactivated subject to a reactivation fee. If the development permit application is not reactivated as per the written notification, it may be cancelled by Administration as per Land Use Bylaw 1P2007, Section 41.1.

In the event that the application needs to be recirculated, a recirculation fee may be applied.

2. Amend plans to address the bylaw discrepancies noted on pages 3 to 4 of this document. Alternatively, provide planning rationale in a written submission supporting any proposed relaxations to address the bylaw discrepancies noted on pages 3 to 4 of this document.
3. Amend plans to include colour of building materials for elevation details.
4. Common / Shared Private Amenity spaces should include lighting and furniture in addition to being flexible and adaptable to a variety of activities and programming to accommodate the anticipated number of users in accordance with Section 2.4.2.3 of the LAP (see Relevant City Policies).

Track your application on-line with VISTA. Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

Mobility Engineering

5. As per Roads specification the minimum grade from the centre line to the existing property line is 2% to 3.5% as the asphalt paving. Adjust the garage apron geodetic elevations to ensure the above comments are met.
6. Refer to Land Use Bylaw 1P2007, Part 3, Division 6, Section 125, all bicycle parking is to be designed as per the [City of Calgary Bicycle Parking Handbook](#). Bicycle parking stalls must include a device specifically designed to park a bicycle; which allows a bicycle frame and both wheels to be secured. The device shall be anchored to a hard surface or fixed structure. Transportation recommends U-racks for Class 1 stalls as this provides the safest and most accessible design for all ages, abilities and varying bicycle types.

Amend the site plans to clearly indicate the internal dimensions and designs for the bike lockers:

- The minimum internal dimensions for the individual storage lockers are: 2.5m long, 1.2m wide and a height of 2.0m with one U-rack to accommodate 2 class one bike parking stalls.
- Bicycle parking design shall align with the City of Calgary Bicycle Parking Handbook (draft) and must be designed to allow a bicycle frame and both wheels to be secured.

7. As per the Land Use Bylaw 1P2007, Section 122(3): 5.9m for a private garage, amend the site plans to clearly indicate the vehicle parking garage interior dimension as 3.0m by 5.9m for a single car garage and 5.7m by 5.9m for a double car garage. In addition, the garage floor is required to be slopped down toward the overhead garage door, minimum 2% is required.

Note: Research report: Parking Dimensions, Dada, E & Furuya, M 2010, The Parker, 2nd Quarter 2010, Appendix A has indicated that the width and depth of a parking stall is typically based on the average width and length of a design vehicle plus room for the vehicle door to open and bumper clearance. Based on the data collected, research completed, and analysis undertaken, the report recommended the parking stall depth dimensions for The City of Calgary as 5.9m for private garage and 5.4m for parkade/surface parking stalls as "The one stall fits all" approach is maintained.

Prior to Release Requirements

The following requirements shall be met prior to the release of the permit. All requirements shall be resolved to the satisfaction of the Approving Authority:

Planning

8. The Prior to Release Requirements will be finalized at the time of Development Authority decision.
9. Submit a complete digital set of the amended plans in PDF format and a separate PDF that provides a point-by-point explanation as to how each of the Prior to Release conditions were addressed and/or resolved. The submitted plans must comprehensively address the Prior to Release conditions as specified in this document. Ensure that all plans affected by the revisions are amended accordingly. To arrange the digital submission, please contact your File Manager directly.

Utility Engineering

10. Amend the plans to:
 - Utility Specialists - Water Servicing
 - a. Indicate an adequate water meter area where the services (50mm and smaller) enter the building,
 - b. Indicate an adequate water meter area where the services enter the building,
 - c. Indicate and dimension a minimum 2.0m vertical clearance for the proposed water meter room/area on all relevant plans, details and sections,
 - Utility Specialists - Sanitary and Stormwater Servicing
 - a. Provide site grading details (complete with elevations) to confirm site stormwater does not drain into the neighboring parcels.
11. Submit a Development Site Servicing Plan for review and acceptance from Utility Specialists, as required by Section 5 (2) of the Utility Site Servicing Bylaw 33M2005. Contact [Utility Specialists](#) for additional details. For further information, refer to the following:
 - Development Site Servicing Plan Webpage
<https://www.calgary.ca/uep/water/specifications/water-development-resources/development-site-servicing-plans.html>
 - Development Site Servicing Plans CARL (requirement list)
<http://www.calgary.ca/PDA/pd/Pages/Permits/carl-building-development-permit-search.aspx>
12. The subject property requires a storm sewer connection (main extension) and is within the storm redevelopment levy area. As the parcel is smaller than 700m², the applicant may:

Track your application on-line with VISTA. Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

- a. Provide a drywell design at the Development Site Servicing Plan (DSSP) stage sized to store the 1:100 year 24-hour storm event in the gravel drainage rock.
- b. Submit payment for the storm redevelopment fee (\$84 / m frontage) at the DSSP stage, and
- c. Provide block profiles that conform to the Standard Block Profile Specifications for CAD and Manual Formats for the proposed storm sewer extension as a part of the DSSP submission for approval by Water Resources. Onsite storm service must be stubbed by the Developer to the property line adjacent to the proposed main extension. The main extension and service to the stub will be done by the City of Calgary.

If the applicant would like to pursue a main extension at their expense, they must enter into an indemnification agreement for work within the City Right-of-way. This must be completed prior to the DSSP application.

13. After the Development Permit is approved but prior to its release, the landowner shall make payment of off-site levies pursuant to Bylaw 1H2024. The off-site levy is based on a 2025 development approval date and on the following:

| Phase | Description | Unit(s) |
|-------|---------------------|---------------------------------|
| 1 | 4228 VOYAGEUR DR NW | Existing Single: 1/New Grade: 4 |

Based on the information above, the preliminary estimate is \$13,226.00. Final estimate and payment instructions will be sent via email upon Development Permit approval. Should the landowner wish to defer the payment of the offsite levies to Development Completion Permit (DCP), an Offsite Levy Agreement will be required.

To obtain an off-site levy agreement or for further information, contact the Infrastructure Strategist (DANIELA PAUL-GUTIERREZ at 587-215-6525 or daniela.paul-gutierrez@calgary.ca).

Mobility Engineering

14. Remit a performance security deposit (certified cheque, bank draft, letter of credit) for the proposed infrastructure listed below within the public right-of-way to address the requirements of the Business Unit. The amount of the deposit is calculated by Roads and is based on 100% of the estimated cost of construction.

The developer is responsible to arrange for the construction of the infrastructure with their own forces and to enter into an Indemnification Agreement with Roads at the time of construction (the security deposit will be used to secure the work).

Roads

- a. Construction of new 1.5m monolithic sidewalks adjacent to Voyageur Drive NW, new curb and gutter, to City standards,
- b. Rehabilitation of existing driveway crossings, sidewalks, curb and gutter, etc., should it be deemed necessary through a site inspection by Roads personnel.

Note: Please note that for 1.5m monolithic sidewalk with standard curb the actual sidewalk width is 1.61m. Dimension the back of walk accordingly. Refer to Roads Construction 2021 Standard Specifications, Figure 37, File No 454.1013.009. Where significant trees are to be retained, existing sidewalk width can remain within the drip line and transition to new width clear of the drip line.

15. Remit payment (certified cheque, bank draft) for the proposed street light upgrades adjacent to the subject site within the public right-of-way to address the requirements of the Roads Business Unit. The amount is calculated by Roads the respective Business Unit and is based on 100% of the estimated cost of construction.

The developer is responsible to coordinate the timing of the construction by City forces. The payment is non-refundable.

Permanent Conditions

The following permanent conditions shall apply:

Planning

16. The Permanent Conditions will be finalized at the time of Development Authority decision.
17. All rules of Land Use Bylaw 1P2007 apply, subject to any relaxations approved by the Development Authority in this development permit.
18. The development shall be completed in its entirety, in accordance with the approved plans and conditions. The stamped and signed plans are a legal document.
19. No changes to the approved plans shall take place unless authorized by the Development Authority. If changes to the development occur or are proposed, a new development permit or revised plan application may be required.
20. A development completion permit must be issued for the development before the use is commenced or the development occupied. A development completion permit is independent from the requirements of City of Calgary Building Regulations inspections and permission for occupancy. Request a development completion permit inspection by visiting inspections.calgary.ca or call 403-268-5311.
21. Parking and landscaping areas must be separated by a 150mm (6 inch) continuous, poured in place, concrete curb or equivalent material to the satisfaction of the Development Authority, where the height of the curb is measured from the finished hard surface.
22. When the main floor is constructed, submit the surveyed geodetic elevation to Geodetic.Review@Calgary.ca

Utility Engineering

23. The developer / project manager, and their site designates, shall ensure a timely and complete implementation, inspection and maintenance of all practices specified in erosion and sediment control report and/or drawing(s) which comply with Section 3.0 of The City of Calgary Guidelines for Erosion and Sediment Control. Any amendments to the ESC documents must comply with the requirements outlined in Section 3.0 of The City of Calgary Guidelines for Erosion and Sediment Control.

For other projects where an erosion and sediment control report and/or drawings have not been required at the Prior to Release stage, the developer, or their designates, shall, as a minimum, develop an erosion and sediment control drawing and implement good housekeeping practices to protect onsite and offsite

storm drains, and to prevent or mitigate the offsite transport of sediment by the forces of water, wind and construction traffic (mud-tracking) in accordance with the current edition of The City of Calgary Guidelines for Erosion and Sediment Control. Some examples of good housekeeping include stabilization of stockpiles, stabilized and designated construction entrances and exits, lot logs and perimeter controls, suitable storm inlet protection and dust control.

For all soil disturbing projects, the developer, or their representative, shall designate a person to inspect all erosion and sediment control practices a minimum of every seven (7) days and during, or within 24 hours of, the onset of significant precipitation (> 12 mm of rain in 24 hours, or rain on wet or thawing soils) or snowmelt events. Note that some practices may require daily or more frequent inspection. Erosion and sediment control practices shall be adjusted to meet changing site and winter conditions. The City of Calgary Guidelines for Erosion and Sediment Control can be accessed at: www.calgary.ca/ud (under publications).

24. If during construction of the development, the developer, the owner of the titled parcel, or any of their agents or contractors becomes aware of any contamination,
 - a. the person discovering such contamination shall immediately report the contamination to the appropriate regulatory agency including, but not limited to, Alberta Environment and Protected Areas and The City of Calgary (311).
 - b. on City of Calgary lands or utility corridors, The City of Calgary, Climate and Environment (Contaminated Sites Section) must be immediately notified (311).
25. Stormwater runoff must be contained and managed in accordance with the Stormwater Management & Design Manual all to the satisfaction of the Coordinator, Utility Specialist.
26. The grades indicated on the approved Development Site Servicing Plan must match the grades on the approved Development Permit plans. Upon a request from the Development Authority, the developer or owner of the titled parcel must confirm under seal from a Consulting Engineer or Alberta Land Surveyor, that the development was constructed in accordance with the grades submitted on the Development Permit and Development Site Servicing Plan.
27. After approval of the Development Permit but prior to issuance of a Development Completion Permit or any occupancy of the building, payment shall be made for off-site levies pursuant to Bylaw 1H2024.
28. Pursuant to Bylaw 1H2024, off-site levies are applicable.

Mobility Engineering

29. No direct vehicular access is permitted to or from VOYAGEUR DR NW.
30. The developer shall be responsible for the cost of public work and any damage during construction in City road right-of-ways, as required by the Manager, Development Engineering. All work performed on public property shall be done in accordance with City standards.

31. Indemnification Agreements are required for any work to be undertaken adjacent to or within City rights-of-way, bylawed setbacks and corner cut areas for the purposes of crane operation, shoring, tie-backs, piles, surface improvements, lay-bys, utility work, +15 bridges, culverts, etc. All temporary shoring, etc., installed in the City rights-of-way, bylawed setbacks and corner cut areas must be removed to the satisfaction of the Manager, Development Engineering, at the applicant's expense, upon completion of the foundation. Prior to permission to construct, contact the Indemnification Agreement Coordinator, Roads at roadsia@calgary.ca
32. The approved driveway(s) required for this development must be constructed to the ramp grades as shown on the approved Development Permit plans. Negative sloping of the driveway within the City boulevard is not acceptable. If actual grades do not match the approved grades, the developer/owner shall be responsible for all costs to remove and reconstruct the entire driveway ramp in accordance with approved grades.

Advisory Comments

The following advisory comments are provided as a courtesy to the Applicant and registered property owner. The comments represent some, but not all of the requirements contained in the Land Use Bylaw that must be complied with as part of this approval.

Planning

33. The Advisory Comments will be finalized at the time of Development Authority decision.
34. The Applicant may appeal the decision of the Development Authority, including any of the conditions of the development permit. If you decide to file an appeal, please refer to the notification of decision letter for the appropriate appeal body and appeal process.
35. The approval of this development permit does not limit in any way the application of any federal, provincial, or municipal law, policy, code, regulation, bylaw, and/or guideline, nor does it constitute any permit or permission under any federal, provincial, or municipal law, policy, code, regulation, bylaw, and/or guideline.
36. BenchmarkYYC is a free and voluntary program that assists Building Owners and Operators with:
 - collecting aggregated, whole-building energy use information;
 - creating an ENERGY STAR Portfolio Manager account;
 - sharing data to obtain a digital Energy Performance Scorecard;
 - monitoring available building retrofit funding and financing opportunities; and
 - accessing free and discounted training on building decarbonization.

Continuous benchmarking of your building energy and emissions performance promotes continuous optimization of building systems and can help decision-makers prioritize decarbonization projects while planning capital investments.

Your participation in BenchmarkYYC will also help the City of Calgary further its commitment to our Climate Strategy, while contributing to affordability through potential energy cost savings.

Contact energybenchmarking@calgary.ca to confirm if your proposed development is a suitable candidate for this program.

37. The applicant should be aware that buildings should be net zero no later than 2050, to align with the targets of the [Calgary Climate Strategy](#). By not building to a net zero ready standard at the time of construction the applicant may be forgoing substantial energy and cost savings over the lifecycle of the development, and may necessitate costly, difficult, and premature retrofits.

Utility Engineering

38. The developer is responsible for ensuring that:
- a. The environmental conditions of the subject property and associated utility corridors meet appropriate regulatory criteria and appropriate environmental assessment, remediation, exposure control or risk management is undertaken.
 - b. Appropriate environmental assessment(s) of the property has been undertaken and, if required, a suitable Remedial Action Plan, Exposure Control Plan and/or Risk Management Plan has been prepared, reviewed and accepted by the appropriate regulatory agency(s) including but not limited to Alberta Environment and Protected Areas.
 - c. The development conforms to any reviewed and accepted Remedial Action Plan, Exposure Control Plan and/or Risk Management Plan.
 - d. All reports are prepared by a qualified professional in accordance with accepted guidelines, practices and procedures that include but are not limited to those in the most recent versions of the Canadian Standards Association and City of Calgary Phase I & II Environmental Site Assessment Terms of Reference.
 - e. The development is in compliance with applicable environmental approvals, for example from Alberta Environment and Protected Areas, Alberta Energy Regulator and/or Natural Resources Conservation Board; as well, any related setback requirements, and landfill setback requirements as set out in the Subdivision and Development Regulation.
- If the potential for methane generation or vapours from natural or contaminated soils and groundwater has been identified on the property, the developer is responsible for ensuring appropriate environmental assessment(s) of the property has been undertaken and appropriate measures are in place to protect the building(s) and utilities from the entry of methane or other vapours.
- Issuance of this permit does not absolve the developer from complying with and ensuring the property is developed in accordance to applicable environmental legislation.
39. A new water connection is required to service the development and is available from east lane.
40. Show details of servicing and metering on Development Site Servicing Plan. Provide adequate water meter locations (100mm or larger, room adjacent to an exterior wall; 50mm or less, label water meter location) where services enter building. If static pressure exceeds 550 kPa install pressure reducing device after meter.
41. Maintain a 3.0m separation between Enmax facilities (power poles, light standards, transformer pads, catch basins, etc.) with the proposed water service.
42. Redundant services are to be disconnected at the source and new service installed at the owners expense.

43. Each unit must be individually metered.
44. Ensure that the water service separation from the foundation wall or piles is:
 - a. 4.0m (100mm service or larger), or
 - b. 3.0m (50mm service or smaller), or
 - c. 2.0m when the foundation wall or piles extends vertically a minimum of 2.0m below the invert of the water pipe.
45. The applicant must apply for water and sewer connections as per City Standards.
46. A new sanitary connection is required to service the development and is available from east lane.
47. Storm sewers are unavailable for connection.
48. It has been determined that a storm main extension is required to service the subject proposal. The work is to be constructed by the developer and will be 100% at the developer's expense, subject to the terms and conditions of the Indemnification Agreement, to the satisfaction of the Coordinator, Development Commitments. Potential reimbursement from the Stormwater and Housing Impacts Project (SHIP) may be available. This program provides the potential for the repayment of the costs associated with construction of these types of extensions. The project uses funds from the Housing Accelerator Fund to fund extensions to residential developments. For more information and to apply please contact Pete Meadows at Pete.Meadows@calgary.ca.
49. A sanitary / storm sewer extension is required to service the proposed development at the Developer's expense. Where extensions of City mains are required for proposed development, an indemnification agreement must be entered into to undertake the work. Construction drawings shall be submitted to the City for approval prior to the Development Site Servicing Plan circulation approval.
50. Best Management Practices (BMPs) are activities or practices that are designed to reduce runoff volume and prevent or reduce the release of pollutants to receiving waters. Operation and maintenance manual and sample maintenance log shall be provided to the owner in case there are any BMPs located within the property as per the current Stormwater Management & Design Manual Section 4.13. Appropriate Source Control Practice checklists must be completed and submitted to Development Approvals (<http://www.calgary.ca/UEP/Water/Pages/Specifications/Submission-for-approval-/Development-Approvals-Submissions.aspx>). For more information contact Development Planning at 403-268-6449.
51. The allowable stormwater run-off coefficient shall be 50 L/s/ha.
52. Surface ponding (trapped lows) should be designed to contain all the flow generated from the 100-year storm events.
53. Where possible, discharge of roof leaders should be directed onto grassed or pervious areas to help reduce the volume of runoff. Alternatively, the roof leaders may be directed to the on-site storm sewer system.

54. Ensure elevations of building slab and/or any building openings are 0.3m minimum above trap low spill elevations or the 100-year elevation, whichever is higher. The minimum grade within the lot adjacent to the trap low must be 0.3m higher than the 1:100-year elevation in the trap low or spill elevation, whichever is higher. This minimum grade must be achieved within a 6.0m distance from the common property line of the lot and the road right-of-way.
 55. Weeping tile is required to tie to the storm sewer unless a qualified soils consultant has determined otherwise. The consultant shall use the criteria set out in Section 3.3.6.8 of the Stormwater Management & Design Manual. A letter with the appropriate elevations (in metric geodetic) and information will be required by Utility Specialists.
 56. The gravel blanket below footing and basement slab will not be considered a substitute for weeping tile around the building footing.
 57. As per The City of Calgary Drainage Bylaw 37M2005, the developer, and those under their control, are responsible for ensuring that a Drainage Permit is obtained from Utility Specialists prior to discharging impounded runoff (caused by rainfall and/or snowmelt) seepage or groundwater from construction site excavations or other areas to a storm sewer. The developer, and those under their control, is responsible for adhering to all conditions and requirements stipulated in the Drainage Permit at all times. For further information, contact the Corporate Call Centre at 311 or visit <http://www.calgary.ca/UEP/Water/Pages/Watersheds-and-rivers/Erosion-and-sediment-control/Report-and-Drawings-Templates-and-Guides.aspx> (Drainage Permit applications can be downloaded from this website).
 58. Stormwater emergency escape routes must be to a public roadway.
 59. A minimum depth of 300mm topsoil for all sodded areas and 600mm for shrub and tree beds is to be used.
 60. For questions and concerns regarding waste storage facilities, refer to the Development Reviews: Design Standards for the Storage and Collection of Waste
Found at: <http://www.calgary.ca/UEP/WRS/Pages/Commercial-Services/Development-Permits-Waste-Recycling.aspx>
- OR
- Contact the Waste & Recycling Services Specialist/Development Engineering Generalist at 403-268-8445 for further site specific details.
61. Waste storage enclosures and collection areas shall be maintained and clear of snow and ice.
 62. The waste and recycling enclosure shall be kept in a good state of repair at all times and the doors shall be kept closed while the enclosures are not actively in use for delivery or removal of refuse.

63. Secondary suites may not be eligible to receive a separate set of waste and recycling containers from the City of Calgary. Suites are expected to share the waste storage with the associated primary dwelling unit.

February 25, 2026

City of Calgary Planning
DTR Response for DP2025-06986
File Manager: Christian Le Pichouron

Response to Detailed Review

Dear Christian,

Please find our responses to the Detailed Review for DP2025-06986 below. Any questions can be directed to Chris Hill at chris@beginwithdesign.com

Prior to Decision Requirements

Bylaw Discrepancies

542.2. Planting Requirements

The height of the two Colorado Blue Spruce trees has been added, and a revision cloud labeled #1 has been included in the landscape plan legend to clearly indicate this modification (see Sheet A0.2).

345. Accessory Residential Building

The eaveline height of the detached garage has been modified to 3.0 m. A revision cloud labeled #2 has been included in the garage section to clearly indicate this modification (see Sheet G1.0).

Planning

3. Material Finishes

The elevations now include the finishes and the corresponding color and material annotations on the front, rear, and side elevations (see Sheets A2.0 and A2.1).

4. Amenity Spaces

The amenity spaces now include defined sitting and gardening areas to allow flexibility and adaptability for a variety of activities (see Sheet A0.2).

February 25, 2026

Mobility Engineering

5. Amenity Spaces

As per Roads specifications, the garage apron geodetic elevations have been revised to provide a grade between 2% and 3.5% from the centreline of the lane to the existing property line, consistent with the asphalt paving (see Sheets A3.1 and G1.0).

6. Class 1 Bicycle Stall

The design of the Class 1 bicycle stalls has been modified and now includes one U-rack to accommodate two bikes, with interior dimensions of 1.2 m wide and 2.5 m long. A revision cloud labeled #3 has been included in the site plan and its corresponding detail to clearly indicate this modification (see Sheets A0.1 and A0.2).

7. 122.3 Private Garage

The interior dimensions of the garage are labeled, and a revision cloud labeled #3 has been included in the garage floor plan to indicate the modification (see Sheet G1.0).

Thank you for your attention and assistance. I look forward to furthering our conversation.

Warmest regards,

Chris Hill

SENIOR RESIDENTIAL DESIGNER

Ellergodt DESIGN

February 25, 2026

City of Calgary Planning
DTR Response for DP2025-06986
File Manager: Christian Le Pichouron

Response to Detailed Review

Dear Christian,

Please find our responses to the Detailed Review for DP2025-06986 below. Any questions can be directed to Chris Hill at chris@beginwithdesign.com

Prior to Decision Requirements

Bylaw Discrepancies

542.2. Planting Requirements

The height of the two Colorado Blue Spruce trees has been added, and a revision cloud labeled #1 has been included in the landscape plan legend to clearly indicate this modification (see Sheet A0.2).

345. Accessory Residential Building

The eaveline height of the detached garage has been modified to 3.0 m. A revision cloud labeled #2 has been included in the garage section to clearly indicate this modification (see Sheet G1.0).

Planning

3. Material Finishes

The elevations now include the finishes and the corresponding color and material annotations on the front, rear, and side elevations (see Sheets A2.0 and A2.1).

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February 25, 2026

Mobility Engineering

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Chris Hill

SENIOR RESIDENTIAL DESIGNER

Ellergodt DESIGN

Residential - Grade-Oriented Infill (R-CG) District

D.P. # 2025-06986

| Rule | Requirements | | | Evaluation | | | |
|---|--|---|---------|-----------------------------|--------------|-------|---------|
| | | | | Notes | | | |
| | | | | Provided/Variance | | | |
| Secondary Suites | If applicable please refer to Secondary Suites Form | | | | See Attached | N/A | N/I |
| 537 Building Setback from Front Property line | The minimum building setback from a front property line is 3.0m | | | West | 3.32 | 0.32 | |
| 334 Projections into Setback Areas | (3) Portions of a building below the surface of the ground may extend without any limits into a setback area, with the exception of the required front setback area. | | | | C | N/C | N/A N/I |
| 336 Projections Into Front Setback Area | (1) Unless otherwise referenced in subsection (6), bay windows and eaves may project a max. of 0.6 m into the front setback area. | | | West Eave | 0.03 | -0.57 | |
| | (2) Landings, ramps other than wheelchair ramps and stairs may project into a front setback area provided: | (a) they provide access to the main floor or lower level of the building; and | | | C | N/C | N/A N/I |
| | | (b) the area of a landing does not exceed 2.5m ² | | Unit 1 entry | 2.08 | -0.42 | |
| | (5) In a Developed Area, a porch may project a maximum of 1.8m into a front setback area where: | | | | N/A | | |
| | (a) it forms an entry to the main floor of a Dwelling Unit of a main residential building; | | | | | | |
| | (b) the setback of the porch from the front property line is not less than the minimum setback in the district; | | | | | | |
| (c) the maximum height of the porch platform is 1.2m measured from grade, excluding stairs and a landing area not exceeding 2.5m ² ; and | | | | | | | |
| (d) the portion of the porch that projects into a front setback area is unenclosed, other than by a railing, balustrade or privacy walls located on porches between attached units. | | | | | | | |
| (6) Eaves may project an additional 0.6m from a porch into the front setback area, as described in subsection (5). | | | | | | | |
| 335 Length of Portions of a Building in Setback Areas (Front) | (1) On each storey, the total combined length of all projections into any setback area must not exceed 40% of the length of the façade <i>(Does not apply to decks, eaves, porches, ramps, and stairs)</i> | | | PROVIDE LENGTH AND % VALUES | N/A | | |
| | 1st st | | X 40% = | | | | |
| | 2nd st | | X 40% = | | | | |
| (2) The max. length of an individual projection into any setback area is 3.1m | | | | | | | |
| 538 Block Face Requirements | (1) A minimum building setback of 1.2m is required from a side property line at least every 60.0m along the entire length of a block face. Block Face (Property Line) Length (m): | | | | Complies | | |
| | (2) Where subsection (1) applies, the side setback area must be clear of all air conditioning units, window wells and portions of a building measured from grade to a height of 2.4m | | | | | | |
| | (1) Subject to subsections (3) through (9), the minimum building setback from any side property line is 1.2m | | | North | 1.20 | 0.00 | |
| | | | | South | 1.20 | 0.00 | |
| | (2) Subject to subsections (3) through (7), for a laneless parcel, the minimum building setback from any side property line is: | (a) 1.2m; or | | | | | |
| | | (b) 3.0m on one side of the parcel when no provision is made for a private garage on the front or side of a building. | | | | | |
| | (3) There is no requirement for a building setback from a property line upon which a party wall is located. | | | | | | |
| (4) The minimum building setback from a side property line may be reduced to a zero setback where: | (a) the owner of the parcel proposed for development and the owner of the adjacent parcel register, against both titles, a 1.2m private maintenance easement. | | | | | | |

| | | | | | | | | | | | |
|--|---|--|--------------|-----------------------------|-------|--------|------|--------|-------|--|--|
| 539 Building Setback from Side Property Line | (5) The minimum building setback from a side property line may be reduced to a zero setback where the main residential building on the adjoining parcel has a zero setback. | | | | | | | | | | |
| | (6) For a corner parcel, the minimum building setback from a side property line shared with a street is 0.6m | | | N/A | | | | | | | |
| | (7) The building setback from a side property line of 3.0m required in subsection 2(b) may be reduced to zero metres where the owner of the parcel proposed for development and the owner of the adjacent parcel registers, against both titles, a private access easement: | (a) where the width of the easement, in combination with the reduced building setback, must be at least 3.0 metres; | | | | | | | | | |
| | | (b) that provides unrestricted vehicle access to the rear of the parcel. | | | | | | | | | |
| | (8) Unless otherwise referenced in subsection (9), on a laned parcel the minimum building setback from a side property line for a private garage attached to a main residential building is 0.6m | | | | | | | | | | |
| (9) On a laned parcel, the minimum building setback for a private garage attached to a main residential building that does not share a side or rear property line with a street may be reduced to zero metres where the wall of the portion of the building that contains the private garage is constructed of maintenance-free materials and there is no overhang of eaves onto an adjacent parcel. | | | | | | | | | | | |
| 337 Projections Into Side Setback Area | (1.1) Portions of a building greater than or equal to 2.4m above grade may project a max of 0.6m into any side setback area. | | | North Cantilever X2 | 0.56 | -0.04 | | | | | |
| | | | | South Cantilever X2 | 0.56 | -0.04 | | | | | |
| | (1.2) Portions of a building less than 2.4m above grade may project a maximum of 0.6m, | | | N/A | | | | | | | |
| | (1.2) (b) for all other uses: | (i) when located on a corner parcel; | | C | N/C | N/A | N/I | | | | |
| | | (ii) where at least one side setback area is clear of all portions of the building measured from grade to a height of 2.4m; or | | C | N/C | N/A | N/I | | | | |
| | | (iii) where the side setback area contains a private maintenance easement required by this Bylaw and no portion of the building projects into the required private maintenance easement. | | C | N/C | N/A | N/I | | | | |
| | (1.3) Window wells may project a maximum of 0.8m into any side setback area. | | | N/A | | | | | | | |
| | (2) Window wells and portions of a building, other than eaves, must not project into a 3.0m setback required on a laneless parcel. | | | N/A | | | | | | | |
| | (3) Eaves may project a max. of 0.6m into any side setback area. | | | North Eave | 0.61 | 0.01 | | | | | |
| | | | | South Eave | 0.61 | 0.01 | | | | | |
| (5) Landings, ramps other than wheelchair ramps and stairs may project in a side setback area provided: | (a) they provide access to the main floor or lower level of the building; | | N/A | | | | | | | | |
| | (b) the area of a landing does not exceed 2.5m ² | | | | | | | | | | |
| | (c) the area of any portion of a landing that projects into the side setback area does not exceed 1.8m ² | | | | | | | | | | |
| | (d) they are not located in a 3.0m side setback area required on a laneless parcel; and | | | | | | | | | | |
| | (e) they are not located in a side setback area required to be clear of projections, unless pedestrian access from the front to the rear | | | | | | | | | | |
| (10) Central air conditioning equipment may project a maximum of 1.0m into a side setback area: | | | N/A | | | | | | | | |
| (8) Any portion of a building that projects into a side setback area, other than eaves, landings, window wells, ramps and stairs, must not be located closer than 0.9m from the nearest front façade. | | | Complies | | | | | | | | |
| (9) Balconies and decks must not project into any side setback area; | | | No Decks | C | N/C | N/A | N/I | | | | |
| | | | No Balconies | | | | | | | | |
| 335 Length of Portions of a Building in Setback Areas (Side) | (1) On each storey, the total combined length of all projections into any setback area must not exceed 40% of the length of the façade <i>(Does not apply to decks, eaves, porches, ramps, and stairs)</i> | | | PROVIDE LENGTH AND % VALUES | % | Length | % | Length | | | |
| | 1st st | | X 40% = | | | | | | | | |
| | 2nd st | 20.57 | X 40% = | 8.23 | North | 23.72 | 4.88 | -16.28 | -3.35 | | |
| | 2nd st | 20.57 | X 40% = | 8.23 | South | 23.72 | 4.88 | -16.28 | -3.35 | | |
| | _st | | X 40% = | | | | | | | | |
| (2) The max. length of an individual projection into any setback area is 3.1m <i>(Includes Window Wells)</i> | | | Largest | 2.44 | -0.66 | | | | | | |
| 540 Building | (1) Unless otherwise referenced in subsection (2) the minimum building setback from a rear property line is 7.5m | | | N/A | | | | | | | |

| Page 5 | | | | | | |
|---|--|---|---|-----------------------------|----------|-----|
| Setback from Rear Property Line | (2) On a laned or corner parcel, the minimum building setback from a rear property line is 1.2m | | | East | Complies | |
| | 338 Projections Into Rear Setback Area | (2) Awnings, balconies, bay windows, canopies, chimneys, decks, eaves, fireplaces, fire escapes, landings, porches, and ramps other than wheelchair ramps may project a max of 1.5m into any rear setback area. | | | | N/A |
| (3) A private garage attached to a building may project without limits into a rear setback area provided it: | | (a) does not exceed 4.6m in height, measured from the finished floor of the private garage; | | | | |
| | | (b) does not exceed 75.0m ² in gross floor area for each Dwelling Unit located on the parcel. | | | | |
| | | (c) has no part that is located closer than 0.60m to the rear property line; and | | | | |
| | | (d) has no eave closer than 0.6m to a side property line. | | | | |
| (4) When an attached private garage has a balcony or deck, the balcony or deck must not be located within 6.0m of a rear property line or 1.2m of a side property line. | | | | | | |
| 335 Length of Portions of a Building in Setback Areas (Rear) | (1) On each storey, the total combined length of all projections into any setback area must not exceed 40% of the length of the façade <i>(Does not apply to decks, eaves, porches, ramps, and stairs)</i> | | | PROVIDE LENGTH AND % VALUES | N/A | |
| | 1st st | | X 40% = | | | |
| | 2nd st | | X 40% = | | | |
| | (2) The max. length of an individual projection into any setback area is 3.1m | | | | | |
| 339 Decks | (2) The height of a deck in the Developed Area must not exceed: | (a) 1.5m above grade at any point, except where the deck is located on the same façade as the at-grade entrance to a walkout basement; and | | | N/A | |
| | | (b) 0.3m above the main floor level of the closest main residential building on the parcel. | | | | |
| | (2.1) Unless otherwise referenced in subsection (3), a privacy wall located on a deck: | (a) must not exceed 2.0m in height when measured from the surface of the deck; and | | | | |
| | | (b) must not be located between the foremost front façade of the main residential building and the front property line. | | | | |
| | (3) A deck attached to a Semi-detached Dwelling, Rowhouse or Townhouse within 1.2m of a party wall must have a solid privacy wall that: | | (a) is a min. of 2.0m in height; | | | |
| | | (b) is a max. of 3.0m in height; and | | | | |
| | | (c) extends the full depth of the deck. | | | | |
| 340 Balconies | (1) Unless otherwise referenced in this Part, an open balcony must not project more than 1.85 metres from the building façade to which it is attached. | | | | N/A | |
| | (2) Unless otherwise referenced in this Part, the floor area of a recessed balcony must not exceed 10.0m ² | | | | | |
| | (2.1) Unless otherwise referenced in this Part, a privacy wall located on a balcony: | (a) must not exceed 3.0m in height when measured from the surface of the balcony; and | | | | |
| | | (b) must not be located between the foremost front façade of the main residential building and front property line. | | | | |
| | (3) A balcony attached to a Contextual Semi-detached Dwelling, Semi-detached Dwelling, Rowhouse Building or Townhouse within 1.2m of a party wall must have a privacy wall that: | | (a) is a min. of 2.0m in height; | | | |
| | | (b) is a max. of 3.0m in height; and | | | | |
| | | (c) extends the full depth of the balcony. | | | | |
| | (1) Where a balcony is located on the roof of the first or second storey of a main residential building and does not overhang any façade of the storey below, the balcony may have a maximum floor area that equals 50.0 per cent of the horizontal cross section of the storey below. | | | | | |
| | <div style="border: 1px solid black; width: 100px; height: 15px; background-color: #d4edda; margin-bottom: 5px;"></div> Area of Storey Below Balcony (m ²) | | | | | |
| | (a) may be located on a side façade of a | | (i) where it forms part of the front façade and is not recessed back more than 4.5m from the front façade; or | | | |

| | | | | | | | | |
|--|--|--|--|----------------|----------|-------|-------|--|
| 544 Balconies | (2) A balcony attached to a Contextual Single Detached Dwelling, Contextual Semi-detached Dwelling, or Rowhouse Building that is a permitted use: <i>Does not apply to Discretionary Uses.</i> | building: | (ii) where it is on the street side of a corner parcel; | N/A | | | | |
| | | (b) may be located on a rear façade of a building where: | (i) it does not form part of the side façade unless the side façade is on the street side of a corner parcel; | | | | | |
| | | | (ii) a privacy wall is provided where the balcony is facing a side property line shared with a contextually adjacent building; and | | | | | |
| | | | (iii) the privacy wall is a minimum of 2.0m in height and a maximum of 3.0m in height; and | | | | | |
| (c) must not have a balcony on the rear façade with a height greater than 6.0m, when measured vertically at any point from grade to the platform of the balcony. | | | | | | | | |
| 543 Amenity Space | (1) For developments of three units or more, each unit and suite must have amenity space that is located outdoors and is labelled on the required landscape plan. | | F/M Discretion | | N/A | N/I | | |
| | (2) Amenity space may be provided as common amenity space, private amenity space or a combination of both. | | Applies | | N/A | N/I | | |
| 533 At Grade Orientation of Units | (1) All units must provide individual, separate, direct access to grade. | | C | N/C | N/A | N/I | | |
| | (2) Units with an exterior wall facing a street must provide: | (a) an entrance that is visible from the street; and | C | N/C | N/A | N/I | | |
| | | (b) sidewalks that provide direct exterior access to the unit. | C | N/C | N/A | N/I | | |
| 541 Building Height | (1) Unless otherwise referenced in subsections (2), (3) and (4), the maximum building height is 11.0m measured from grade. | | North | 10.72 | -0.28 | | | |
| | | | East | 10.95 | -0.05 | | | |
| | | | South | 10.73 | -0.27 | | | |
| | | | West | 10.95 | -0.05 | | | |
| | (2) Where a building setback is required from a property line shared with another parcel designated with a low density residential district, the M-CG District or H-GO District, the max building height: | (a) is the greater of: | (i) the highest geodetic elevation of a main residential building on the adjoining parcel; or | C | N/C | N/A | N/I | |
| | | | (ii) 7.0m from grade; measured at the shared property line; and | | | | | |
| | (b) increases at a 45 degree angle to a max of 11.0m measured from grade. | | | | | | | |
| | (3) On a corner parcel, the max area of a horizontal cross section through a building at 9.5m above average grade must not be greater than 75.0% of the max area of a horizontal cross section through the building between average grade and 8.6m | | | | | | | |
| | | | | | | | | |
| | Prim Bldg Cnr 1 | Prim Bldg Cnr 2 | Geo 9.5m Above Avrge Grade | | N/A | | | |
| Prim Bldg Cnr 3 | Prim Bldg Cnr 4 | Geo 8.6m Above Avrge Grade | | | | | | |
| | X 75% = | | | | | | | |
| Max. Area | Max. Area allowed at 9.5m | | | | | | | |
| (4) Where not located on a corner parcel, the maximum building height is 8.6m for any portion of a main residential building located between the rear property line and 60.0% parcel depth or the contextual building depth average, whichever is greater. | | | | | | | | |
| Height Required Beyond 25.03 m and Rear Property Line | | | | N/A | | | | |
| 25.10 | 15.75 | 36.97 | | | | | | |
| C.A.B. #1 | C.A.B. #2 | Parcel Depth | | | | | | |
| 349 Roof Equipment Projection | (2) Mechanical equipment may project a maximum of 0.3m from the surface of a roof on a building. | | | | N/A | | | |
| 532 Façade Width | The minimum width of a street facing façade of a unit is 4.2m | | | | Complies | | | |
| | (1) Unless otherwise referenced in subsections (2) and (3) the maximum building depth is 65.0% of the parcel depth for a building containing a unit. | | Percentage (%) | | | | | |
| | | | 64.73% | -0.27% | | | | |
| | | | Building Depth (m) | | | | | |
| | 65% | x | 36.97 | = | 24.00 | 23.93 | -0.07 | |
| | | Parcel Depth | | Max Bldg Depth | | | | |

(a) there is more than one main residential building on the parcel.

| | | | | | | | |
|---|--|--|--|---------|----------------|-------|-----|
| 535 Building Depth and Separation | (2) On a laned parcel, there is no maximum building depth for a main residential building wholly contained to the rear of 40.0% parcel depth where: <i>Note: The Main Residential Building exempt from Building Depth must be WHOLLY contained within rear 60.0%; otherwise see subsection (1).</i> | (a) there is more than one main residential building on the parcel, | | | N/A | | |
| | | (b) 50.0% or more of the units on the parcel are contained in main residential buildings located within the first 60.0% of the parcel depth; and | | | | | |
| 534 Parcel Coverage | (3) For a main residential building that is located on a corner parcel there is no maximum building depth where the minimum building setback from the side property line shared with another parcel is 3.0m for any portion of the building located between the rear property line and: | (a) 50.0 per cent parcel depth; or | | N/A | | | |
| | | (b) the building depth of the main residential building on the adjoining parcel; whichever is closer to the rear property line. 3.0m Building Side Setback Required beyond m and the rear property line | | | | | |
| 529 Density | The maximum density for parcels designated R-CG District is 75 units per hectare. | | | Units | 4.00 | 0.00 | |
| | 75 | 595.58 | (m ²) | 4.00 | | | |
| | U.P.H | | (ha) | Units | 67.16 | -7.84 | |
| 339.1 Porches <i>(must meet all requirements to be exempt)</i> | In a Developed Area, a porch is exempt from parcel coverage where: | (a) the porch is located between the façade of the main residential building and: | (i) the front property line; or | C | N/C | N/A | N/I |
| | | | (ii) the side property line on the street side of a corner parcel; | C | N/C | N/A | N/I |
| | | (b) the porch is unenclosed on a minimum of two sides, other than by a railing, balustrade, or privacy walls located on porches between attached units when the porch is at or exceeds the contextual front setback; and | | C | N/C | N/A | N/I |
| | | (c) there is no enclosed floor area or balcony located directly above the roof of the porch. | | C | N/C | N/A | N/I |
| 534 Parcel Coverage | (2) Unless otherwise referenced in subsection (3), the maximum cumulative building coverage over all the parcels subject to a single development permit containing a Contextual Semi-Detached Dwelling, Contextual Single Detached Dwelling, Cottage Housing Cluster, Rowhouse Building, Semi-Detached Dwelling, Single Detached Dwelling or Townhouse is: | (a) 45.0% of the area of the parcels subject to a single development permit for a development with a density of less than 40 units per hectare; | | Applies | Does Not Apply | | |
| | | (b) 50.0% of the area of the parcels subject to a single development permit for a development with a density 40 units per hectare or greater and less than 50 units per hectare; | | Applies | Does Not Apply | | |
| | | (c) 55.0% of the area of the parcels subject to a single development permit for a development with a density of 50 units per hectare or greater and less than 60 units per hectare; or | | Applies | Does Not Apply | | |
| | | (d) 60.0% of the area of the parcels subject to a single development permit for a development with a density of 60 units per hectare or greater. | | Applies | Does Not Apply | | |
| | (3) The maximum parcel coverage referenced in subsections (1) and (2), must be reduced by: | (a) 21.0m ² where one motor vehicle parking stall is required on a parcel that is not located in a private garage; and | | Applies | Does Not Apply | | |
| (b) 19.0m ² for each required motor vehicle parking stall that is not located in a private garage where more than one motor vehicle parking stall is required on a parcel. | | Applies | Does Not Apply | | | | |
| (4) For all other uses, the maximum parcel coverage is 45.0% | | | | Applies | Does Not Apply | | |
| Determine correct percentage of parcel coverage and input values below | | | | % | % | | |

| | | | | | | | | | | | |
|---|--|--|-----------------|-----------------|------------|--------------------------------------|-----------------|------------------------|----------------|----------------|-----|
| | | 4 | Number of Units | | | | | | | | |
| 60.0% | 595.58 | | minus | | | 357.35 | | 59.38% | -0.62% | | |
| | Parcel Area (m ²) | | | Required Stalls | | Max. Coverage | | | | | |
| Parcel Coverage Totals | | | | | | | | m ² | m ² | | |
| | House | Proj. > 1.0m | | Garage(s) | | Other | Total | | | | |
| | 272.71 | | | 80.94 | | | 353.65 | 353.65 | -3.70 | | |
| Accessory Building | If applicable please refer to Accessory Residential Building Form | | | | | | Eaveline height | See Attached | N/A | N/I | |
| 542 Landscaping Requirements | (3) All areas of a parcel, except for those portions specifically required for motor vehicle access, motor vehicle parking stalls, loading stalls, garbage facilities, or any purpose allowed by the Development Authority, must be a landscaped area. | | | | | | | C | N/C | N/A | N/I |
| | (4) All setback areas adjacent to a street, except for those portions specifically required for motor vehicle access, must be a landscaped area. | | | | | | | C | N/C | N/A | N/I |
| | (5) Amenity space provided outdoors at grade must be included in the calculation of a landscaped area. | | | | | | | C | N/C | N/A | N/I |
| | (6) Any part of the parcel used for motor vehicle access, motor vehicle parking stalls, loading stalls and garbage or recycling facilities must not be included in the calculation of a landscaped area. | | | | | | | C | N/C | N/A | N/I |
| | (7) A minimum of 30.0% of the landscaped area must be covered with soft surfaced landscaping. | | | | | | | Percentage (%) | | | |
| | | | | | | | | 33.96% | | 3.96% | |
| | | | | | | | | Area (m ²) | | | |
| | | | | | | | | 70.00 | | 8.17 | |
| | (8) All soft surfaced landscaped area must be irrigated by an underground irrigation system, unless otherwise provided by a low water irrigation system. | | | | | | | C | N/C | Low H20 Irrig. | N/I |
| (9) Mechanical systems or equipment that are located outside of a building must be screened. | | | | | | | C | N/C | N/A | N/I | |
| 542.2 Planting Requirements | (4) The requirement for the provision of 1.0 tree is met where: | (a) a deciduous tree has a minimum calliper of 60mm; | | | | | Calliper (mm) | | | | |
| | | 2 | # Provided | | | | 65.00 | | 5.00 | | |
| | | (b) a coniferous tree has a minimum height of 2.0m | | | | 2 @ 2m | Height (m) | | | | |
| | (5) The requirement for the provision of 2.0 trees is met where: | (a) a deciduous tree has a minimum calliper of 85mm; | | | | | Calliper (mm) | | | | |
| | | 0 | # Provided | | | | N/A | | | | |
| | | (b) a coniferous tree has a minimum height of 4.0m | | | | 2 N/I (spread prov. Height required) | Height (m) | | | | |
| | (6) The requirement for the provision of 3.0 trees is met where an existing deciduous tree with a calliper greater than 100mm is preserved. | (a) a deciduous tree has a minimum calliper of 85mm; | | | | | Calliper (mm) | | | | |
| | | 0 | # Provided | | | | N/A | | | | |
| | | (b) a coniferous tree has a minimum height of 4.0m | | | | | Height (m) | | | | |
| | (2) A minimum of 1.0 tree and 3.0 shrubs must be provided for each 110.0m ² of parcel area. | (a) a deciduous tree has a minimum calliper of 85mm; | | | | | Calliper (mm) | | | | |
| | | 0 | # Provided | | | | N/A | | | | |
| (b) a coniferous tree has a minimum height of 4.0m | | | | | Height (m) | | | | | | |
| (3) Shrubs must be a minimum height or spread of 0.6m at the time of planting. | (a) a deciduous tree has a minimum calliper of 85mm; | | | | | Calliper (mm) | | | | | |
| | 0 | # Provided | | | | N/A | | | | | |
| | (b) a coniferous tree has a minimum height of 4.0m | | | | | Height (m) | | | | | |
| (7) For landscaped areas with a building below, planting areas must have the following minimum soil depths: | (a) a deciduous tree has a minimum calliper of 85mm; | | | | | Calliper (mm) | | | | | |
| | 0 | # Provided | | | | N/A | | | | | |
| | (b) a coniferous tree has a minimum height of 4.0m | | | | | Height (m) | | | | | |
| (8) The soil depths referenced in (7) must cover an area equal to the mature spread of the planting material. | (a) a deciduous tree has a minimum calliper of 85mm; | | | | | Calliper (mm) | | | | | |
| | 0 | # Provided | | | | N/A | | | | | |
| | (b) a coniferous tree has a minimum height of 4.0m | | | | | Height (m) | | | | | |
| (1) A driveway must not have direct access to a major street unless: | (a) there is no practical alternative method of vehicular access to the parcel; and | | | | | # of Trees | | | | | |
| | (b) a turning space is provided on the parcel to allow all vehicles exiting to face the major street. | | | | | 6 | | 0 | | | |
| | (i) the back of the public sidewalk to the door of the private garage; or | | | | | # of Shrubs | | | | | |
| | (a) be a min of 6.0m | | | | | 18 | | 1 | | | |
| | | | | | | | Complies | | | | |
| | | | | | | | N/A | | | | |
| | | | | | | | N/A | | | | |

| | | | | | | | | |
|---|--|--|--|--|--|--|--|--|
| <p>Page 1</p> <p>122 Standards for Motor Vehicle Parking Stalls</p> | <p>1) Unless otherwise specified, the minimum width and depth of motor vehicle parking stalls are illustrated in Table 2.</p> <p><i>Note: The depth of the motor vehicle parking stalls provided within a garage for 2 or more tenants within rowhouse defaults to Table 2.</i></p> <p>The required depth is 5.4m.</p> | | | | | | | |
| | | | | | | | | |
| | | | | | | | | |
| | | | | | | | | |
| | | | | | | | | |
| | <p>(3) The minimum depth of a motor vehicle parking stall is 5.9m where it is required for:</p> <p>(a) a Contextual Single Detached Dwelling, Duplex Dwelling, Secondary Suite, Semi-detached Dwelling or Single Detached Dwelling</p> <p>(b) a Dwelling Unit where the stall is provided in a private garage intended to be used for the occupants of only one Dwelling Unit.</p> | | | | | | | |
| | | | | | | | | |
| | | | | | | | | |
| | <p>(4) The minimum width of a motor vehicle parking stall required for a Dwelling Unit is:</p> <p>(a) 3.0m where both sides of a stall abut a physical barrier;</p> <p>(b) 2.85m where one side of a stall abuts a physical barrier; and</p> <p>(c) 2.5m in all other</p> | | | | | | | |
| | | | | | | | | |
| | | | | | | | | |
| | <p>(7) The minimum width of a motor vehicle parking stall for Multi-Residential Development, Multi-Residential Development - Minor, a Townhouse or a Rowhouse Building provided for the exclusive use of a Dwelling Unit is reduced to 2.60m where:</p> <p>(a) the stall is one of two or more motor vehicle parking stalls that are provided in a private garage;</p> <p>(b) the motor vehicle parking stalls in the private garage are for the sole use of the occupants of the Dwelling Unit; and</p> <p>(c) the motor vehicle parking stalls are not counted towards fulfilling the minimum motor vehicle parking stall requirements for that Dwelling Unit.</p> | | | | | | | |
| | | | | | | | | |
| | | | | | | | | |
| | <p>(15) Motor vehicle parking stalls for a Backyard Suite, Contextual Semi-detached Dwelling, Contextual Single Detached Dwelling, Duplex Dwelling, Secondary Suite, Semi-detached Dwelling and Single Detached Dwelling must be:</p> <p>(a) hard surfaced; and</p> <p>(b) located wholly on the subject parcel.</p> | | | | | | | |
| | | | | | | | | |

Accessory Residential Building

D.P. # 2025-06986

| Rule | Requirements | | | Notes | Evaluation | | | | |
|---|---|---|--|---|-------------------|-------|-----|-----|-----|
| | | | | | Provided/Variance | | | | |
| 345 Accessory Residential Building | (1) The min. building setback for an Accessory Residential Building is:: | (a) 1.2m from a side or rear property line shared with a street; or | | | N/A | | | | |
| | | (b) 0.6m from a side or rear property line in all other cases. | | North | 1.96 | 1.36 | | | |
| | | | | East | 1.10 | 0.50 | | | |
| | | | | South | 1.20 | 0.60 | | | |
| | (2) The min. building setback for an Accessory Residential Building that does not share a side or rear property line with a street may be reduced to zero m when: | (a) the Accessory Residential Building is less than 10.0m ² | | | C | N/C | N/A | N/I | |
| | | (b) the wall of the Accessory Residential Building is constructed of maintenance-free materials and there is no overhang of eaves onto an adjacent parcel; or | | | C | N/C | N/A | N/I | |
| | | (c) the owner of the adjacent parcel grants a 1.5m private maintenance easement that must: | (i) be registered against the title of the parcel proposed for development and the title of the adjacent parcel; and | | | C | N/C | N/A | N/I |
| | | | (ii) include a 0.60m eave and footing encroachment easement. | | | C | N/C | N/A | N/I |
| | (3) An Accessory Residential Building must not be located in the actual front setback area. | | | | C | N/C | N/A | N/I | |
| | (4) A private garage on laneless parcel may be located in required 3.0m side setback, except along street side of a corner parcel. | | | | C | N/C | N/A | N/I | |
| (5) The min. distance between any façade of an Accessory Residential Building 10.0m ² or more and a main residential building or a building containing a Secondary Suite is 1.0m | | | | C | N/C | N/A | N/I | | |
| (6) The height of an Accessory Residential Building must not exceed: | (a) 4.6m, measured from the finished floor of the building; | | | 4.48 | | -0.12 | | | |
| | (b) 3.0m at any eaveline, when measured from the finished floor of the building; or | | | 3.20 | | 0.20 | | | |
| | (c) one storey, | | | Complies | | | | | |
| | (c) one storey, which may include an attic space that: | (i) is accessed by a removable ladder; | | | N/A | | | | |
| (ii) does not have windows; | | | | | | | | | |
| (iv) has a max. height of 1.5m from the attic floor to the underside of any rafter. | | | | | | | | | |
| 346 Restrictions on Use of Accessory Residential Building | (1) The finished floor of an Accessory Residential Building, other than a private garage, must not exceed 0.6m above grade. | | | | C | N/C | N/A | N/I | |
| | (2) An Accessory Residential Building must not be used as a Dwelling Unit, unless a Backyard Suite has been approved. | | | | C | N/C | N/A | N/I | |
| | (3) An Accessory Residential Building must not have a balcony or rooftop deck. | | | | C | N/C | N/A | N/I | |
| | (4) The area of a parcel covered by all Accessory Residential Buildings located on a parcel: | (a) must not exceed the less of: | | (i) the building coverage of the main residential buildings; or | | C | N/C | N/A | N/I |
| | | | | (ii) 75.0m ² for each Dwelling Unit located on the parcel; and | | N/A | | | |
| | | | 1 | # of Units | | | | | |

| Page 20 | | Secondary Suite - R-CG | | D.P. # 2025-06986 | | | | | |
|---|--|------------------------|---|-------------------|---------|-------------------|-----|-----|-----|
| Rule | Requirements | | | Evaluation | | | | | |
| | | | | Notes | | Provided/Variance | | | |
| Note: Remember to check any applicable district rules | | | | | | | | | |
| 351 Secondary Suite | (1) For a Secondary Suite the minimum building setback from a property line, must be equal to or greater than the minimum building setback from a property line for the main residential building. | | | | | C | N/C | N/A | N/I |
| | (2) Except as otherwise stated in subsection (2.1) and (3), the maximum floor area of a Secondary Suite, excluding any area covered by stairways and landings, is 100.0m ² : | | (a) in the R-C1L, R-C1Ls, R-C1, R-C1s, R-C1N, R-1, R-1s and R-1N District; or | | | N/A | | | |
| | | | (b) when located on a parcel with a parcel width less than 13.0m. | | | | | | |
| (2.1) There is no maximum floor area for a Secondary Suite wholly located in a basement. Internal landings and stairways providing access to the basement may be located above grade. | | | | | Applies | | N/A | N/I | |
| 295 Secondary Suite | (c) has a maximum floor area of 100.0 square metres, excluding any area covered by stairways and landings; | | | | | N/A | | | |

| | | | | | | |
|--------------------------------------|--|--|---|-----|-----|-----|
| 354 Accessory Suite - Density | (1) There must not be more than one Backyard Suite located on a parcel, except in the R-CG and R-2M Districts where one Backyard Suite may be located on any bare land unit. | | C | N/C | N/A | N/I |
| | (1.1) There must not be more than one Secondary Suite contained within a Dwelling Unit. | | C | N/C | N/A | N/I |
| | (3) A Secondary Suite or a Backyard Suite must not be separated from the main residential use on a parcel by the registration of a condominium or subdivision plan. | | C | N/C | N/A | N/I |
| Additional Notes | | | | | | |
| | | | | | | |
| | | | | | | |
| | | | | | | |

| Page 3 | | Residential - Grade-Oriented Infill (R-CG) District | | D.P. # | 2025-06986 |
|---|---|--|---|-------------------|------------|
| Rule | Requirements | | | Evaluation | |
| | | | | Provided/Variance | |
| 542.2 Planting Requirements | (4) The requirement for the provision of 1.0 tree is met where: | (a) a deciduous tree has a minimum calliper of 60mm; | | Calliper (mm) | |
| | | <input type="text" value="2"/> # Provided | | 65.00 | 5.00 |
| | (b) a coniferous tree has a minimum height of 2.0m | | | Height (m) | |
| | | <input type="text" value="4"/> # Provided | | 2.00 | 0.00 |
| | (5) The requirement for the provision of 2.0 trees is met where: | (a) a deciduous tree has a minimum calliper of 85mm; | | Calliper (mm) | |
| | | <input type="text" value="0"/> # Provided | | N/A | |
| | (b) a coniferous tree has a minimum height of 4.0m | | | Height (m) | |
| | | <input type="text" value="0"/> # Provided | | N/A | |
| | (6) The requirement for the provision of 3.0 trees is met where an existing deciduous tree with a calliper greater than 100mm is preserved. | | | Calliper (mm) | |
| | <input type="text" value="0"/> # Provided | | N/A | | |
| | (2) A minimum of 1.0 tree and 3.0 shrubs must be provided for each 110.0m ² of parcel area. | | | # of Trees | |
| | | <input type="text" value="6"/> Required Trees | <input type="text" value="595.58"/> Parcel Area (m ²) | 6 | 0 |
| | | <input type="text" value="17"/> Required Shrubs | | # of Shrubs | |
| | | | | 17 | 0 |
| (3) Shrubs must be a minimum height or spread of 0.6m at the time of planting. | | | Complies | | |
| (7) For landscaped areas with a building below, planting areas must have the following minimum soil depths: | (a) 1.2m for trees; | | N/A | | |
| | (b) 0.6m for shrubs; an | | | | |
| | (c) 0.3m for all other planting areas. | | | | |
| (8) The soil depths referenced in (7) must cover an area equal to the mature spread of the planting material. | | | | | |

| Page 4 | | Accessory Residential Building | | | D.P. # | 2025-06986 | |
|---|--|---|--|------------|-------------------|------------|--|
| Rule | Requirements | | | Evaluation | | | |
| | | | | Notes | Provided/Variance | | |
| 345 Accessory Residential Building | (6) The height of an Accessory Residential Building must not exceed: | (a) 4.6m, measured from the finished floor of the building; | | | 4.28 | -0.32 | |
| | | (b) 3.0m at any eaveline, when measured from the finished floor of the building; or | | | 3.00 | 0.00 | |
| | | (c) one storey, | | | Complies | | |
| | | (c) one storey, which may include an attic space that: | (i) is accessed by a removable ladder; | | | N/A | |
| | | | (ii) does not have windows; | | | | |
| (iv) has a max. height of 1.5m from the attic floor to the underside of any rafter. | | | | | | | |

FILE: DP 2025-06986

DATE RECEIVED: December 4, 2025

| Bylaw Discrepancies | | |
|------------------------------------|--|---|
| Regulation | Standard | Provided |
| 542.2 Planting Requirements | (4) The requirement for the provision of 1.0 tree is met where: (b) a coniferous tree has a minimum height of 2.0m | Plans do not indicate the height of the 2 Colorado Blue Spruce trees. |
| 345 Accessory Residential Building | (6) The height of an Accessory Residential Building must not exceed: (b) 3.0m at any eaveline, when measured from the finished floor of the building | Plans indicate the eaveline height is 3.20m (+0.20m). |

FILE: DP 2025-06986

DATE RECEIVED: March 16, 2026

| Bylaw Discrepancies | | |
|----------------------------|-----------------|-----------------|
| Regulation | Standard | Provided |
| <i>NONE NOTED.</i> | | |



Re: DP2025-06986 COMPLETENESS REVIEW - 4228 VOYAGEUR DR NW

Dear Applicant,

I am the file manager who will be leading the review of your development permit application.

A review of your application has been undertaken and it has been determined that your application is a complete application. A comprehensive review is now underwa

For more information about the development permit process please visit www.calgary.ca/dpprocess.

Please track your application, using your Job Access Code (JAC) DP2025-06986-28489, at www.calgary.ca/vista.

Should you have any questions or concerns, please contact me at your convenience.

Regards,

CHRISTIAN LE PICHOURON
Planner 2
Christian.LePichouon@calgary.ca
(825) 945-8857
www.calgary.ca/PDMap

March 30, 2026

RE: SDAB2026-0041/ DP2025-06986
NOTICE OF WITHDRAWAL

The Calgary Subdivision and Development Appeal Board has received notice that the Appellant in the above matter has withdrawn the appeal. Accordingly, please be advised that the Board is now closing this file.

For more information, please contact Board Administration by calling 403-268-5312 or by emailing info@calgarysdab.ca.

Thank you,

Board Administration
City Appeal Boards, Appeals and Tribunals
City Clerk's Office | The City of Calgary | Mail code #8110
PO Box 2100, Station M | Calgary, AB T2P 2M5
General Phone Line: 403.268.5312 | calgarysdab.ca

Any responses to this correspondence are collected under the authority of subsection 33(c) of the Freedom of Information and Protection of Privacy Act for the purposes set out in sections 678 and 686 of the Municipal Government Act. Responses will form part of a report available to the public. If you have any questions regarding the collection or retention of this information, contact the Coordinator, City Appeal Boards at 403 268 5312 or PO Box 2100 Stn 'M', #8110, Calgary, AB T2P 2M5.



ENMAX Power Corporation
 141 – 50 Avenue SE
 Calgary, AB T2G 4S7
 Tel (403) 514-3000
 enmax.com

2026-01-06

File No: DP2025-06986

Location: 4228 VOYAGEUR DR NW

ENMAX Power Corporation (EPC) has reviewed the above permit application dated 2025-12-16 and based on the information provided and as of the above noted date the proposed development does not conflict with ENMAX facilities in respect of the requirements set forth in 10-002 Overhead System (Table 7) and 12-002 Underground Systems of the Alberta Electrical Utility Code (AEUC) under the *Safety Codes Act* (Alberta). This non-conflict letter does not reduce or limit responsibility to comply with all laws and regulations regarding utility facilities and all requirements under the *Alberta Occupational Health & Safety Act* (OHS) (including any code or regulations thereunder)(OHS) and the applicant shall observe all such laws and regulations when commencing any work related to the permit application. If a situation arises where there is a discrepancy between ENMAX required setbacks and the AEUC or the OHS, the stricter set of requirements shall govern. Please refer to ENMAX Ground Disturbance Guidelines while working near ENMAX Facilities.

Pursuant to Section 225(1) of Part 17 of the *OHS Code*, anyone working near overhead powerlines must maintain safe limits of approach as provided in Schedule 4, Table 1 of the *OHS Code* or Table 1 in the *AEUC*. Anyone excavating must contact Utilities Safety Partners for locations of all buried facilities. All contractors, prime or sub (excavating company) must contact hotdigs@enmax.com to obtain a permission letter prior to disturbing the ground within 2 metres of any ENMAX underground facility. As a condition of this no-conflict letter, and despite any existence of a permit, the applicant must contact EPC Lineinspection@enmax.com or call (403) 514-3117 prior to the commencement of any construction where any workers or equipment will be within 7.0m of existing overhead EPC facilities. If EPC is contacted in accordance with the above, no construction work shall be commenced thereafter unless and until EPC determines the minimum safe limit of approach distance in relation to the overhead facilities present at the project site.

****NOTE:** This letter provided by ENMAX Power Corporation is intended for information purposes only and is not in any manner intended to nor shall be construed to derogate from applicant's obligations to follow any applicable law. The provision of this no-conflict letter is not a representation that work will meet any legislative or regulatory obligations. This no-conflict letter is provided as of the date first note above – the applicant is still required to perform their own due diligence prior to any development activities and resolve any conflicts (new or existing) at the Developer's sole expense. ENMAX expressly disclaims any liability related to applicant's responsibility to comply with such laws and regulations and ENMAX's required setbacks.

If you require any additional information regarding this Development Permit, please contact the Project Administrator at EPC_Permits@enmax.com. **For new services inquiries, please contact ENMAX GetConnected at GetConnected@enmax.com.**

Sincerely,

Marcelo Singson P.Eng
 Distribution Engineering

QR Code for ENMAX Ground
 Disturbance Guidelines



SDAB2026-0052

Comment Summary



Permit #: DP2025-06986
 Address: 4228 VOYAGEUR DR NW
 Job Description: New: Townhouse (1 building), Secondary Suite (4 suites), Accessory Residential Building (garage)

| | | | |
|----------|-----------------------------------|----------------------|-------------------|
| Name: | Matthew | Created Date: | December 20, 2025 |
| Phone: | [REDACTED] | Circulation Referee: | N |
| Email: | [REDACTED] | Number: | 639808839 |
| Address: | 1515 Varsity Estates Drive NW | | |
| Overall: | In opposition of this application | | |

Area of Concern

- Building (massing, façade, height, shadowing, etc.)
- Access/accessibility (vehicle, pedestrian, cycling)
- Parking or loading zones
- Landscaping plans
- Environmental preservation
- Privacy considerations
- Garbage and recycling facility locations
- Site layout

Strengths / Challenges

Despite increasing the supply of housing options, the proposed townhouse presents several significant challenges that outweigh its benefits, particularly with respect to privacy, traffic, shadowing, and neighborhood context.

Property Impact

Yes, as a resident of Varsity, I am concerned that this development would alter the character of the neighborhood and could potentially set a precedent for similar developments in the area.

Community Impact

Despite being close to Shaganappi Trail and Market Mall, this property is currently classified as Neighborhood Local in the SSLAP, which is intended to protect the context and character of residential neighborhoods, and the proposed development does not align with this objective. This development would also result in destruction of tree canopy as 4228 Voyageur Drive is currently home to multiple mature trees.

Surrounding Impact

The proposed development would have an immediate impact on its surroundings, as it is nearly double the height of neighboring homes, leading to shadowing and loss of privacy once completed. Increasing density from one single-family home to eight units would also raise traffic and noise on this street, negatively affecting its quiet, low-density character. While two rowhouses have been approved on the north side of Voyageur Drive, this side of the street remains entirely low-density single-family homes, making the proposal incompatible with the existing neighborhood context. In addition, a growing number of properties are joining the Varsity Restrictive Covenant, which would further cause this townhouse to stand out over time. Finally, the property at 4228 Voyageur Drive NW contains multiple mature trees that would be removed. Privacy, sunlight, streetscape quality, and low traffic are deeply valued by residents.

General Comment

In addition to the concerns already identified, this proposed development raises broader issues related to precedent and cumulative impact. Its scale and form may encourage similar applications along Voyageur Drive, gradually eroding the established low-density character that residents value. The loss of mature trees would diminish the streetscape and environmental quality, while increased density may strain on-street parking and local infrastructure. Overall, the proposal does not appear to align with the intent of the Neighborhood Local classification or the community's expectations for context-sensitive, incremental change.

Attachments

| | | | |
|--------|------------|----------------------|-------------------|
| Name: | Lily | Created Date: | December 21, 2025 |
| Phone: | 4036086362 | Circulation Referee: | N |

Email: cnchenlilly@gmail.com
Address: 1515 Varsity Estates Drive NW
Overall: In opposition of this application

Number: 639852242

Area of Concern

- Building (massing, façade, height, shadowing, etc.)
- Access/accessibility (vehicle, pedestrian, cycling)
- Parking or loading zones
- Landscaping plans
- Environmental preservation
- Privacy considerations
- Garbage and recycling facility locations
- Site layout

General Comment

Fifteen years ago, my family and I moved to Varsity from the more densely populated Hillhurst in search of a peaceful, family-oriented community. Many residents, including myself, chose to call this neighborhood home because of its tranquility, tree-lined streets, unique character, and park-like setting. The city claims that its trying to provide more housing options, however proceeding with this development would irreversibly undermine the peaceful character, environmental quality, and sense of community that Varsity residents deeply value, and would disregard the preferences of those who intentionally chose this lifestyle.

Attachments

| | | | |
|----------|-----------------------------------|----------------------|-------------------|
| Name: | James | Created Date: | December 22, 2025 |
| Phone: | [REDACTED] | Circulation Referee: | N |
| Email: | [REDACTED] | Number: | 640361143 |
| Address: | 1515 Varsity Estates Drive NW | | |
| Overall: | In opposition of this application | | |

Area of Concern

- Building (massing, façade, height, shadowing, etc.)
- Access/accessibility (vehicle, pedestrian, cycling)
- Parking or loading zones
- Landscaping plans
- Environmental preservation
- Privacy considerations
- Garbage and recycling facility locations
- Site layout

General Comment

Most homes in Varsity, including the property involved in this development, are well maintained and have been updated to meet modern living standards, making them unsuitable for demolition. This proposed development is inconsistent with the existing neighbourhood character and would create uncertainty for residents regarding the long-term stability of their community.

Attachments

| | | | |
|-------|-----------------|---------------|-----------------|
| Name: | Laura MacGregor | Created Date: | January 5, 2026 |
|-------|-----------------|---------------|-----------------|

Phone: [REDACTED]
 Email: [REDACTED]
 Address: 4911 Vienna Drive NW
 Overall: In opposition of this application

Circulation Referee: N
 Number: 641816795

Area of Concern

- Building (massing, façade, height, shadowing, etc.)
- Parking or loading zones
- Landscaping plans
- Environmental preservation
- Privacy considerations
- Garbage and recycling facility locations
- Site layout
- Other

General Comment

Having just watched our Mayor, Jeromy Farkas, explain, because of our water main breaks and water supply issues, how we are in a new era and that we need to rethink how we use water, developments like this should be put on hold. The original house had 1 kitchen = 1 sink + 1 dishwasher, 1 laundry room = 1 W/D and 3 bathrooms = 3 sinks, 3 showers/baths and 3 toilets. This proposed building will have 8 Kitchens = 8 sinks and 8 dishwashers, 8 Laundry rooms = 8 W/D, 16 bathrooms = approx 16 sinks, 12 showers/baths and 16 toilets. So the property will go from 12 water using facilities to 68 water using facilities. This represents more than 5.6 times the number of water using facilities for this lot. Our city cannot support this kind of exponential development.

Other obvious issues with this development include: insufficient parking (which is bound to present problems for neighbours and The City going forward); dwarfing the adjacent homes, causing shadowing and lack of privacy; set backs that are incompatible with the neighbouring homes, the street and the entire community, so not only are mature trees removed, it drastically reduces the ability to plant any new trees that are similar to neighbouring homes and the neighbourhood in general, which destroys the look and feel of such a great neighbourhood and community; and noise problems, due to the obvious 8 air conditioners that will be required, since there is no tree canopy. There is also the strong possibility that a mid-block development of this size could negatively affect the desirability of this street and, therefore, the resale value of the existing homes. I know The City does not want to consider this inconvenient possibility, but it has real consequences for what is probably a homeowner's most valuable asset. It's absolutely terrifying!

This development needs to go back to the drawing board and scale back to something that may allow multiple residences, but still be compatible with the neighbouring homes and street. I understand the need to build more residences, but we really shouldn't have to ruin streets and communities to do it.

Attachments

| | | | |
|----------|--------------------------------|----------------------|-----------------|
| Name: | Enmax | Created Date: | January 6, 2026 |
| Phone: | | Circulation Referee: | Y |
| Email: | EPC_Permits@enmax.com | Number: | 641881476 |
| Address: | Circulation Referee No Address | | |
| Overall: | In support of this application | | |

Area of Concern

- Building (massing, façade, height, shadowing, etc.)

General Comment

No conflict with existing Enmax facilities.

Attachments

SUPPORTING DOCUMENT - CIRCULATION COMMENTS - DP2025-06986-Reply Letter-2026-01-06.pdf

| | | | |
|----------|-----------------------------------|----------------------|------------------|
| Name: | Amy Galambos | Created Date: | February 9, 2026 |
| Phone: | [REDACTED] | Circulation Referee: | N |
| Email: | [REDACTED] | Number: | 650342041 |
| Address: | 4531 Vandergrift cres NW | | |
| Overall: | In opposition of this application | | |

Area of Concern

- Building (massing, façade, height, shadowing, etc.)
- Access/accessibility (vehicle, pedestrian, cycling)
- Parking or loading zones
- Landscaping plans
- Environmental preservation
- Privacy considerations

Strengths / Challenges

This proposed development would be accessed by a uncontrolled intersection that already has seen a number of traffic incidents and injuries. Many children use the access road to access the footbridge that crosses shagannapi drive and without proper crosswalk the increased vehicle traffic concerns me.

As well, the proposed plans don't account for 8 vehicles to park. As the location isn't within accessible access to traffic it is reasonable to assume all 8 units will have at least one vehicle.

There are 2 old spruce trees that support our local birds, squirrels and environment and the current plan sees both being cut down.

We have no two story homes and the scale of this place would impinge on my privacy as a neighbour.

Property Impact

Removal of the two large west facing trees will drastically increase the hot evening sun into my yard. My bills will increase. The windows of these dwellings will look directly into my back yard and home. I feel as if I am on display.

Community Impact

This is not a community building project but an individual wealth building project. We are not close to transit, there are not many shops nearby, this isn't connecting community - its shoving people into a space it isn't equipped to manage.

Surrounding Impact

There is not nearly enough parking and with the apartment building across the road we already struggle with parking and safety of our children going to and from the local schools. The proposed amount of units will increase traffic at an uncontrolled intersection that already sees emergency services on a regular basis. Having two large old growth trees removed will have a negative environmental impact and reduce neighbours' ability to enjoy their own back yards.

Attachments

| | | | |
|------------|-----------------------------------|---------------|------------------|
| Name: | Nathan Galambos | Created Date: | February 9, 2026 |
| Phone: | [REDACTED] | [REDACTED] | [REDACTED] |
| [REDACTED] | [REDACTED] | Number: | 650342788 |
| Address: | 4531 VANDERGRIFT CRES NW | | |
| Overall: | In opposition of this application | | |

Area of Concern

- Building (massing, façade, height, shadowing, etc.)
- Access/accessibility (vehicle, pedestrian, cycling)
- Parking or loading zones
- Privacy considerations
- Garbage and recycling facility locations

General Comment

As local residents in Varsity NW, we wanted to reach out to you prior to tomorrow's hearing for the proposed rezoning of 4228 VOYAGEUR DR NW, where proposed replacement of a single family home with a 8 unit complex (4up/4down). We ask you to support our local varsity families in opposing this development change, where the proposed perversion of the land use change does not provide additional housing close to commercial corridors or transit routes.

Our corner of Calgary is a fantastic family neighbourhood, where children know and play with all the other kids on the street, residents shovel sidewalks for the elderly original homeowners, and multiple generations of Calgarians stop to chat as passing by. We as parents believe that "it takes a village", and feel especially lucky to have found one. However, this proposed development is not a community building project, but rather a wealth building project where the sheer scale of development does not align with the property size & location, local infrastructure, community layout or resident values.

The lack of parking infrastructure for existing development and the nearby condominium already causes over-capacity street parking and consistent illegal parking on adjacent Vandergrift crescent as well as lines of vehicles parked through the back lanes. There is NO capacity for the additional parking units required for this property, which will no doubt exasperate existing parking issues in the area at the detriment of current Varsity residents. Note that the plans do indicate parking for 4 of thr 8 units, and it is assumed that the others will street park.

The property in question is adjacent to a high collision intersection, which already sees daily near-misses and frequent incidents due to the 70km/h speed limit on Shaganappi meeting 40km/h residential neighbourhoods and the adjacent gas stations/convenience stores. The addition of more vehicles to this area poses a safety risk to the already over-utilized surface streets and the hundreds of school children that attend Varsity Acres Elementary school as well as the dozens seen walking through this area each day at lunch from the schools across Shaganappi, where they cross from the walking bridge meters from this proposed development.

Furthermore, with recent council decision to repeal blanket rezoning, we believe that to approve such permits prior to public forum and council decision in March is not in the interest of residents. Thank you for your consideration.

Kind Regards,

Nathan Galambos

Attachments

| | | | |
|----------|--|---------------|------------------|
| Name: | Michelle Dias | Created Date: | February 9, 2026 |
| Phone: | [REDACTED] | | [REDACTED] |
| | [REDACTED] | Number: | 650357766 |
| Address: | 4224 Voyageur Dr NW | | |
| Overall: | Neither in support nor in opposition of this application | | |

Area of Concern

- Landscaping plans
- Environmental preservation
- Privacy considerations
- Site layout

General Comment

My main concern is the very large trees that are some of biggest around and at which I directly look from my windows

and yard. There is an owl that frequents the biggest one year round, and the current variety of birds species would decrease without these old trees. Taking them away would be harmful to the area's biodiversity devastating to me. I don't see how the size of construction can happen while maintaining them. They are my main concern. I would rather sacrifice city density and save the trees, which are extremely valuable (monitarily and otherwise).

Attachments

| | | | |
|------------|--------------------------------|---------------|-------------------|
| Name: | Tara Ramsey | Created Date: | February 10, 2026 |
| Phone: | [REDACTED] | [REDACTED] | [REDACTED] |
| [REDACTED] | [REDACTED] | Number: | 650618749 |
| Address: | 5116, Vallance cres NW | | |
| Overall: | In support of this application | | |

Area of Concern

Other

General Comment

The other builds on this road and across the street facing shagnappi are absolutely beautiful. They have given the entrance to the neighborhood. A wonderful facelift and I'm looking forward to seeing this one done

Attachments

| | | | |
|------------|--------------------------------|---------------|-------------------|
| Name: | Tara Ramsey | Created Date: | February 10, 2026 |
| Phone: | [REDACTED] | [REDACTED] | [REDACTED] |
| [REDACTED] | [REDACTED] | Number: | 650619358 |
| Address: | 5116, Vallance cres NW | | |
| Overall: | In support of this application | | |

Area of Concern

Other

General Comment

Fantastic idea to have that busy road updated. Once you are past that many of the homes have been updated and look beautiful, but that area is very shabby and this is a great addition. It's also so nice that it's close to the seniors home for people who have family there or work there. Again, it's on a corner and close to transit and shopping, nullifying parking concerns.

Attachments

| | | | |
|------------|-----------------------------------|---------------|-------------------|
| Name: | Desmond Belseck | Created Date: | February 11, 2026 |
| Phone: | [REDACTED] | [REDACTED] | [REDACTED] |
| [REDACTED] | [REDACTED] | Number: | 650750326 |
| Address: | 4515 Vandergrift Crescent NW | | |
| Overall: | In opposition of this application | | |

Area of Concern

- Building (massing, façade, height, shadowing, etc.)
- Environmental preservation
- Privacy considerations
- Garbage and recycling facility locations
- Site layout
- Other

General Comment

As a homeowner in Varsity, I am deeply concerned about the proposed oversized development at 4228 Voyageur Dr NW, which is incompatible with our neighbourhood's established character.

Varsity features traditional single-family detached homes, typically one- or two-storey structures with pitched roofs, front yards, side setbacks, and tree-lined streets that create an open, human-scale environment. This proposal's larger scale and multi-unit design would stand out as an incongruous addition, potentially altering the visual harmony and setting a precedent for further intensification that could diminish the community's livability and property values.

Shading impacts would be severe. The proposed structure's height and bulk would cast prolonged shadows over adjacent properties, reducing natural light to backyards, decks, and living areas. In Calgary's climate, with long winters and limited sunlight, this would negatively affect residents' well-being, outdoor use, and even passive solar heating, contrary to sustainable community goals.

Privacy violations are equally troubling. Occupants of the new development would have elevated, direct views into neighbouring private yards and outdoor spaces, compromising the fundamental privacy expectations in a low-density single-family area like Varsity.

Calgary's Land Use Bylaw emphasizes context-sensitive development that respects existing neighbourhood character and protects livability. This application falls short in these areas. I respectfully request denial or substantial modifications (e.g., lower height, greater setbacks, privacy screening) to align with Varsity's single-family context and protect residents. Thank you for your careful review.

Attachments

| | | | |
|------------|-----------------------------------|---------------|-------------------|
| Name: | Donna kwan | Created Date: | February 12, 2026 |
| Phone: | [REDACTED] | [REDACTED] | [REDACTED] |
| [REDACTED] | [REDACTED] | Number: | 651315809 |
| Address: | 4540 vandergrift crescent nw | | |
| Overall: | In opposition of this application | | |

Area of Concern

- Building (massing, façade, height, shadowing, etc.)
- Access/accessibility (vehicle, pedestrian, cycling)
- Parking or loading zones
- Privacy considerations
- Garbage and recycling facility locations
- Site layout
- Other

General Comment

This area already has multi dwellings, condos, apartments and cannot handle any further density. These developments are jeopardizing the safety of kids who attend the various school nearby, and people who use the community facilities nearby. This corner of Shagannapi is already busy and these developments(voyageur, valiant dr, vandergrift cres) will make it dangerous. Please, do not approve and risk disrupting our peaceful community. These developments are causing undue stress on myself and my neighbours.

Attachments

| | | | |
|----------|------------------------------------|---------------|-------------------|
| Name: | Kathleen Thibault | Created Date: | February 16, 2026 |
| Phone: | [REDACTED] | [REDACTED] | [REDACTED] |
| | [REDACTED] | Number: | 651757078 |
| Address: | 4511 Vandergrift Cres N [REDACTED] | | |
| Overall: | In opposition of this application | | |

Area of Concern

Building (massing, façade, height, shadowing, etc.)
 Parking or loading zones
 Environmental preservation

General Comment

A building with 8 units (4 primary + 4 secondary suites) equals approximately 16 vehicles. Average homes now have 2 each. There is not adequate parking for these dwellings. Parking in the area is already filling the back alleyways making navigation difficult. Infrastructure in the area cannot handle the added vehicle load. There are already huge safety concerns with vehicle crashes and pedestrian safety at the corners of Voyageur Drive and Valiant Drive and Shaganappi Trail.

This development will remove more healthy trees from the shrinking canopy of the community, displacing more wildlife. And making the community look ever more barren.

If developments are going to be eligible for secondary suites, this should be considered in the city planning, ensuring that the number of primary suites permitted is halved. A development with 8 units (potentially 16 cars) replacing 1 house with sufficient room to park 2 vehicles off the street is ridiculous. The parking spaces in the plan do not seem large enough for today's vehicles (those are storage lockers). They are mainly checking a box, but will realistically not be used by the tenants for parking.

I would support a 2 unit building with secondary suites at maximum (=4 units).

Attachments

From: [Seyed Talebian](#)
To: [Calgary SDAB Info](#)
Cc: [Seyed Talebian](#)
Subject: [External] APPEAL NUMBER: SDAB2026-0052
Date: Sunday, April 26, 2026 11:50:26 AM

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Hello

Dear Members of Subdivision & Development Appeal Board,

My name is Seyed Talebian, owner and resident of 4528 Vandergrift Cres NW. I am writing as a resident of the community to express my concerns regarding the proposed multi-unit development currently under **APPEAL NUMBER: SDAB2026-0052** against an approval **DP2025-06986 for 4228 Voyageur Drive NW**. While this project is not located directly adjacent to my property, it reflects a broader pattern of intensification within what has traditionally been a quiet, low-density neighborhood. Developments of this scale introduce a built form that differs significantly from the established character of the area, raising concerns about compatibility, long-term planning direction, and the cumulative impact of similar projects over time.

From a planning perspective, there are several important considerations that I respectfully ask the Board to weigh carefully. Increased density at this scale can lead to higher traffic volumes on local residential streets not originally designed for such intensity, along with additional strain on already limited on-street parking. This can create safety concerns for pedestrians, children, and cyclists. Higher occupancy also tends to generate increased noise, activity, and service demand, which may not align with the existing residential environment. In addition, the removal of mature trees and reduction of green space diminish both the environmental quality and the established visual character of the neighborhood. The building's overall massing, height, and proximity to adjacent properties may also contribute to shadowing, reduced privacy, and a sense of overdevelopment. Furthermore, concentrating multiple units on a single parcel can place added pressure on site access, waste collection, emergency access, and overall site functionality, all of which are important considerations in ensuring safe and sustainable development.

I respectfully submit that these impacts should not be viewed in isolation, but rather as part of a cumulative pattern that can gradually alter the fabric of the community. Each approval of this nature may set a practical precedent, making it increasingly difficult to maintain the intended scale and livability of the neighborhood. I ask that the Board carefully consider whether this proposal achieves an appropriate balance between growth and compatibility, and whether it reflects sound planning principles that protect the long-term character, safety, and quality of life within the community. Thank you for your time and thoughtful consideration.

Sincerely,

Seyed Talebian, CPA

T (587) 969-6755 E Seyed.Talebian@hotmail.com

**COLIN AND ABBEY TAEKEMA
4507 VANDERGRIFT CRESCENT NW
CALGARY**

403-605-7434 | abbey.ks@gmail.com | mtnbikecgt@gmail.com

April 26, 2026

Calgary Subdivision and Development Appeal Board
#8110 P.O. Box 2100, Station M
Calgary, AB T2P 2M5

Dear Calgary Subdivision and Development Appeal Board (SDAB):

We are writing this letter in common agreement with the neighbors of Voyageur Drive and Vandergrift Crescent to formally appeal the City's approval of the 8-dwelling development at 4228 Voyageur Drive NW, DP2025-06986.

We wish to make our concerns and disagreement with the following scenarios related to this development:

The development plan scale, aesthetics and lot coverage do not align with design and character of the homes on voyageur, nor Varsity Acres as a whole. Residents of Varsity are in consensus that they would prefer a different local area plan and we ask that you consider the height of this neighborhood and how possibly this new building will naturally fit into the neighborhood's character. It is too tall in comparison, and the ratio of building to land is also too high in comparison to homes around it. The development plan is wildly out of proportion to the surrounding homes.

This road is not an appropriate site for such a large complex housing 8 different families. This section of Voyageur drive already faces a lot of traffic coming from homes in the direct back alley and the adjacent alley that runs parallel to 40th avenue. Both alleys are paved, allowing for vehicles to drive at high rates of speed. During review of the area plan and blanket rezoning, we tabled this concern at the community meeting asking for speed bumps to be

SDAB2026-0052

installed in the alley. Due to the excessive speed issues in this paved alley and on Voyageur, we cannot allow our older children to play around these areas, or even use the side walks unattended.

Voyageur Dr also receives significant foot traffic from pedestrians using the intersection of 40th avenue and Shaganappi trail (Market Mall and bus stops). A combination of many cars parked on Voyageur Dr (plus 8 or more vehicles from this development), the foot traffic, and vehicle traffic from the adjacent alley ways, dramatically increase the safety risk and poses a serious hazard to residents of Voyageur Dr and nearby streets. This hazard is further amplified by the narrow width of Voyageur Dr, oncoming cars cannot easily pass.

Lacking privacy for current residents

We are concerned for the direct neighbours behind and beside the development, and their right to adequate privacy. This development has many more windows than one dwelling might, and the height of the new dwelling creates direct sightlines into neighboring homes and backyards. This goes directly against Calgarians' freedom to feeling safe and private within their property.

We are against development at 4228 Voyageur Drive, DP2025-06986 and strongly request the SDAB to thoughtfully consider local area residents' viewpoints related to the development. Thank you for your time and please contact us if further information is required.

Sincerely,

**Colin and Abbey Taekema
4507 Vandergriff Crescent NW
Calgary**

Jinnah, Aly

From: dolly bondarianzadeh <dolly_b_z@yahoo.com>
Sent: Sunday, April 26, 2026 5:49 PM
To: Calgary SDAB Info
Subject: [External] SDAB 2026-00525 - Townhouse + Secondary Suits DP2025-06986- 4228 Voyageur Drive NW.

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Hello,

I am writing regarding the development appeal # SDAB2026-0052 for 4228 Voyageur Drive NW, to express my concerns about the scope of the proposal and to respectfully request that the current plan and unit count be reconsidered.

Replacing a single detached home with a two-storey building accommodating four principal units and four secondary suites introduces a level of density that is materially different from the historic pattern of this interior street. Although accommodating growth is an important municipal objective, the scale and concentration proposed for this particular parcel warrants careful evaluation in the context of its immediate surroundings.

Voyageur drive is not a through street; it operates as a contained residential, with limited roadway width and finite on-street parking. Even under existing conditions, curb space is frequently occupied. The introduction of eight households on one lot would predictably increase resident vehicles, guest parking, short-term stopping activity, trades traffic, deliveries, and ride-share use. Over time, this accumulation can noticeably change circulation patterns and day-to-day street conditions.

Higher traffic volume can reduce maneuverability and pedestrian comfort. More frequent presence of service vehicles—including waste collection trucks and courier vans—adds to this. It is also important to consider emergency response access; adequate clearance and turning radius are essential for fire and medical services, and additional parked vehicles may constrain available space in time-sensitive situations.

I have lived in here for many years and am now approaching retirement. The steady, low-intensity character of this street has been a defining part of our experience here. At this stage of life, continuity and the ability to remain comfortable in a familiar environment become especially meaningful. A concentrated shift of this magnitude within immediate proximity represents a substantial change from the neighborhood conditions that have existed for decades and would be difficult to absorb.

There is also the matter of cumulative change. Other recent and pending developments in close proximity are already adding residential units within a relatively small radius. When viewed collectively rather than individually, these additions represent a significant increase in local intensity. The combined

implications for parking availability, traffic flow, infrastructure demand, and overall neighborhood cohesion merit careful consideration.

Varsity contains a range of housing forms across various areas of the community. The concern raised here is not opposition to evolution or diversification, but rather the placement of maximum allowable density on an interior crescent lot without a graduated transition that reflects its established context.

For these reasons, I respectfully request that this application be reviewed with particular attention to overall scale, cumulative impact, traffic safety, and compatibility with the existing character of Vandergrift Crescent.

Thank you for your time and consideration.

Sincerely,
Dolly Bondarianzadeh
Contact info: dolly_b_z@yahoo.com
26/04/2026

April 25, 2026

Re: Appeal Number 2026-0052; 4228 Voyageur Drive NW

I am a resident in the Varsity community living near to the proposed development at 4228 Voyageur Drive NW. I am writing on behalf of my household and in support of the appeal submitted by the adjacent property owners.

While my property is not directly adjacent to the subject site, I am part of the immediate block and experience the cumulative effects of intensification in this area. I support the concerns raised by the neighbouring residents, particularly with respect to privacy, site servicing, and the interface between the proposed development and surrounding properties.

I am concerned that the proposal represents an overdevelopment of the parcel. The introduction of four primary dwelling units with four secondary suites significantly increases the intensity. While this may align with the technical permissions of blanket rezoning, I am not confident that the resulting impacts meet the needs of our community.

I would note the issue of cumulative impacts on parking and local infrastructure. Developments of this nature, when considered individually, may appear compliant; however, when repeated across a neighbourhood, they can result in increased pressure on on-street parking, lane access, and overall service capacity.

This concern is particularly relevant in this case, as the proposed development is not occurring in isolation. Within a short distance of the subject site, there are multiple recent developments, including subdivided lots accommodating four detached dwellings (4535 & 4539 Vandergrift Cres NW), backyard suite development (4607 Valiant Dr NW), as well as a rowhouse development with four secondary suites (4508 Vandergrift Cres NW). See map on page 2. The concentration of these projects within a limited area, including near the high-traffic intersection of Shaganappi Trail NW and Valiant Drive NW, results in a cumulative level of intensification that exceeds what is typically experienced in the surrounding neighbourhood.

In my view, this pattern underscores the importance of carefully evaluating not only individual compliance, but also the combined effects on parking, lane function, infrastructure capacity, and overall safety and livability. The current proposal adds to this concentration without sufficiently addressing how these cumulative impacts are to be managed.

I respectfully submit that the proposed development, in its current form, does not fully achieve an appropriate balance between increased density and compatibility with surrounding properties. I ask that the Appeal Board give careful consideration to the concerns raised by directly affected neighbours and consider whether revisions to the design are warranted.

Thank you for your consideration.

Sincerely,
Donna Kwan
403-389-2148
4540 Vandergrift Crescent NW



Jinnah, Aly

From: Rostam Radmand <rostamradmand@yahoo.com>
Sent: Sunday, April 26, 2026 11:49 AM
To: Calgary SDAB Info
Subject: [External] SDAB 2026-00525 - 4228 Voyageur Drive NW. Appeal against an approval townhouse + Secondary Suits DP2025-06986

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Hello,

In response to the appeal board letter, concerning SDAB2026-0052, I am writing to formally raise a set of concerns regarding the proposed construction on 4228 Voyageur Drive NW within a low-density residential neighborhood. I as a impacted neighbor in the back alley, respectfully request that all of the following points be considered as part of the appeal process.

- **Neighborhood Character and Zoning Intent** This area has long been designated and developed as a low-density residential neighborhood more than 50 years ago. A 4-unit with secondary suites building represents a significant intensification that does not align with the existing scale, spacing, or character of surrounding homes.
- **Parking Capacity and Street Congestion** Most families in this neighborhood own at least one vehicle, and many own two or more. The proposed development does not provide sufficient on-site parking to meet even the minimum needs of residents. As a result, vehicles will inevitably spill onto the street and back alley, increasing congestion, reducing visibility, and creating safety concerns for pedestrians, cyclists, and neighboring homeowners.
- **Lack of Guest Parking** There is no space allocated for guest parking. Visitors will have no choice but to park on already crowded streets or in the back alley, further compounding congestion and accessibility issues.
- **Comparison to Newer Neighborhoods** In newer communities, homes are typically designed with double or triple garages and extended driveways that can accommodate multiple resident vehicles as well as guest parking. These design standards help manage density and prevent overflow parking. In this case, the lot size and layout make it impossible to provide similar parking solutions. There is no feasible way to incorporate garages or driveways that would meet the needs of eight units and their guests.
- **Garbage Bin Storage and Collection Issues** Each unit requires three waste bins (garbage, recycling, and compost). For minimum of 12 bins for this property, there is no practical space on the property or in the back alley to store or place this number of bins even on collection days. This will obstruct alley access, create sanitation concerns, and interfere with waste collection vehicles.

• **Future Precedent and Infrastructure Strain** If this development is approved, other long-time property owners—many of whom have lived here for decades—may reasonably expect equal treatment and may later request approval for their own similar developments. The City would need to apply its decisions fairly, which could lead to multiple high-density buildings in an area never designed for such growth. This would place significant strain on essential infrastructure, especially the sewage system, waste collection capacity, and already limited parking availability. Over time, this could create widespread congestion, service disruptions, and long-term challenges for the entire neighborhood.

These concerns collectively demonstrate that the proposed development exceeds what the lot and surrounding infrastructure can reasonably support. The scale of the project is incompatible with the established character, capacity, and long-term livability of this neighborhood.

I respectfully request the appeal board to consider all of these concerns and ensure that any future development remains compatible with the community’s design, infrastructure limitations, and expectations of long-term residents.

Thank you for your time and consideration.

Rostam Radmand

Contact: rostamradmand@yahoo.com 403-923-3420
April 26,206



April 26, 2026

Subdivision and Development Appeal Board
City of Calgary
P.O. Box 2100, Stn. M
Calgary, Alberta T2P 2M5

Re: SDAB2026-0052 – 4228 Voyager Dr NW – Community Association Authorization

To Whom It May Concern:

Please be advised that JoAnne Atkins, Director of Civic Affairs, is authorized to speak on behalf of the Varsity Community Association for all SDAB hearings including SDAB2026-0052. The jurisdictional hearing for SDAB2026-0052 is scheduled for May 5, 2026.

JoAnne Atkins will register to speak at both the jurisdictional and merit hearings.

Yours truly,

A handwritten signature in blue ink, appearing to be "Bob Benson", with a long horizontal flourish extending to the right.

Bob Benson
President, Varsity Community Association
benson@wbalaw.ca

c.c. Doug Smith, GM, VCA



April 27, 2026

Subdivision and Development Appeal Board
City of Calgary

Re: SDAB2026-0052 (DP2025-06986) – 4228 Voyageur Drive N.W.

To Whom It May Concern:

The Varsity Community Association supports the appeal against an approval for a rowhouse at 4228 Voyageur Drive N.W.

The proposal is not sensitive to the context of the surrounding neighbourhood and will damage the character of the streetscape which consists of low profile homes with modest lot coverage (about 25-35%). The massive building envelope will result in an overpowering building that will overshadow and overwhelm nearby homes. The impact on the adjacent homes will be particularly negative due to unreasonable overlooking and lack of privacy. There is a shortage of parking in this area as parking is allowed only on the east side of Voyageur Drive.

We plan to make a presentation to SDAB in support of the appeal at the jurisdictional and merit hearings.

Yours truly,

Jo Anne Atkins
Director of Civic Affairs
Varsity Community Association
joanneatkins@shaw.ca

c.c. Bob Benson, President, Varsity Community Association

VARSIY MULTI-FAMILY MID-BLOCK DWELLING

R-CG RESIDENTIAL
4228 VOYAGEUR LANE NW
CALGARY, ALBERTA
LOT 8, BLOCK 7, PLAN 3473JK

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**DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN**



1 3D FRONT LEFT PERSPECTIVE



2 3D FRONT RIGHT PERSPECTIVE

SHEET LIST

| | |
|--------------------------|-------|
| COVER PAGE | A0.0 |
| SITE PLAN | A0.1 |
| LANDSCAPING PLAN | A0.2 |
| BLOCK PLAN | A0.3 |
| BASEMENT PLAN | A1.0a |
| MAIN FLOOR PLAN | A1.1 |
| SECOND FLOOR PLAN | A1.2 |
| ELEVATIONS | A2.0 |
| ELEVATIONS | A2.1 |
| BUILDING SECTION | A3.0 |
| BOULEVARD PLANE SECTIONS | A3.1 |
| GARAGE PLANS | G1.0 |

PROJECT INFO

| | |
|-----------------|------------------------------|
| CLIENT/PROJECT: | VARSIY MULTI-FAMILY DWELLING |
| LEGAL ADDRESS: | Lot 7, Block 8, Plan 3473 JK |
| CIVIC ADDRESS: | 4228 VOYAGEUR LANE NW |

DRAWING INFORMATION

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|-------------------------------|--------------------|
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| CHECKED BY: | LG |
| SCALE: | 1 : 48 |
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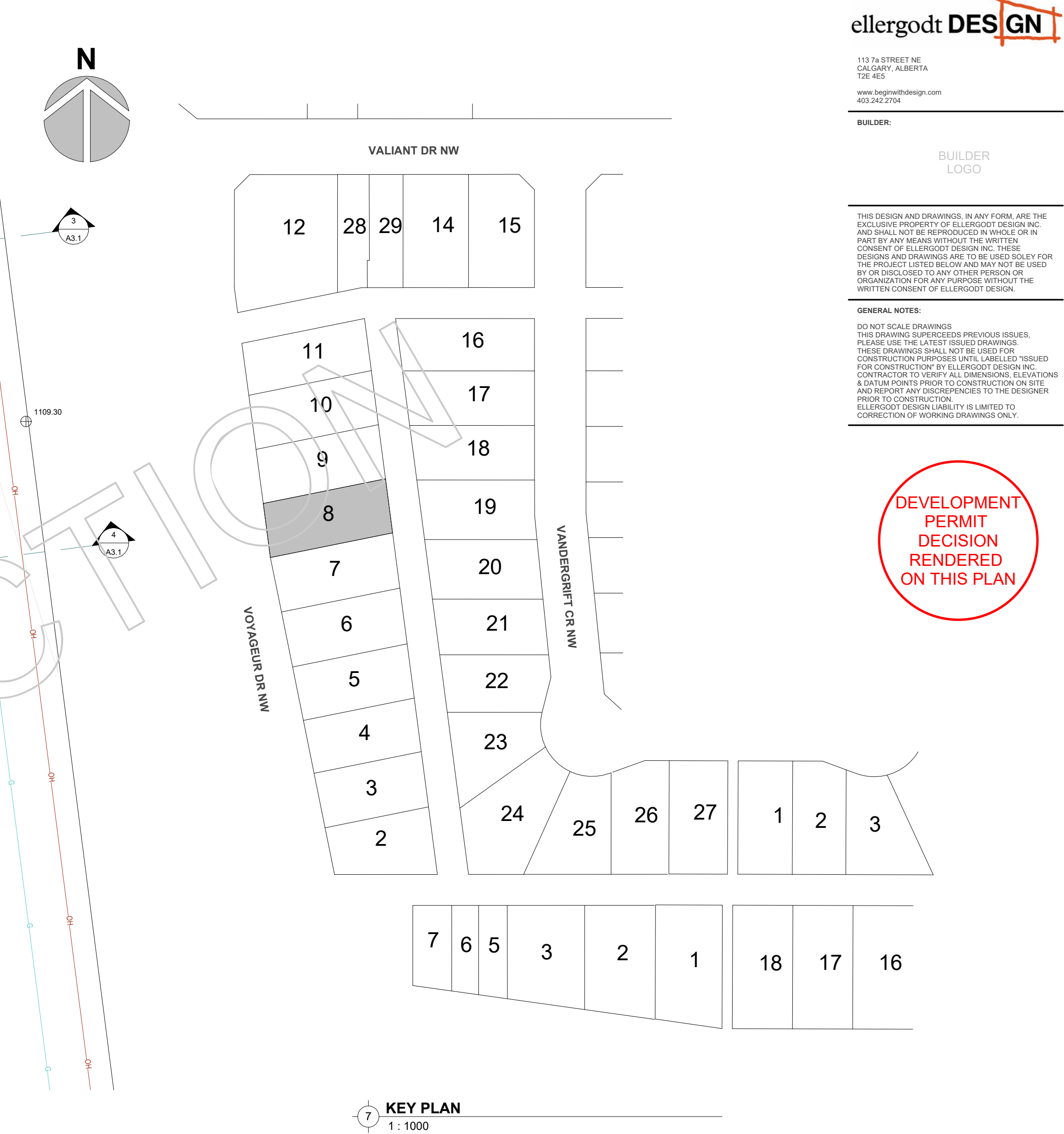
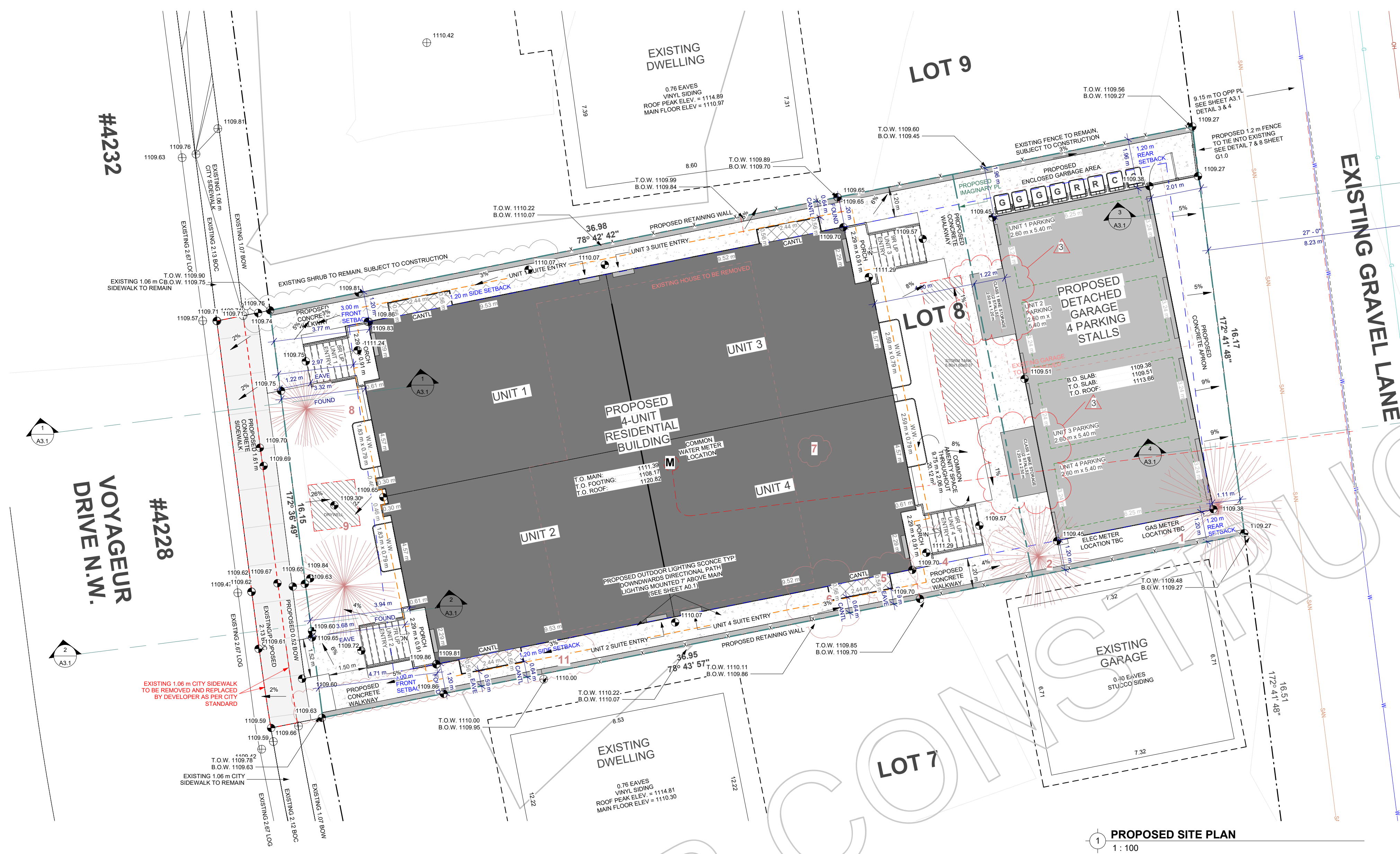
REVISION HISTORY

| REVISION HISTORY | DATE |
|------------------------|-------|
| RB FLOOR PLANS | 10.17 |
| RB DESIGN PRESENTATION | 10.24 |
| LG DEVELOPMENT PERMIT | 11.21 |
| BV DRI | 01.30 |

COVER PAGE
A0.0

DEVELOPMENT PERMIT

DEVELOPMENT PERMIT DECISION RENDERED ON THIS PLAN



VARSITY MULTI-FAMILY MID-BLOCK DWELLING

R-CG RESIDENTIAL
4228 VOYAGEUR LANE NW
CALGARY, ALBERTA
LOT 8, BLOCK 7, PLAN 3473JK

R-CG RESIDENTIAL GRADE-ORIENTED INFILL

SITE COVERAGE CALCULATIONS:

| | | | |
|---------------------------|-----------------|-----------------------|-----------------------------|
| PROPOSED BUILDING: | | | |
| 4 RESIDENTIAL UNITS | | | |
| 4 SUITES | | | |
| BYLAW REQUIREMENT: | | | |
| SITE AREA: | 6410.78 SF | 595.58 m ² | |
| DENSITY: | 4 UNITS = 67.11 | UNITS/ha | |
| ALLOWED COVER: | 60% | 3846.47 SF | 357.35 m ² |
| ACTUAL PROVIDED: | | | |
| HOUSE FOOTPRINT: | 2935.52 SF | 272.72 m ² | |
| GARAGE FOOTPRINT: | 871.25 SF | 80.94 m ² | |
| TOTAL ON SITE: | 59.38% | 3806.77 SF | 353.66 m² |
| SITE STORAGE: | | | |
| CLASS 1 BIKE STORAGE | REQUIRED: 4 | PROVIDED: 4 | |
| PARKING: | | | |
| MOTOR VEHICLE PARKING | | 4 STALLS | |
| WASTE & RECYCLING: | | | |
| CITY BINS PROVIDED | | 8 BINS | |

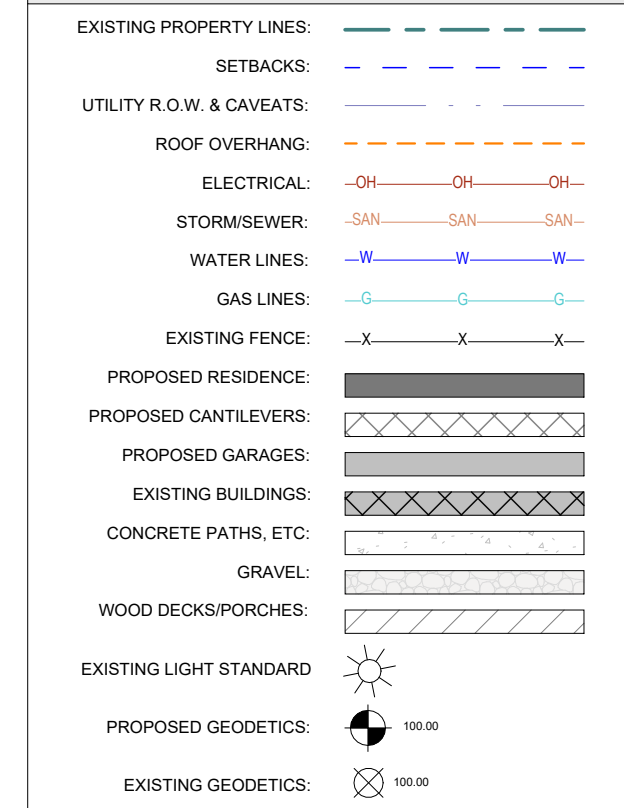
BUILDING SETBACKS

| | |
|---------------------------|---------|
| BYLAW REQUIREMENT: | |
| FRONT SETBACK: | 3.00 m |
| SIDE SETBACK: | 1.20 m |
| REAR SETBACK: | 1.20 m |
| ACTUAL PROVIDED: | |
| FRONT SETBACK: | 3.32 m |
| SIDE SETBACK: | 1.20 m |
| REAR SETBACK: | 12.57 m |

SQUARE FOOTAGE...

| | |
|-------------------------|-----------------------|
| ABOVE GRADE AREA | 694.41 m ² |
| UNIT 1 - MAIN FLOOR | 671.43 m ² |
| UNIT 1 - STAIRS | 61.02 m ² |
| EXTERIOR AREA | |
| UNIT 1 - FRONT PORCH | 23.00 m ² |
| 23.00 m ² | |
| ADDITIONAL AREAS | |
| BASEMENT SUITE | 588.36 m ² |
| BASEMENT SUITE ENTRY | 38.71 m ² |
| | 627.07 m ² |
| ADDITIONAL AREAS | |
| BASEMENT SUITE | 71.25 m ² |
| 71.25 m ² | |
| ADDITIONAL AREAS | |
| 4 CAR GARAGE | 871.25 m ² |
| 871.25 m ² | |

SITE LEGEND:

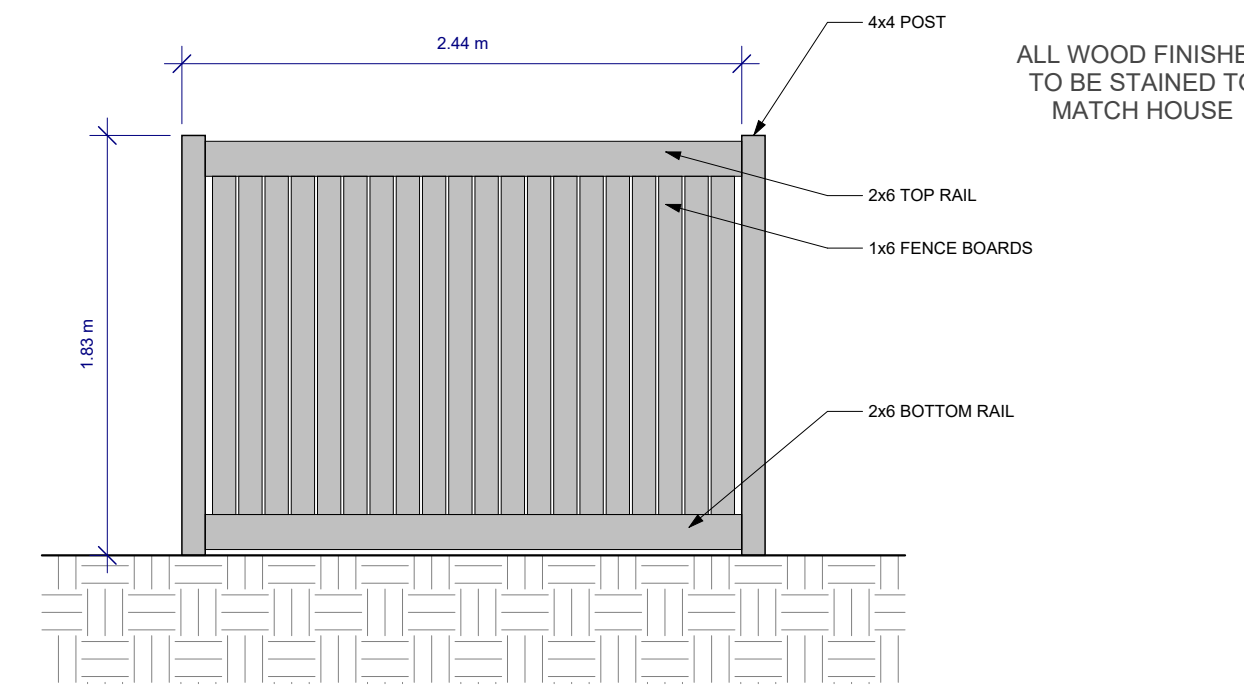
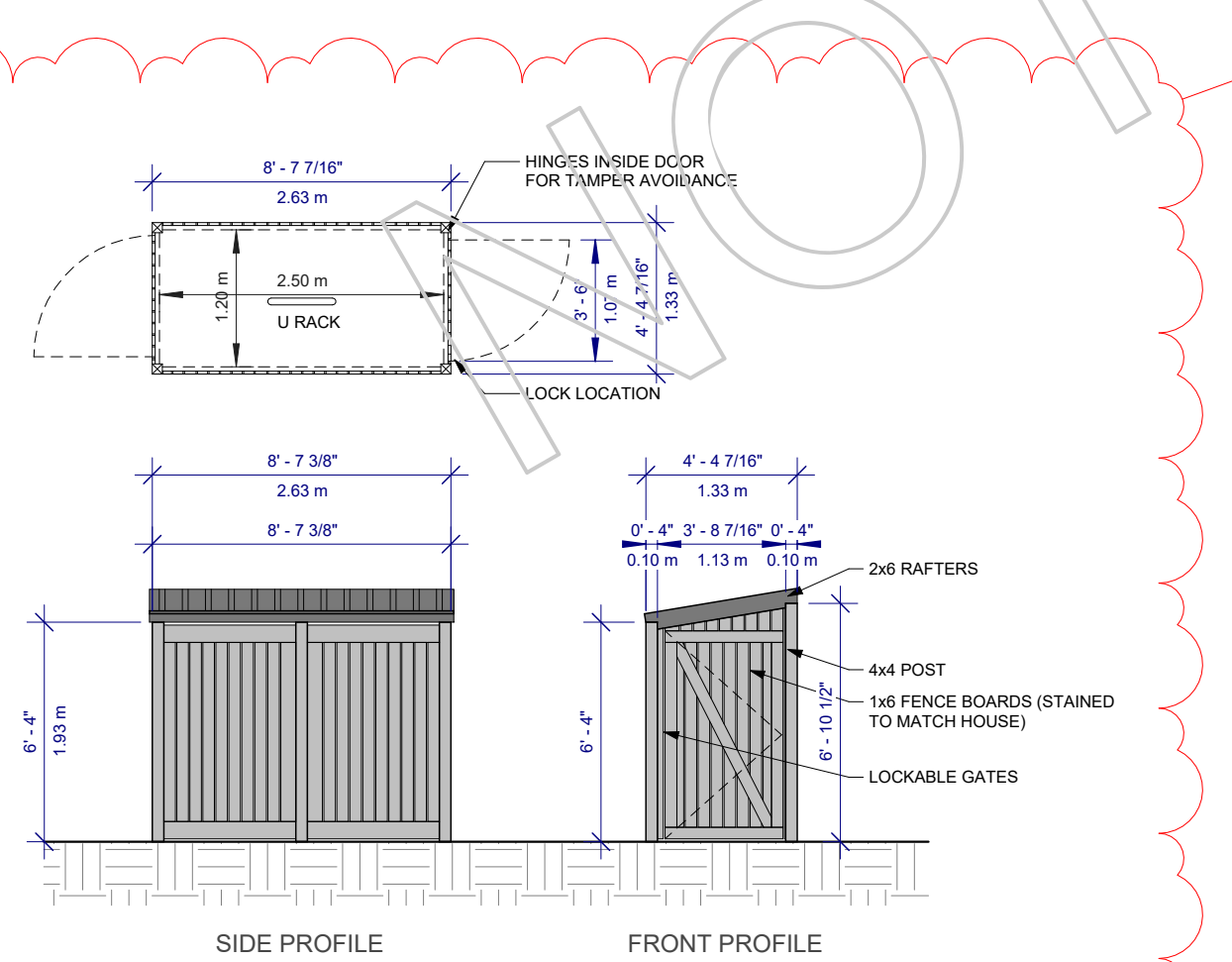


BUILDING HEIGHT

| | |
|------------------------------------|-----------|
| BYLAW REQUIREMENT: | |
| HEIGHT: | 11 m MAX |
| BUILDING HEIGHT PROVIDED: | |
| LOWEST AVERAGE GRADE AT BUILDING: | 1109.86 m |
| HIGHEST AVERAGE GRADE AT BUILDING: | 1109.91 m |
| PEAK GEODETIC: | 1120.82 m |

GROSS FLOOR AREA

| | | |
|-------------|------------|-----------------------|
| HOUSE GFA: | 5954.28 SF | 553.17 m ² |
| GARAGE GFA: | 871.25 SF | 80.94 m ² |
| TOTAL GFA: | 6825.53 SF | 634.11 m ² |



ALL WOOD FINISHED TO BE STAINED TO MATCH HOUSE

EXTERIOR LIGHT TYP.
KUZCO RHU, EW13107 JK OR SIMILAR
ALL FIXTURES TO BE DOWNWARD ORIENTED
SIMILAR OR BETTER SUBSTITUTIONS ALLOWED

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DEVELOPMENT PERMIT RENDERED ON THIS PLAN

LANDSCAPING LEGEND

TOTAL SITE AREA: 6410.78 SF 595.58 m²
TOTAL LANDSCAPED AREA: 2211.61 SF 205.47 m²
REQUIRED PLANTING: 1.0 TREES PER 110 m²
3.0 SHRUBS PER 110 m²
PROVIDED PLANTING: 1.11 TREES PER 110 m²
3.32 SHRUBS PER 110 m²

TREE/SHRUB LEGEND

| TREE/SHRUB TYPE | QUANTITY | SIZE |
|--|----------|-------------------------|
| DECIDUOUS TREE (AMUR MAPLE) | 2 | 65 mm CAL |
| CONIFEROUS TREE (BRISTLECONE PINE) | 2 | 2.0 m TALL |
| CONIFEROUS TREE (COLORADO BLUE SPRUCE) | 2 | 0.8 m SPREAD/3.0 m TALL |
| CHERRY PRINSEPIA (PRINSEPIA SPP.) | 12 | 0.7 m HEIGHT |
| POTENTILLA (DASYPHYLLA FLOIBUNDA) | 6 | 0.8 m HEIGHT |

LANDSCAPING REQUIREMENTS

| SOFTSCAPE: | HARDSCAPE: |
|--|--|
| REQUIRED: 663.48 SF / 61.64 m ² (30%) | CONCRETE: 1170.38 SF / 108.73 m ² |
| GRASS: 506.77 SF / 47.08 m ² | GRAVEL: 78.62 SF / 7.30 m ² |
| MULCH: 245.17 SF / 22.78 m ² | STAIRS & PORCHES: 210.75 SF / 19.58 m ² |
| TOTAL PROVIDED: 751.94 SF / 69.66 m ² (34.0%) | TOTAL: 1387.30 SF / 135.61 m ² (66.00%) |

NOTES:

- ALL LANDSCAPING SHOWN IS ILLUSTRATIVE ONLY AND MAY NOT REFLECT EXACT CONDITIONS ON SITE OR FINAL PRODUCT
- ALL GRASS TO BE DROUGHT RESISTANT VARIETIES.
- ALL LANDSCAPED AREAS TO HAVE MIN 300mm DEEP TOPSOIL
- IRRIGATION PROVIDED - UNDERGROUND SYSTEM, LOW IRRIGATION

PLANTING SPECIES BASELINE:

ACCEPTABLE CONIFEROUS TREES
- COLORADO BLUE SPRUCE OR COLUMBIAN BLUE SPRUCE
- BRISTLECONE PINE

ACCEPTABLE DECIDUOUS TREES
- TORONTO SPRUCE
- SHOWY MOUNTAIN ASH
- AMUR CHERRY
- AMUR MAPLE

ACCEPTABLE SHRUBS - MIN 0.6m SPREAD OR HEIGHT AT TIME OF PLANTING
- TO BE CONFIRMED BASED ON CITY OF CALGARY'S YARDSMART GUIDELINES AND AVAILABILITY AT TIME OF PLANTING

TREE PROTECTION NOTES:
- EXTENDING PUBLIC TREES TO BE PROTECTED ON SITE
- MIN 1.2M TALL CONSTRUCTION FENCING TO BE PROVIDED AT 4.0M FROM TRUNK. DO NOT EXTEND FENCING OVER EXISTING PUBLIC SIDEWALK LOCATIONS
- SIGNAGE TO BE POSTED ON EACH TREE WITH TREE PROTECTION PLAN AGREEMENT
- TYPICAL FENCING TO BE SOLID WOOD FRAME W/ ORANGE SNOW FENCING STAPLED TO OUTSIDE

AN URBAN FORESTRY TECHNICIAN MUST BE ON SITE DURING EXCAVATION OF THE PROPOSED WALKWAY AND PUBLIC SIDEWALK IN ORDER TO MITIGATE ANY DAMAGE TO ADJACENT PUBLIC TREES. CONTACT URBAN FORESTRY BY PHONING 311 AT LEAST THREE (3) BUSINESS DAYS IN ADVANCE OF EXCAVATION. IF CANOPES OR ROOT SYSTEMS ARE DAMAGED TO THE POINT WHERE THE TREE BECOMES UNSTABLE, THEN URBAN FORESTRY WILL REQUIRE THEIR REMOVAL USING AN APPROVED IDENTIFIED TREE CONTRACTOR AT APPLICANT'S EXPENSE, PLUS COMPENSATION FOR THE REMOVED TREE.

<https://www.calgary.ca/water/programs/water-wise-trees-and-shrubs.html>

EXISTING TREE SCHEDULE:

| TREE NO. | TREE TYPE | TRUNK DIAMETER | CANOPY DIAMETER | HEIGHT |
|----------|------------|----------------|-----------------|--------|
| 1 | CONIFEROUS | 0.60 | 5.00 | 12.00 |
| 2 | CONIFEROUS | 0.40 | 4.00 | 6.00 |
| 3 | BUSH | --- | 1.50 | 1.70 |
| 4 | BUSH | --- | 3.00 | 4.00 |
| 5 | BUSH | --- | 2.00 | 2.00 |
| 6 | BUSH | --- | 3.00 | 3.00 |
| 7 | BUSH | --- | 1.20 | 1.30 |
| 8 | CONIFEROUS | 0.23 | 3.00 | 7.50 |
| 9 | CONIFEROUS | 0.47 | 4.00 | 7.50 |
| 10 | BUSH | --- | 1.10 | 0.90 |
| 11 | BUSH | --- | 1.10 | 0.90 |

RED TEXT DENOTES EXISTING TREE/SHRUB TO BE REMOVED

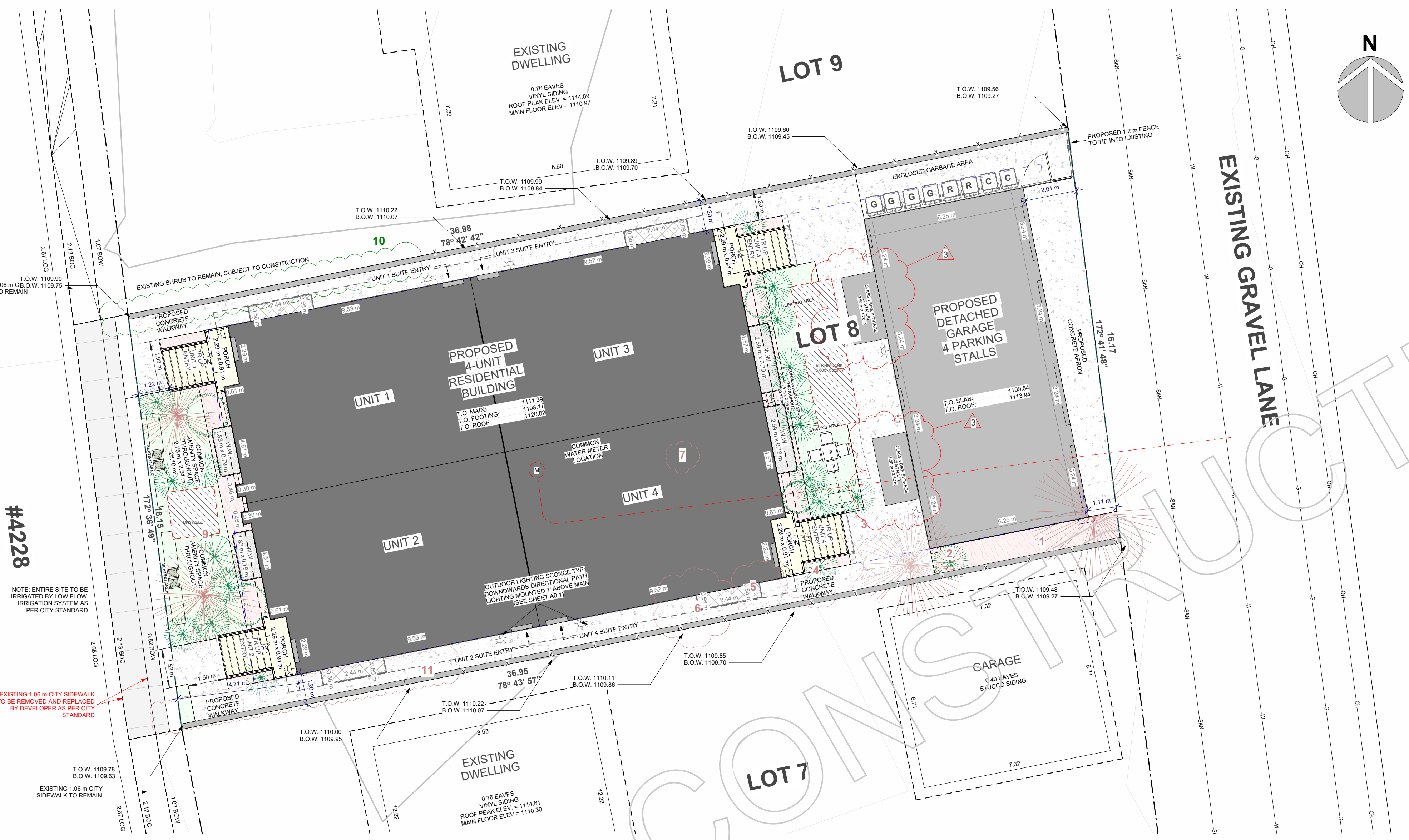
SQUARE FOOTAGE...

| | |
|----------------------|------------|
| ABOVE GRADE AREA | |
| UNIT 1 - MAIN FLOOR | 694.41 SF |
| UNIT 1 - UPPER FLOOR | 671.43 SF |
| UNIT 1 - STAIRS | 61.02 SF |
| | 1426.87 SF |
| EXTERIOR AREA | |
| UNIT 1 - FRONT PORCH | 23.00 SF |
| | 23.00 SF |
| ADDITIONAL AREAS | |
| BASEMENT SUITE | 588.36 SF |
| BASEMENT SUITE ENTRY | 36.71 SF |
| | 625.07 SF |
| ADDITIONAL AREAS | |
| SHARED MECHANICAL | 71.25 SF |
| | 71.25 SF |
| ADDITIONAL AREAS | |
| 2 CAR GARAGE | 871.25 SF |
| | 871.25 SF |

PROJECT INFO
CLIENT/PROJECT: VARSITY MULTI-FAMILY DWELLING
LEGAL ADDRESS: Lot 7, Block 8, Plan 3473, JK
CIVIC ADDRESS: 4228 VOYAGEUR LANE NW

DRAWING INFORMATION
STATUS: DEVELOPMENT PERMIT
PROJECT LEAD: LEAD DESIGNER
CHECKED BY: CHECKER
SCALE: As Indicated
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REVISION HISTORY

| DATE | DATE |
|-------|-------|
| 10-17 | 10-17 |
| 10-24 | 10-24 |
| 11-21 | 11-21 |
| 01-30 | 01-30 |



#4232

VOYAGEUR DRIVE N.W.
#4228

NOTE: ENTIRE SITE TO BE IRRIGATED BY LOW FLOW IRRIGATION SYSTEM AS PER CITY STANDARD

EXISTING 1.06 m CITY SIDEWALK TO BE REMOVED AND REPLACED BY DEVELOPER AS PER CITY STANDARD

EXISTING 1.06 m CITY SIDEWALK TO REMAIN

1 LANDSCAPING PLAN
1: 100



3 FRONT LANDSCAPING ELEVATION
1: 100



2 REAR LANDSCAPING ELEVATION
1: 100

VARSITY MULTI-FAMILY MID-BLOCK DWELLING

R-CG RESIDENTIAL
4228 VOYAGEUR LANE NW
CALGARY, ALBERTA
LOT 8, BLOCK 7, PLAN 3473JK

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DEVELOPMENT PERMIT DECISION RENDERED ON THIS PLAN

LEGEND

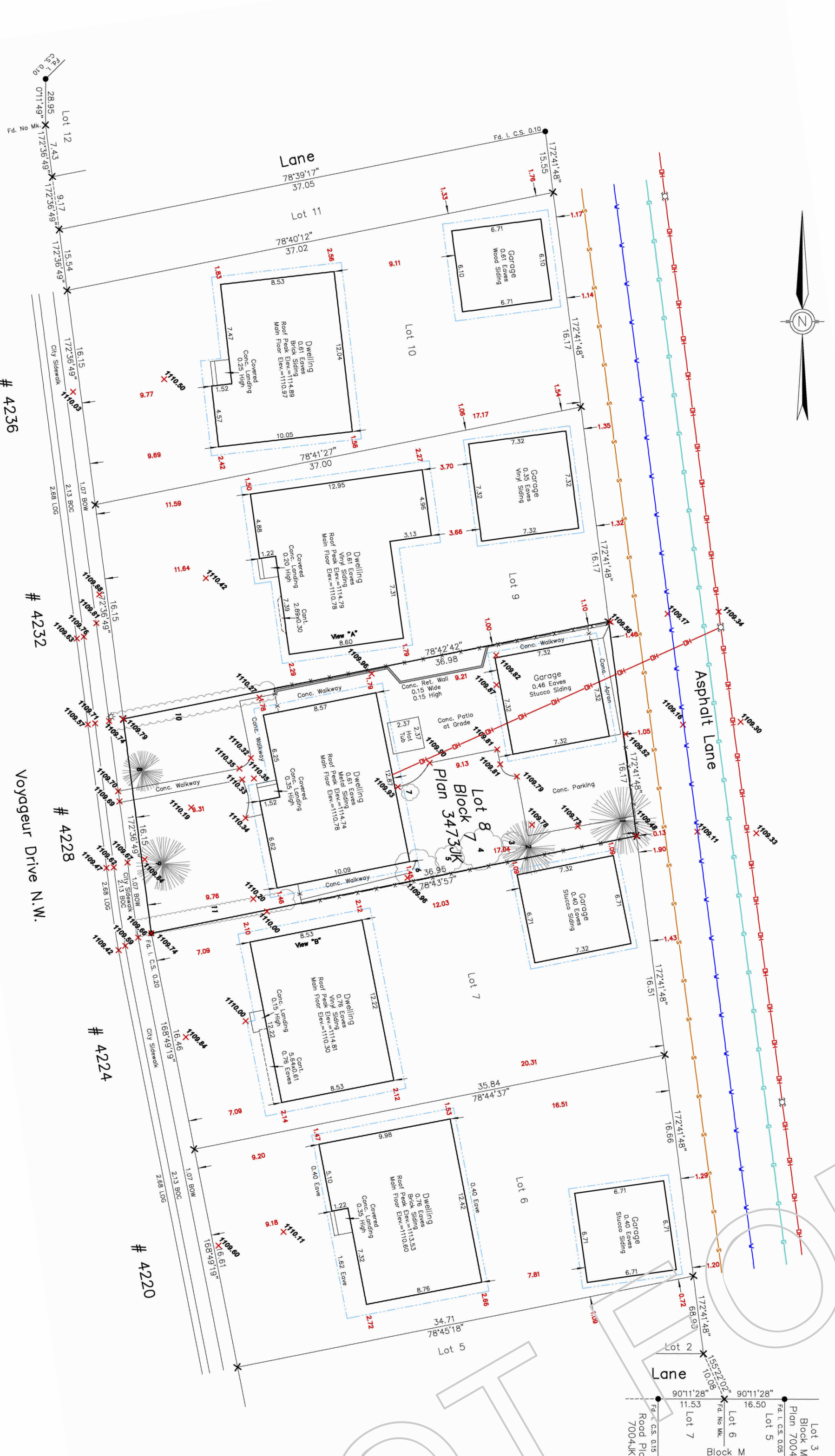
- Elevations are shown thus: X = 1000.00 Metres. (Geodetic)
Elevations are referred to ASCM 372912 Elev=1100.838
Distances are in metres and decimals thereof.
Bearings are Grid (31N-114W) and Derived from GNSS Observations.
- Found Iron Posts are shown thus: [Symbol]
 - Drill Holes are shown thus: [Symbol]
 - Found Iron Bars are shown thus: [Symbol]
 - Magnetic Nails are shown thus: [Symbol]
 - Capitation points are shown thus: [Symbol]
 - File hydrants are shown thus: [Symbol]
 - Water Valves are shown thus: [Symbol]
 - Gas Valves are shown thus: [Symbol]
 - Paper Poles are shown thus: [Symbol]
 - Manholes are shown thus: [Symbol]
 - Lamp Standards are shown thus: [Symbol]
 - Street Signs are shown thus: [Symbol]
 - Property lines are shown thus: [Symbol]
 - Utility Right of Ways are shown thus: [Symbol]
 - Eaves are shown thus: [Symbol]
 - Fences are shown thus: [Symbol]
 - Streetlight Cables are shown thus: [Symbol]
 - Underground Electrical lines shown thus: [Symbol]
 - Stormline are shown thus: [Symbol]
 - Sanitaryline are shown thus: [Symbol]
 - Combined Storm/Sanitary are shown thus: [Symbol]
 - Telephone Lines are shown thus: [Symbol]
 - Waterline are shown thus: [Symbol]
 - Gasline are shown thus: [Symbol]
 - Overhead Electrical lines shown thus: [Symbol]
- All fences are within 0.2 metres of the property lines unless otherwise shown. All eaves are measured to fascia unless otherwise shown. Unless noted otherwise lines outside of property are not to scale.

NOTES:

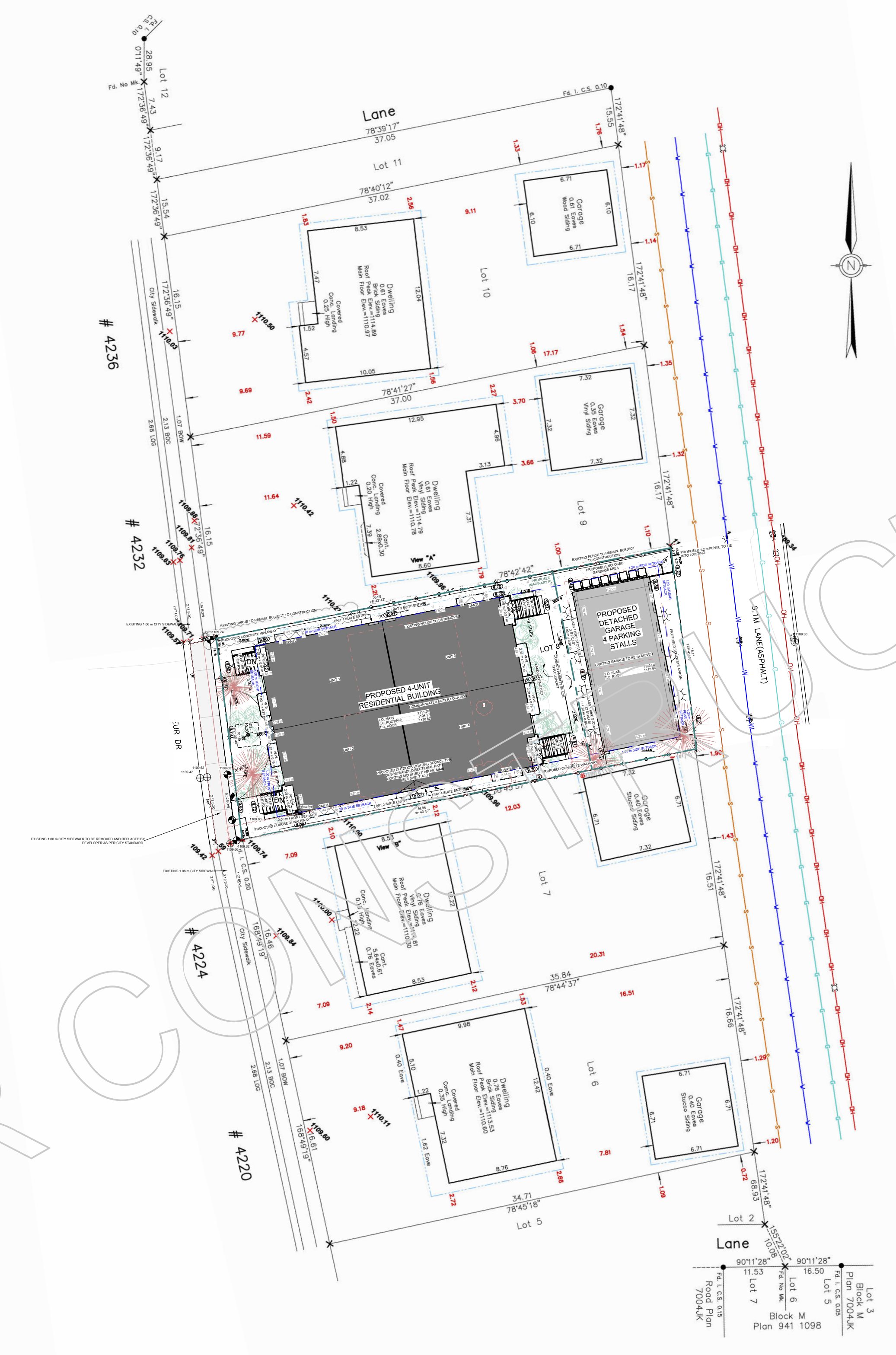
Title information is based on the C. of T. 251 189 221 which was searched on the 11th day of September, 2025, and is subject to:
No Pertinent Registration.

ABBREVIATIONS

- A—Arc Length
- Acc.—Accessory
- A/C—Air Conditioner
- Bldg.—Building
- BOC—Back of Curb
- BOW—Back of Walk
- Calc.—Calculated
- Cont.—Cantilever
- Conc.—Concrete
- C.S.—Countersunk
- DH—Drill Hole
- Enc.—Encroaches
- Fd.—Found
- I.—Iron Post
- LB.—Iron Bar
- LOG.—Lip of Gutter
- M.A.—Maintenance Access
- Mk.—Mark
- M.N.—Magnetic Nail
- O.D.—Overland Drainage
- R.—Radius
- Reg.—Registration
- Ret.—Retaining
- R/W—Right of Way
- W/O—Walkout Basement
- W.W.—Window Well



BLOCK PLAN EXISTING
1:250



PROPOSED BLOCK PLAN
1:250

SQUARE FOOTAGE...

| | |
|-------------------------|------------------------|
| ABOVE GRADE AREA | |
| UNIT 1 - MAIN FLOOR | 694.41 m ² |
| UNIT 1 - UPPER FLOOR | 671.43 m ² |
| UNIT 1 - STAIRS | 61.02 m ² |
| | 1426.87 m ² |
| EXTERIOR AREA | |
| UNIT 1 - FRONT PORCH | 23.00 m ² |
| | 23.00 m ² |
| ADDITIONAL AREAS | |
| BASEMENT SUITE | 588.36 m ² |
| BASEMENT SUITE ENTRY | 36.71 m ² |
| | 627.07 m ² |
| ADDITIONAL AREAS | |
| SHARED MECHANICAL | 71.25 m ² |
| | 71.25 m ² |
| ADDITIONAL AREAS | |
| 1 CAR GARAGE | 871.25 m ² |
| | 871.25 m ² |

PROJECT INFO

CLIENT/PROJECT: VARSITY MULTI-FAMILY DWELLING
LEGAL ADDRESS: Lot 7, Block 8, Plan 3473 JK
CIVIC ADDRESS: 4228 VOYAGEUR LANE NW

DRAWING INFORMATION

| | | |
|-------------------------------|---------------------|-------|
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| CHECKED BY: | CHECKER | |
| SCALE: | As Indicated | |
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| RB | FLOOR PLANS | 10/17 |
| RB | DESIGN PRESENTATION | 10/24 |
| LG | DEVELOPMENT PERMIT | 11/21 |
| BV | DR1 | 01/30 |



STREETSCAPE ELEVATION
1:250



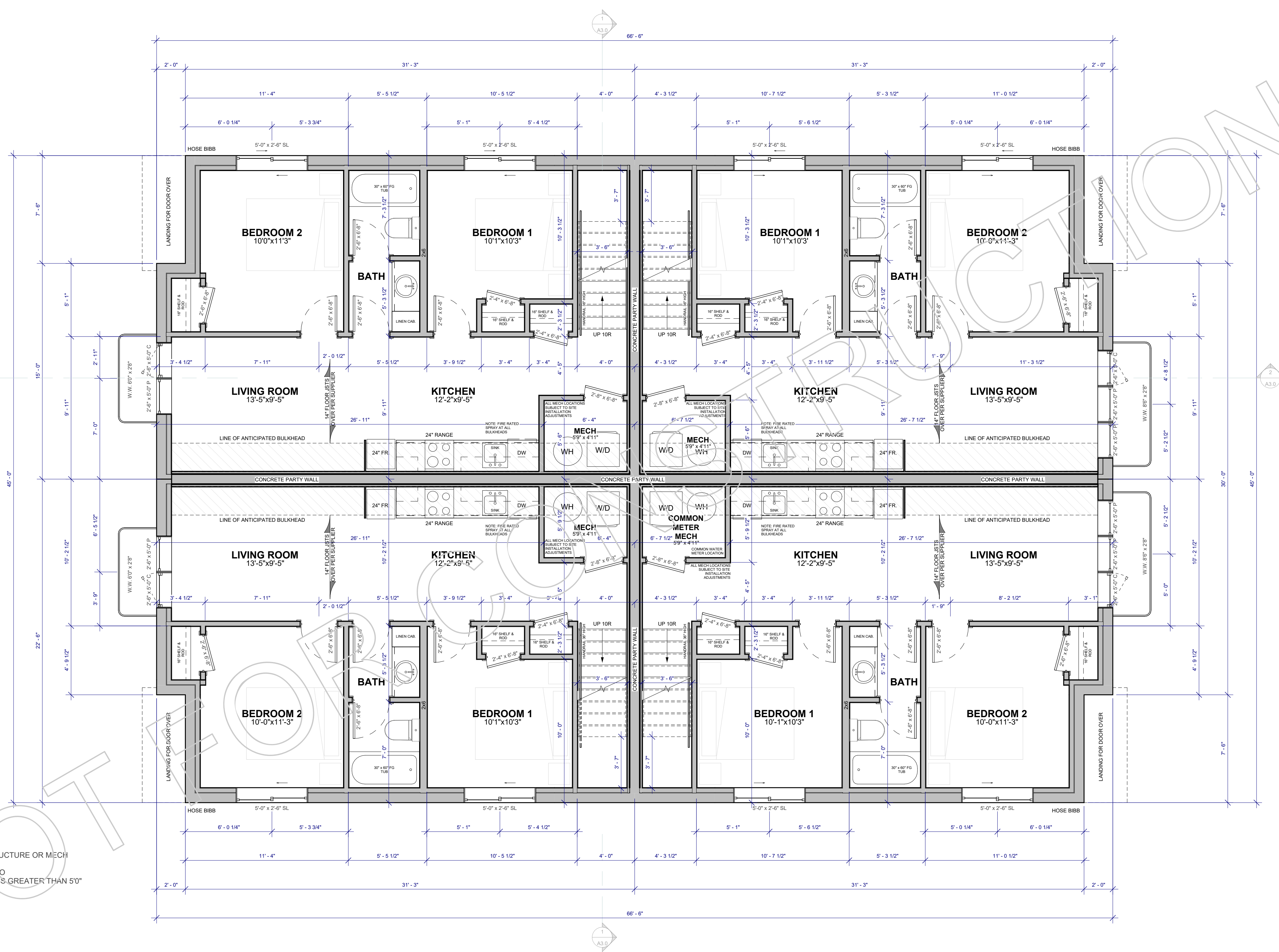
DEVELOPMENT PERMIT

BLOCK PLAN

A0.3



- 90° CLEAR BASEMENT CEILING
- CEILINGS DROPPED FOR STRUCTURE OR MECH WHERE REQUIRED.
- TOPS OF WINDOWS @ 8" U/I/O
- ENG. HEADERS FOR OPENINGS GREATER THAN 50"



PROPOSED BASEMENT PLAN
1 : 48

SQUARE FOOTAGE...

| | |
|----------------------|------------|
| ABOVE GRADE AREA | 694.41 SF |
| UNIT 1 - MAIN FLOOR | 671.43 SF |
| UNIT 1 - UPPER FLOOR | 61.02 SF |
| UNIT 1 - STAIRS | 1426.87 SF |
| EXTERIOR AREA | |
| UNIT 1 - FRONT PORCH | 23.00 SF |
| ADDITIONAL AREAS | |
| BASEMENT SUITE | 588.36 SF |
| BASEMENT SUITE ENTRY | 33.71 SF |
| ADDITIONAL AREAS | |
| SHARED MECHANICAL | 71.25 SF |
| ADDITIONAL AREAS | |
| 4 CAR GARAGE | 871.25 SF |
| | 871.25 SF |

| | | |
|-------------------------------|-------------------------------|-------|
| PROJECT INFO | | |
| CLIENT/PROJECT: | VARSITY MULTI-FAMILY DWELLING | |
| LEGAL ADDRESS: | Lot 7, Block 8, Plan 3473 JK | |
| CIVIC ADDRESS: | 4229 VOYAGEUR LANE NW | |
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| RB | FLOOR PLANS | 10.17 |
| RB | DESIGN PRESENTATION | 10.24 |
| LG | DEVELOPMENT PERMIT | 11.21 |
| SV | DR1 | 01.30 |

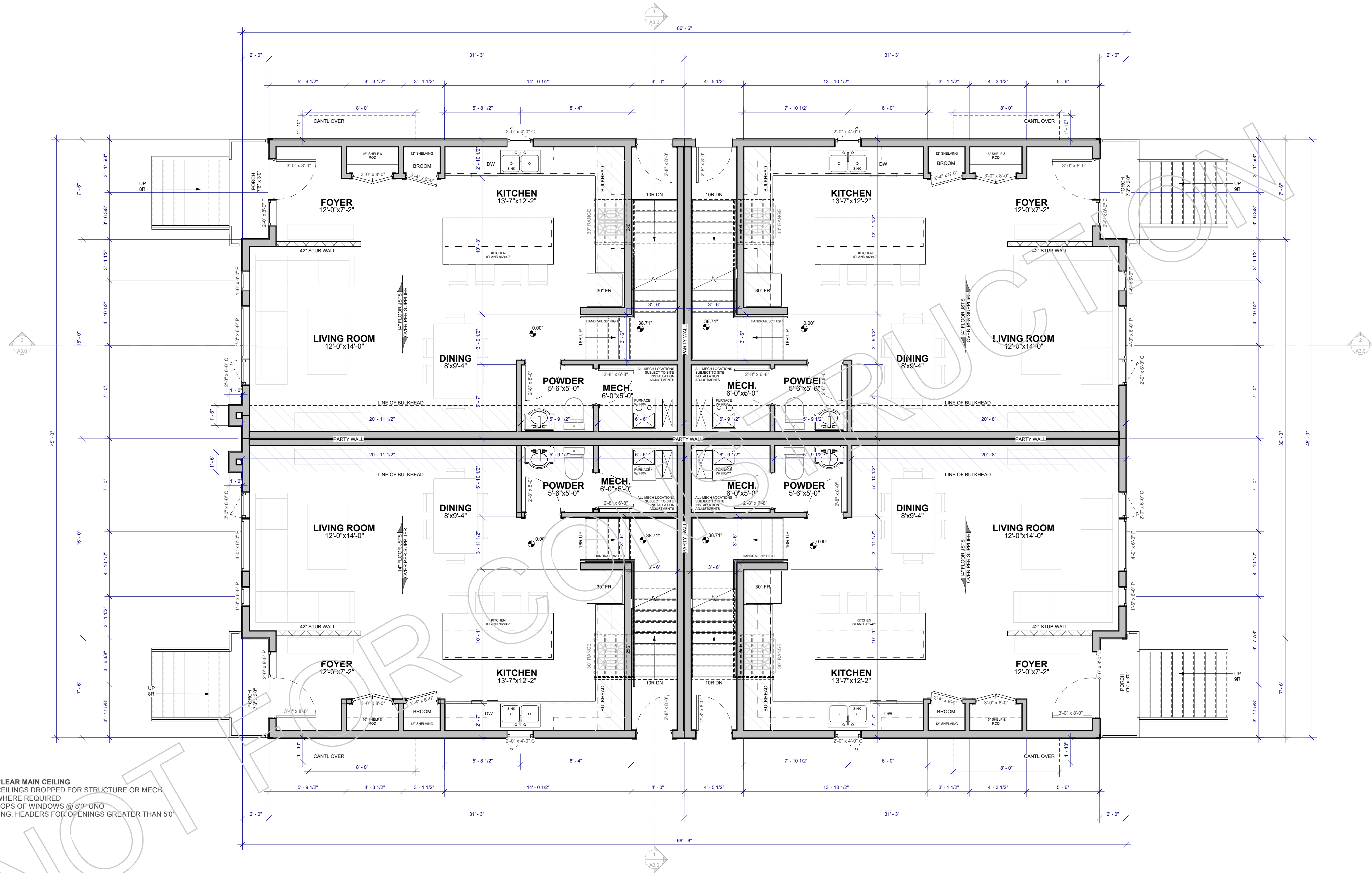
DEVELOPMENT PERMIT

BASEMENT PLAN

A1.0a



- 9'1 1/8" CLEAR MAIN CEILING
- CEILINGS DROPPED FOR STRUCTURE OR MECH WHERE REQUIRED
- TOPS OF WINDOWS @ 6" UNO
- ENG. HEADERS FOR OPENINGS GREATER THAN 50"



1 PROPOSED MAIN FLOOR PLAN
1:48

SQUARE FOOTAGE...

| | |
|----------------------|------------|
| ABOVE GRADE AREA | |
| UNIT 1 - MAIN FLOOR | 694.41 SF |
| UNIT 1 - UPPER FLOOR | 671.43 SF |
| UNIT 1 - STAIRS | 61.02 SF |
| | 1426.87 SF |

| | |
|----------------------|----------|
| EXTERIOR AREA | |
| UNIT 1 - FRONT PORCH | 23.00 SF |
| | 23.00 SF |

| | |
|----------------------|-----------|
| ADDITIONAL AREAS | |
| BASEMENT SUITE | 588.36 SF |
| BASEMENT SUITE ENTRY | 38.71 SF |
| | 627.07 SF |

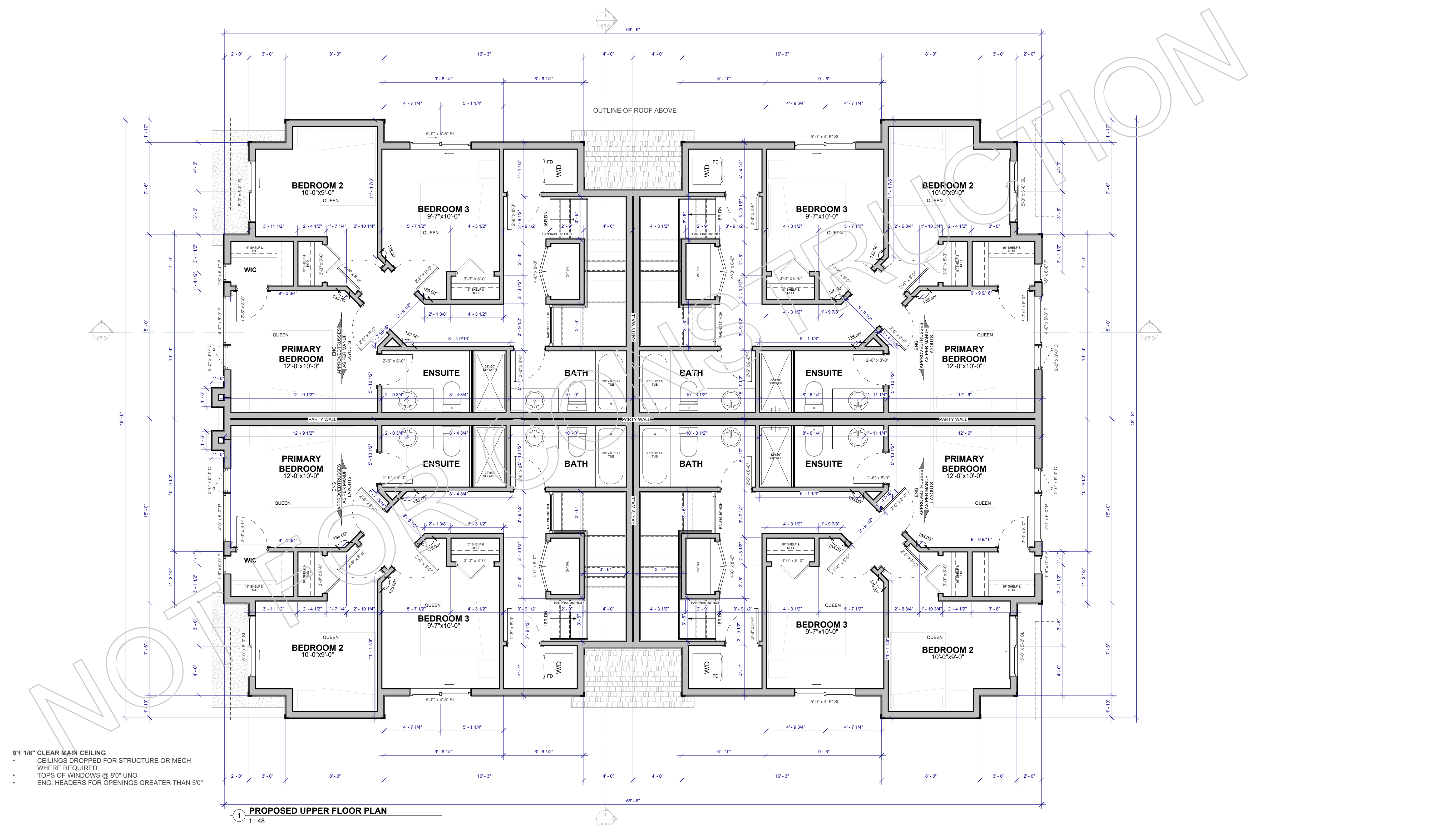
| | |
|-------------------|----------|
| ADDITIONAL AREAS | |
| SHARED MECHANICAL | 71.25 SF |
| | 71.25 SF |

| | |
|------------------|-----------|
| ADDITIONAL AREAS | |
| 4 CAR GARAGE | 871.25 SF |
| | 871.25 SF |

PROJECT INFO
CLIENT/PROJECT: VARSITY MULTI-FAMILY DWELLING
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CIVIC ADDRESS: 4229 VOYAGEUR LANE NW

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| REVISION HISTORY | DATE |
|--------------------------|-------|
| RB - FLOOR PLANS | 10.17 |
| RB - DESIGN PRESENTATION | 10.24 |
| LG - DEVELOPMENT PERMIT | 11.21 |
| SV - DR1 | 01.30 |



- 9'1 1/8" CLEAR MAIN CEILING
- CEILINGS DROPPED FOR STRUCTURE OR MECH WHERE REQUIRED
- TOPS OF WINDOWS @ 8'0" UNO
- ENG. HEADERS FOR OPENINGS GREATER THAN 5'0"

1 PROPOSED UPPER FLOOR PLAN
1:48

SQUARE FOOTAGE...

| | |
|----------------------|------------|
| ABOVE GRADE AREA | |
| UNIT 1 - MAIN FLOOR | 694.41 SF |
| UNIT 1 - UPPER FLOOR | 671.43 SF |
| UNIT 1 - STAIRS | 61.02 SF |
| UNIT 1 - STAIRS | 1426.87 SF |
| EXTERIOR AREA | |
| UNIT 1 - FRONT PORCH | 23.00 SF |
| UNIT 1 - FRONT PORCH | 23.00 SF |
| ADDITIONAL AREAS | |
| BASEMENT SUITE | 588.36 SF |
| BASEMENT SUITE ENTRY | 38.71 SF |
| BASEMENT SUITE ENTRY | 627.07 SF |
| ADDITIONAL AREAS | |
| SHARED MECHANICAL | 71.25 SF |
| SHARED MECHANICAL | 71.25 SF |
| ADDITIONAL AREAS | |
| 2 CAR GARAGE | 871.25 SF |
| 2 CAR GARAGE | 871.25 SF |

| | | |
|-------------------------------|-------------------------------|-------|
| PROJECT INFO | | |
| CLIENT/PROJECT: | VARSITY MULTI-FAMILY DWELLING | |
| LEGAL ADDRESS: | Lot 7, Block 8, Plan 3473 JK | |
| CIVIC ADDRESS: | 4229 VOYAGEUR LANE NW | |
| DRAWING INFORMATION | | |
| STATUS: | DEVELOPMENT PERMIT | |
| PROJECT LEAD: | LEAD DESIGNER | |
| CHECKED BY: | CHECKER | |
| SCALE: | 1:48 | |
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| REVISION HISTORY | | |
| RB | FLOOR PLANS | 10.17 |
| RB | DESIGN PRESENTATION | 10.24 |
| LG | DEVELOPMENT PERMIT | 11.21 |
| SV | DR1 | 01.30 |

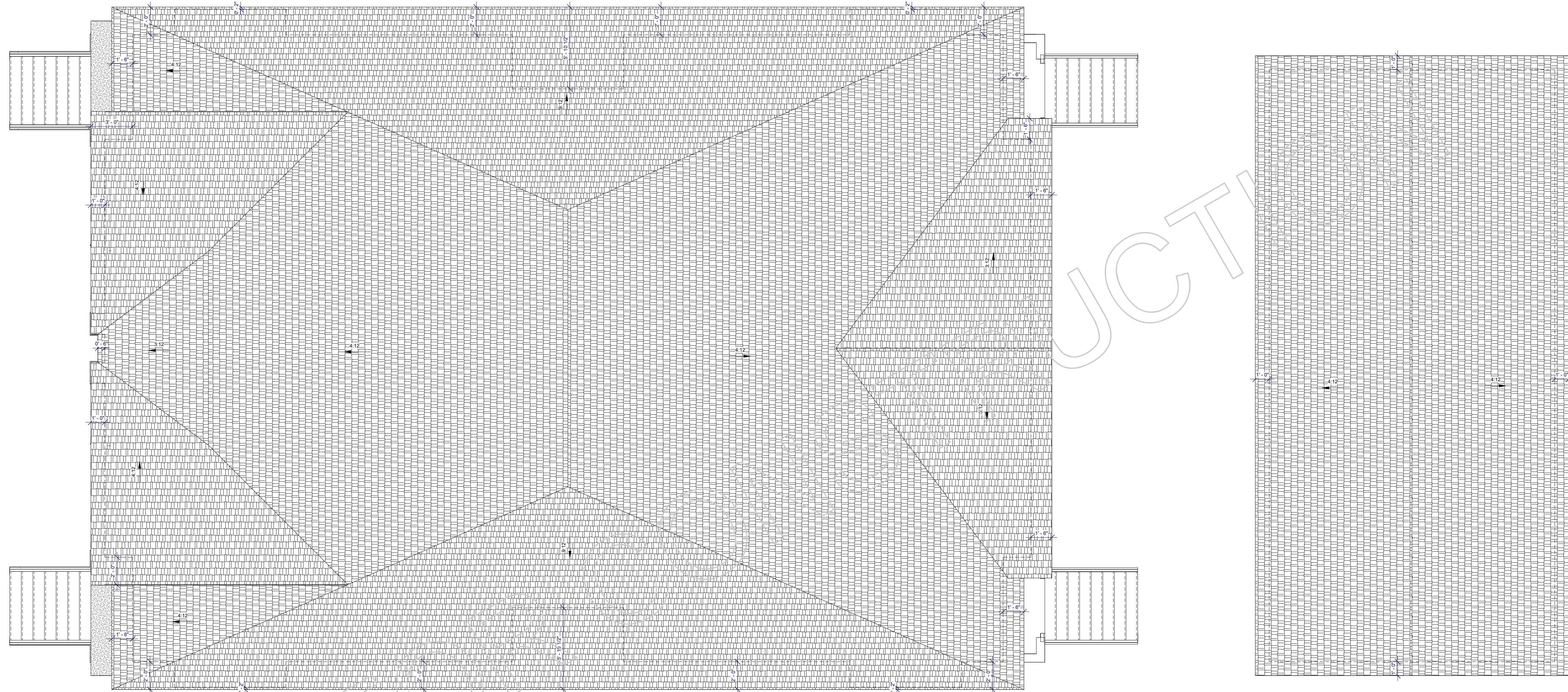
BUILDER:

BUILDER
LOGO

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1 ROOF PLAN
1:48

SQUARE FOOTAGE...

| | |
|----------------------|------------|
| ABOVE GRADE AREA | |
| UNIT 1 - MAIN FLOOR | 694.41 SF |
| UNIT 1 - UPPER FLOOR | 671.43 SF |
| UNIT 1 - STAIRS | 61.02 SF |
| UNIT 1 - STAIRS | 1428.87 SF |

| | |
|----------------------|----------|
| EXTERIOR AREA | |
| UNIT 1 - FRONT PORCH | 23.00 SF |
| | 23.00 SF |

| | |
|----------------------|-----------|
| ADDITIONAL AREAS | |
| BASEMENT SUITE | 588.36 SF |
| BASEMENT SUITE ENTRY | 38.71 SF |
| | 627.07 SF |

| | |
|--|-----------------------|
| ADDITIONAL AREAS | |
| DRIVERS MECHANICAL | 71.25 SF |
| CLIENT PROJECT - VARSITY MULTI-FAMILY DWELLING | 175.00 SF |
| ADDITIONAL AREAS | |
| 4 CAR GARAGE | 811.25 SF |
| CIVIC ADDRESS | 4229 VOYAGERS BLVD NW |

DRAWING INFORMATION

| | |
|-------------------------------|--------------------|
| STATUS: | DEVELOPMENT PERMIT |
| PROJECT LEAD: | LEAD DESIGNER |
| CHECKED BY: | CHECKER |
| SCALE: | 1:48 |
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| REVISION HISTORY | DATE |
|--------------------------|-------|
| RB - FLOOR PLANS | 10.17 |
| RB - DESIGN PRESENTATION | 10.24 |
| LG - DEVELOPMENT PERMIT | 11.21 |
| SV - DR1 | 01.30 |

ROOF PLAN

A1.3

DEVELOPMENT PERMIT

DEVELOPMENT PERMIT DECISION RENDERED ON THIS PLAN



1 FRONT/WEST ELEVATION
1:48

| UNPROTECTED OPENINGS SCHEDULE | | | | | |
|-------------------------------|-----------------------|-------------------|--------------------|-------------------------------|------|
| FACADE | EXPOSED BUILDING FACE | LIMITING DISTANCE | ALLOWABLE OPENINGS | PROPOSED UNPROTECTED OPENINGS | % |
| LEFT ELEVATION - UNIT 1 | 627.00 m ² | 1.2M | 7% | 56.00 m ² | 9.77 |
| LEFT ELEVATION - UNIT 3 | 803.00 m ² | 1.2M | 7% | 56.00 m ² | 6.97 |
| RIGHT ELEVATION - UNIT 4 | 803.00 m ² | 1.2M | 7% | 56.00 m ² | 6.97 |
| RIGHT ELEVATION - UNIT 2 | 803.00 m ² | 1.2M | 7% | 56.00 m ² | 6.97 |



2 RIGHT/SOUTH ELEVATION
1:48

- ASPHALT ARCHITECTURAL SHINGLES
NO CAMBRIDGE (OR EQUIVALENT)
CHARCOAL GREY
- ALUMINUM-CLAD VINYL WINDOWS
LUX WINDOWS & DOORS (OR EQUIVALENT)
BLACK
- VERTICAL WOOD-LOOK SIDING (FIBRE CEMENT)
HARDIE ARCHITECTURAL COLLECTION - V-GROOVE (OR EQUIVALENT)
RICH TIMBER / WARM CEDAR TONE
- FIBRE CEMENT SIDING
HARDIE ARCHITECTURAL COLLECTION (OR EQUIVALENT)
VERTICAL PANEL / BOARD & BATTEN STYLE
AGED PEWTER (MEDIUM WARM GREY)
- FIBRE CEMENT LAP SIDING
JAMES HARDIE - HARDEPLANK
LIGHT MIST / ARCTIC WHITE (LIGHT NEUTRAL GREY)
- OUTDOOR LIGHTING 5000K
DOWNWARDS DIRECTIONAL
PATH LIGHTING MOUNTED 70"
ABOVE MAIN
- FIBREGLASS ENTRY DOORS
MASONITE (OR EQUIVALENT)
BLACK
- METAL PROJECT RAILING
POWDERCOAT FINISH
MATTE BLACK
- SMOOTH CAST CONCRETE
NATURAL GREY (UNPAINTED)
- ALUMINUM-CLAD VINYL WINDOWS
LUX WINDOWS & DOORS (OR EQUIVALENT)
BLACK

PROJECT INFO

CLIENT/PROJECT: VARSITY MULTI-FAMILY DWELLING

LEGAL ADDRESS: Lot 7, Block 8, Plan 3473, JK

CIVIC ADDRESS: 4228 VOYAGEUR LANE NW

DRAWING INFORMATION

STATUS: DEVELOPMENT PERMIT

PROJECT LEAD: LEAD DESIGNER

CHECKED BY: CHECKER

SCALE: 1:48

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REVISION HISTORY

| | | |
|----|------------------------|-------|
| RB | RB FLOOR PLANS | 10.17 |
| RB | RB DESIGN PRESENTATION | 10.24 |
| LG | LG DEVELOPMENT PERMIT | 11.21 |
| SV | SV DR1 | 01.30 |

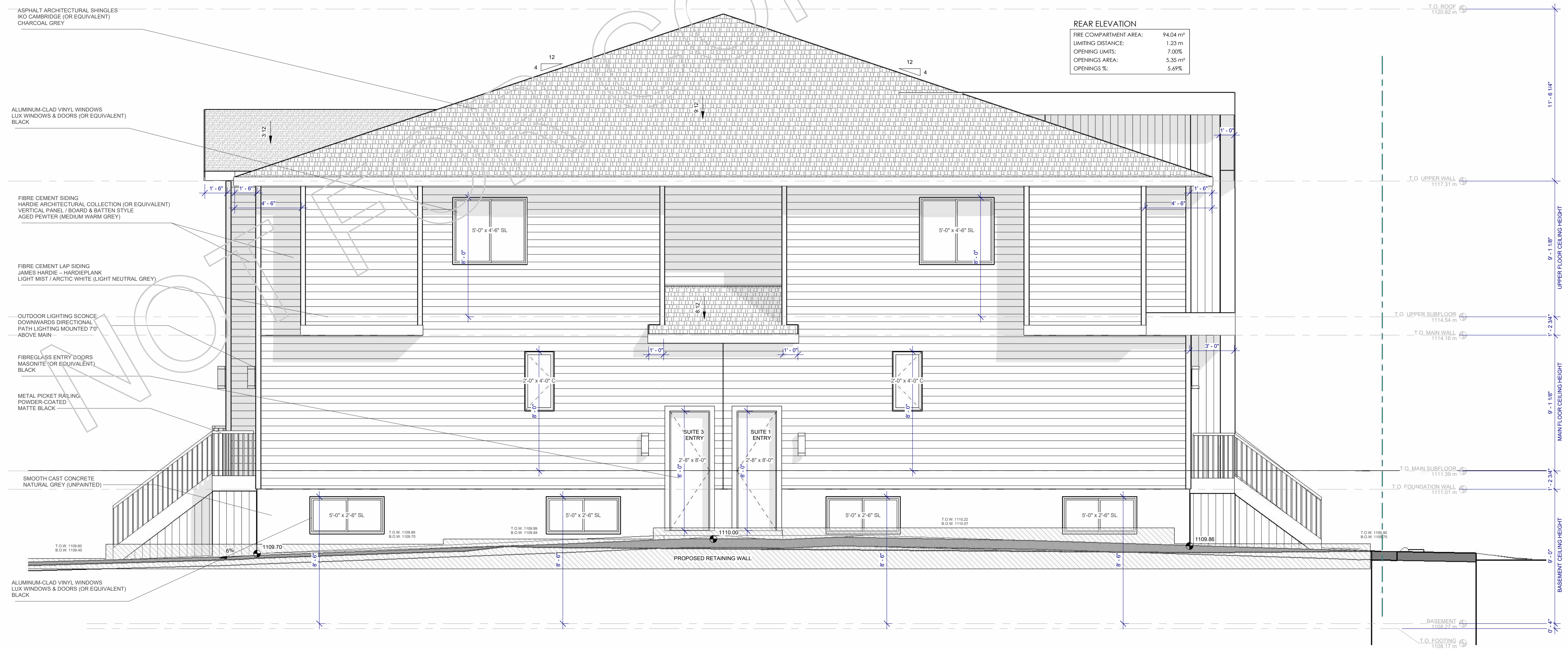
DEVELOPMENT PERMIT
ELEVATIONS

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN



REAR/EAST ELEVATION
1:48

| UNPROTECTED OPENINGS SCHEDULE | | | | | |
|-------------------------------|-----------------------|-------------------|--------------------|-------------------------------|------|
| FACADE | EXPOSED BUILDING FACE | LIMITING DISTANCE | ALLOWABLE OPENINGS | PROPOSED UNPROTECTED OPENINGS | % |
| LEFT ELEVATION - UNIT 1 | 627.00 m ² | 1.2M | 7% | 56.00 m ² | 8.77 |
| LEFT ELEVATION - UNIT 3 | 803.00 m ² | 1.2M | 7% | 56.00 m ² | 6.97 |
| RIGHT ELEVATION - UNIT 4 | 803.00 m ² | 1.2M | 7% | 56.00 m ² | 6.97 |
| RIGHT ELEVATION - UNIT 2 | 803.00 m ² | 1.2M | 7% | 56.00 m ² | 6.97 |



LEFT/NORTH ELEVATION
1:48

PROJECT INFO

CLIENT/PROJECT: VARSITY MULTI-FAMILY DWELLING
LEGAL ADDRESS: Lot 7, Block 8, Plan 3473, JK
CIVIC ADDRESS: 4228 VOYAGEUR LANE NW

DRAWING INFORMATION

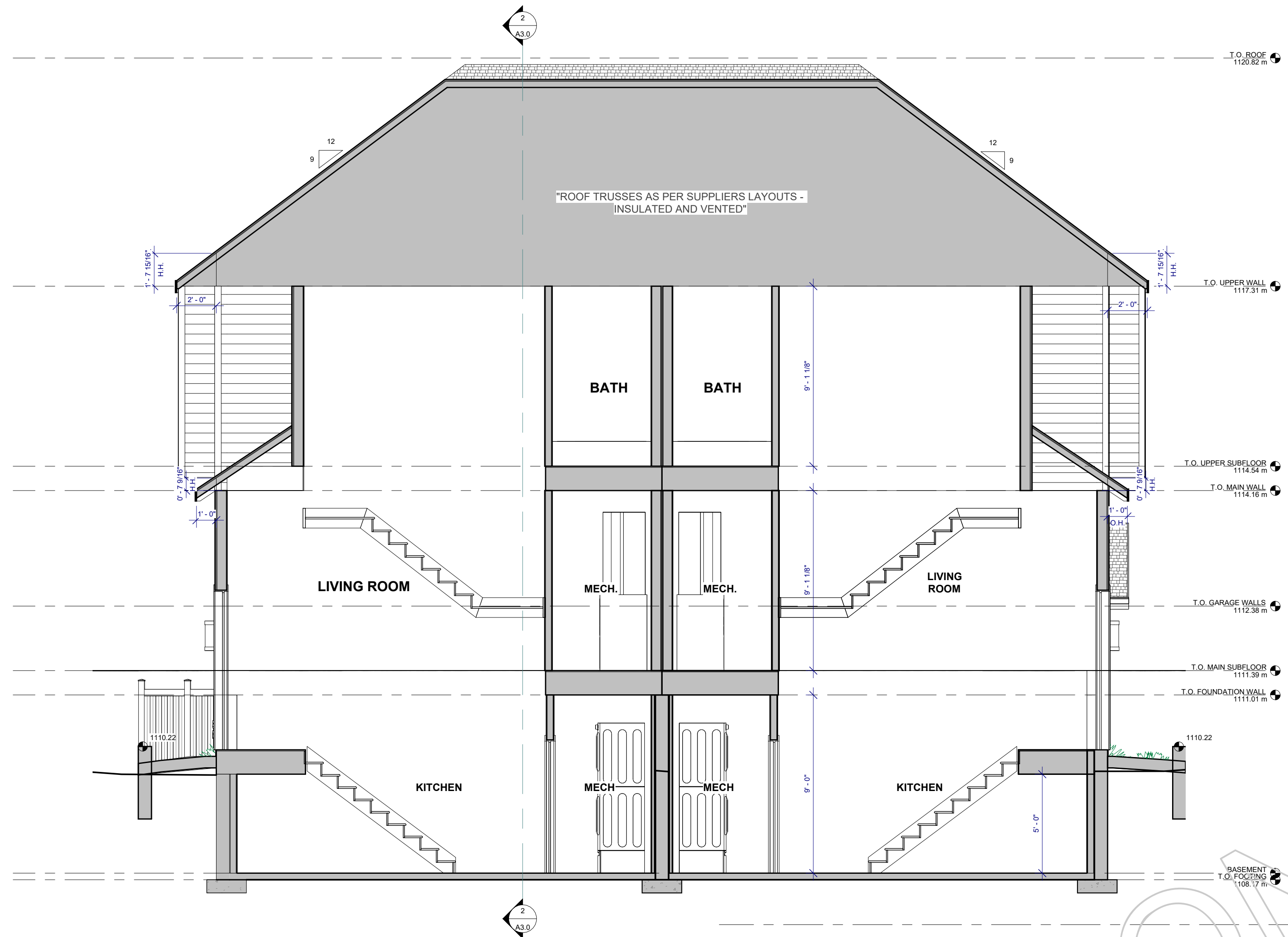
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SCALE: 1:48
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REVISION HISTORY

| REVISION HISTORY | DATE |
|------------------------|-------|
| RB FLOOR PLANS | 10.17 |
| RB DESIGN PRESENTATION | 10.24 |
| LG DEVELOPMENT PERMIT | 11.21 |
| SV DR1 | 01.30 |

DEVELOPMENT PERMIT

ELEVATIONS

A2.1



BUILDING SECTION 1
1 : 48



BUILDING SECTION 2
1 : 48

| PROJECT INFO | |
|--|-------------------------------|
| CLIENT PROJECT: | Varsity Multi-Family Dwelling |
| LEGAL ADDRESS: | Lot 7, Block 8, Plan 3473 JK |
| CIVIC ADDRESS: | 4229 VOYAGEUR LANE NW |
| DRAWING INFORMATION | |
| STATUS: | DEVELOPMENT PERMIT |
| PROJECT LEAD: | LEAD DESIGNER |
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| REVISION HISTORY | |
| NO. | DATE |
| RB | FLOOR PLANS 10.17 |
| RB | DESIGN PRESENTATION 10.24 |
| LG | DEVELOPMENT PERMIT 11.21 |
| SV | DR1 01.30 |

DEVELOPMENT PERMIT

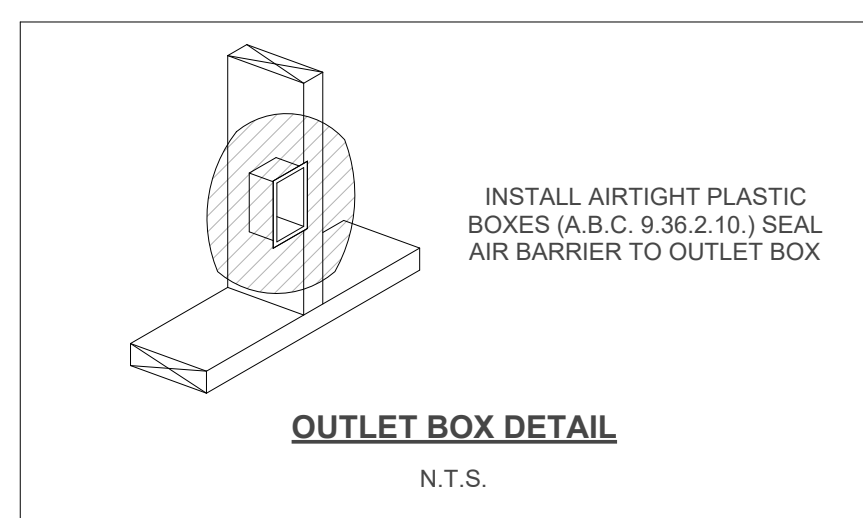
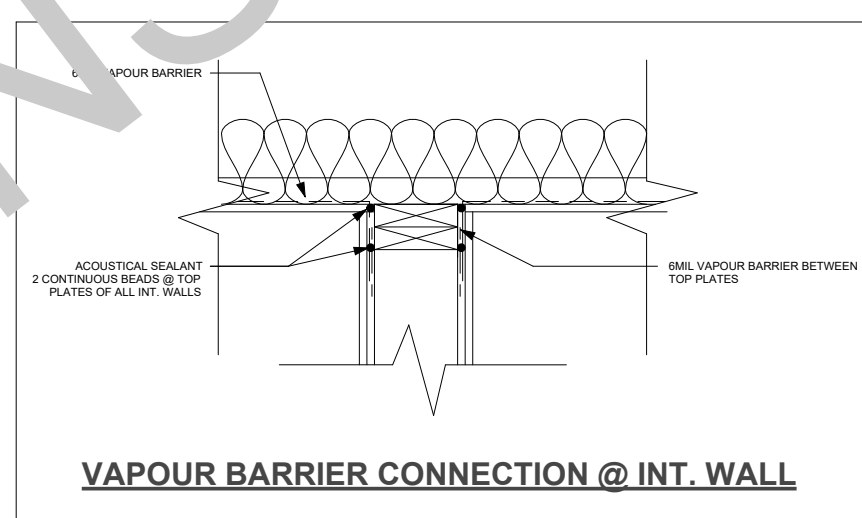
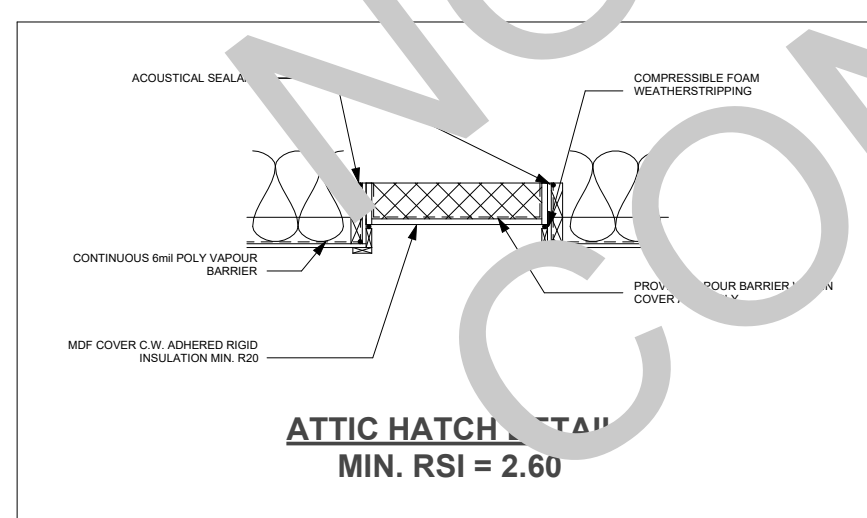
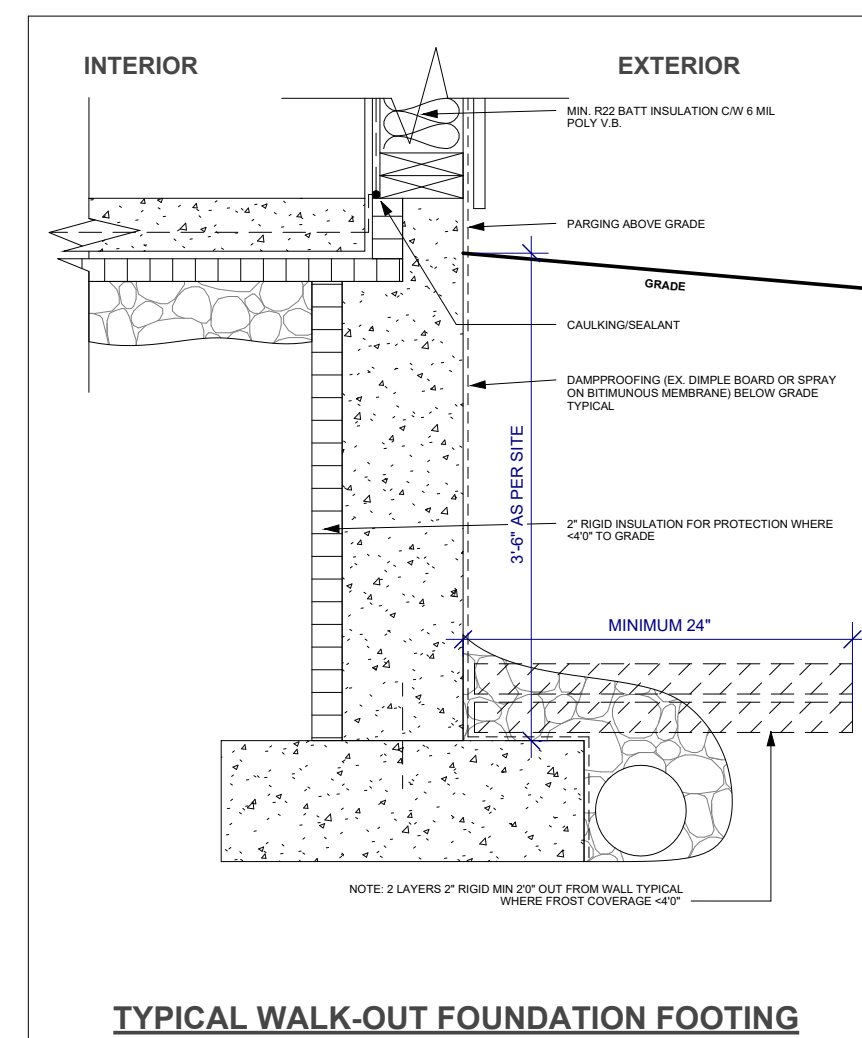
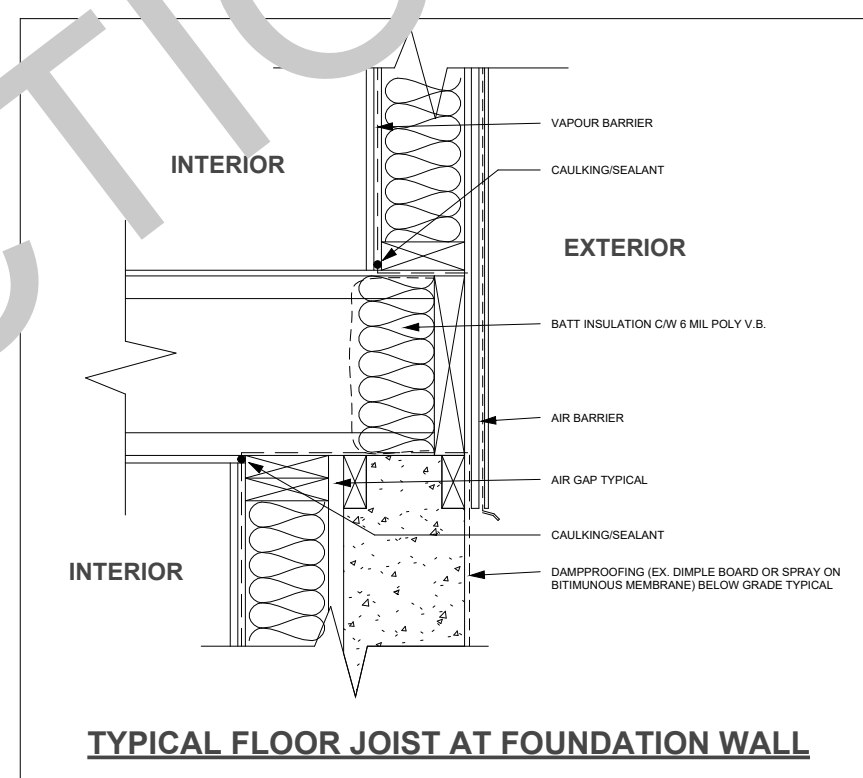
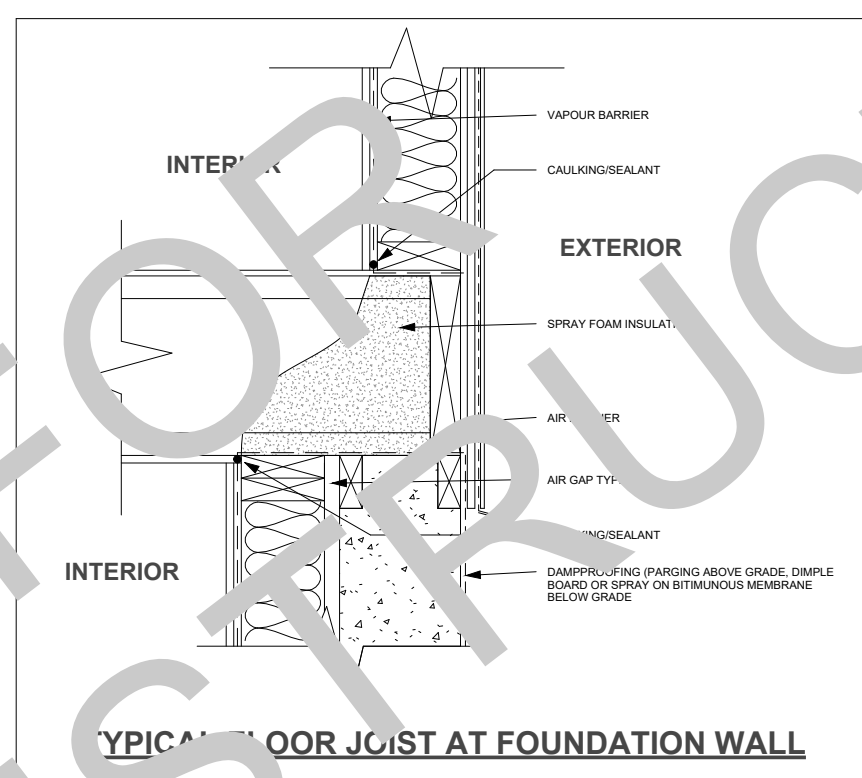
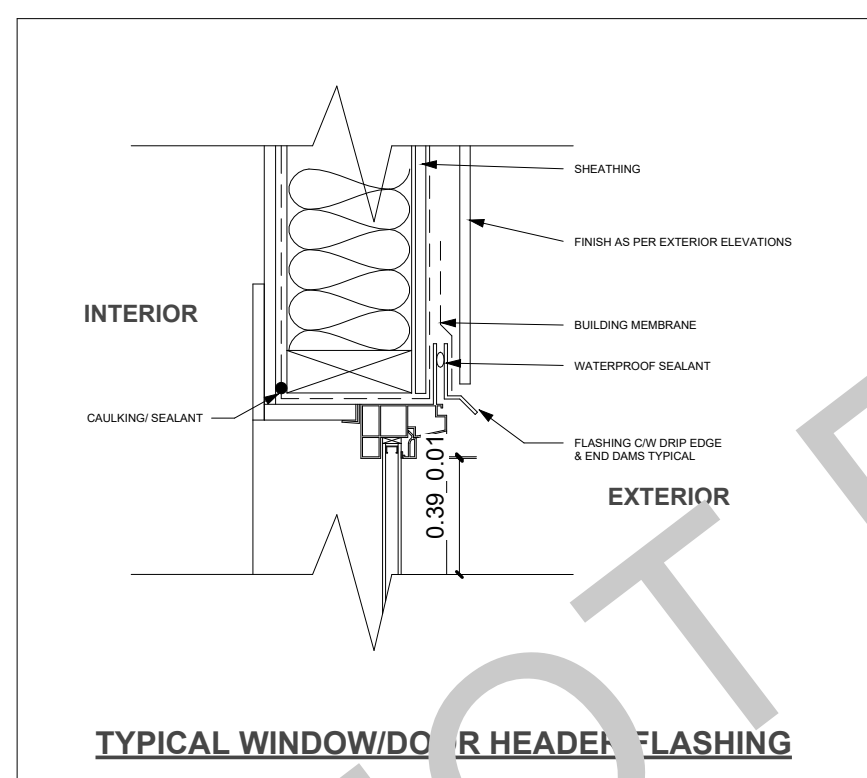
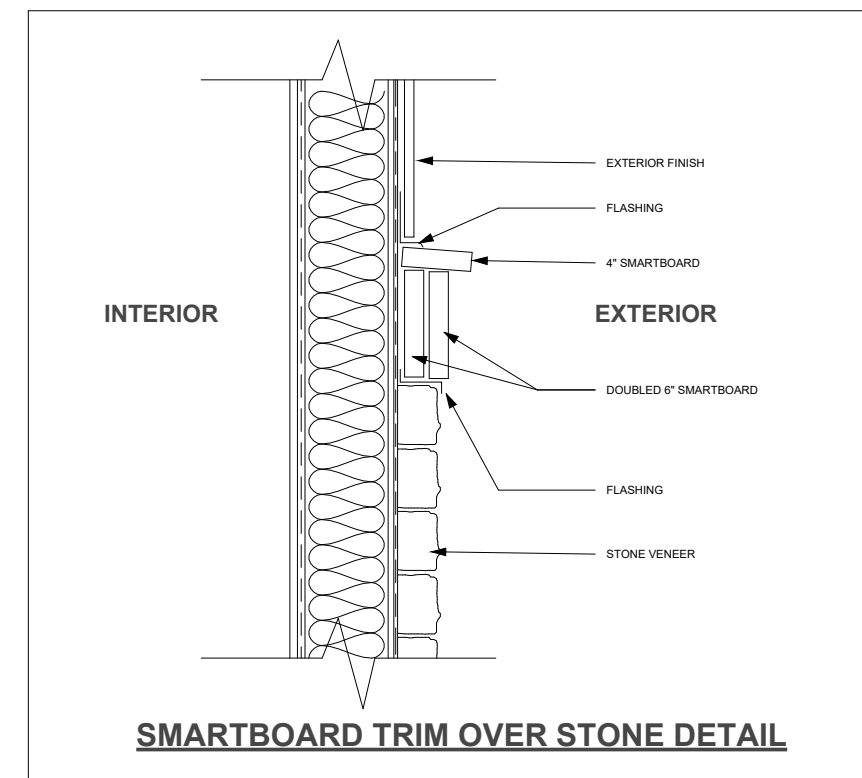
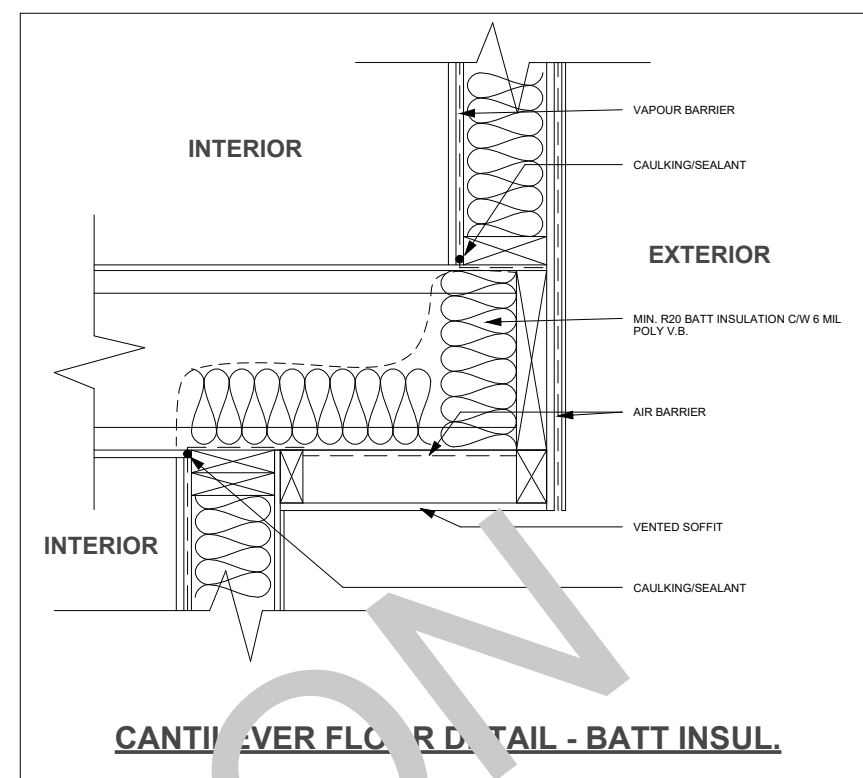
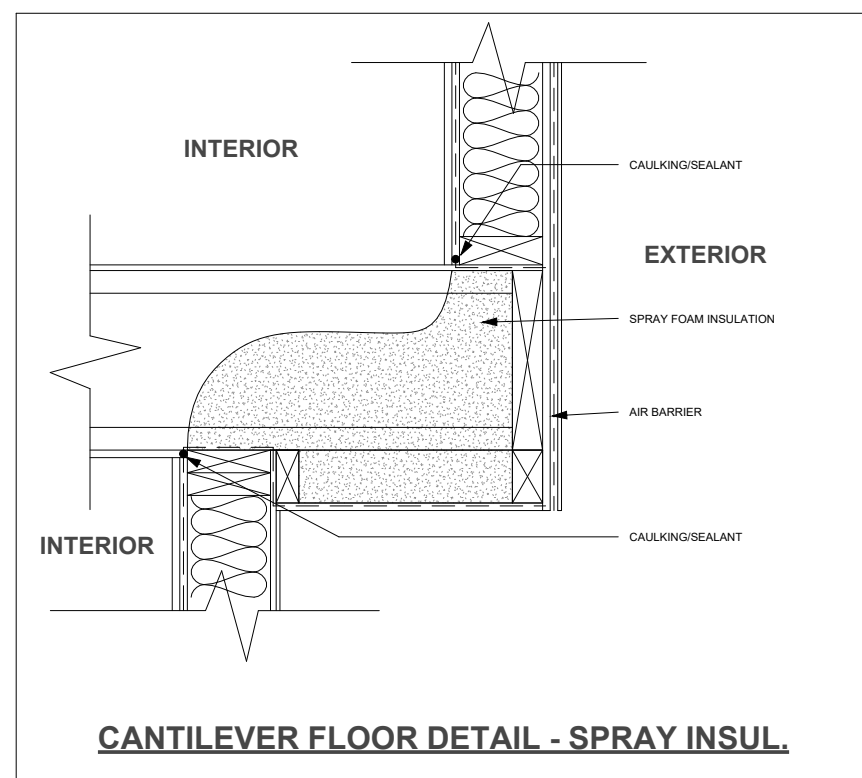
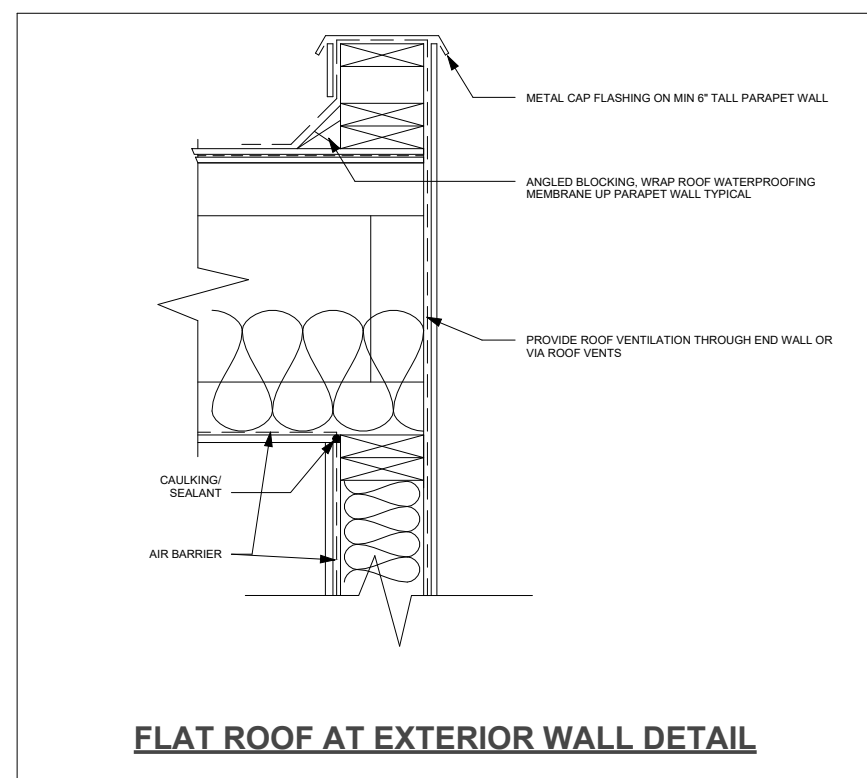
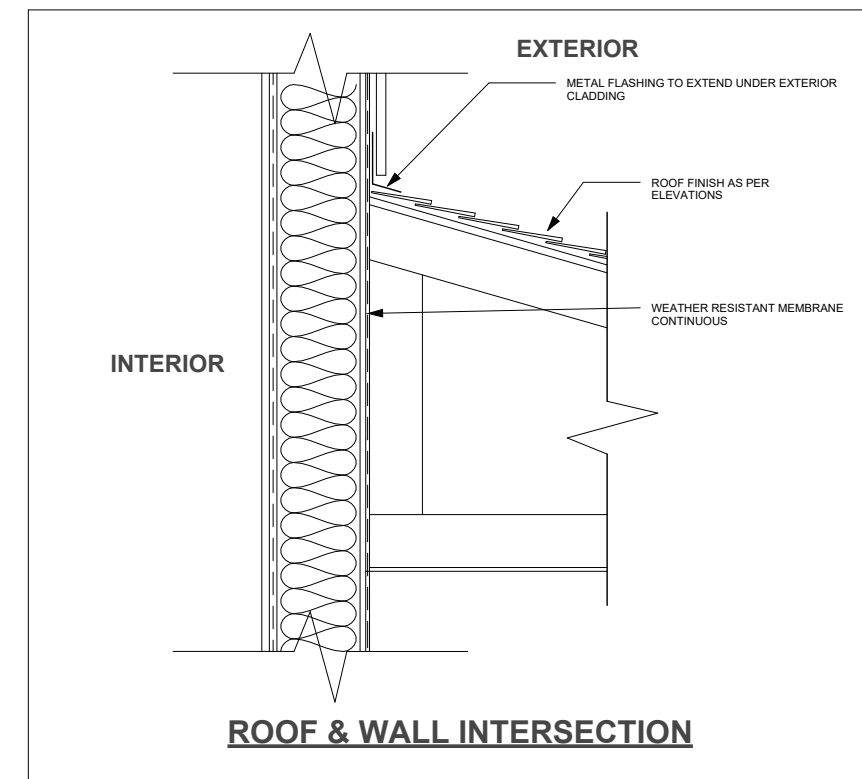
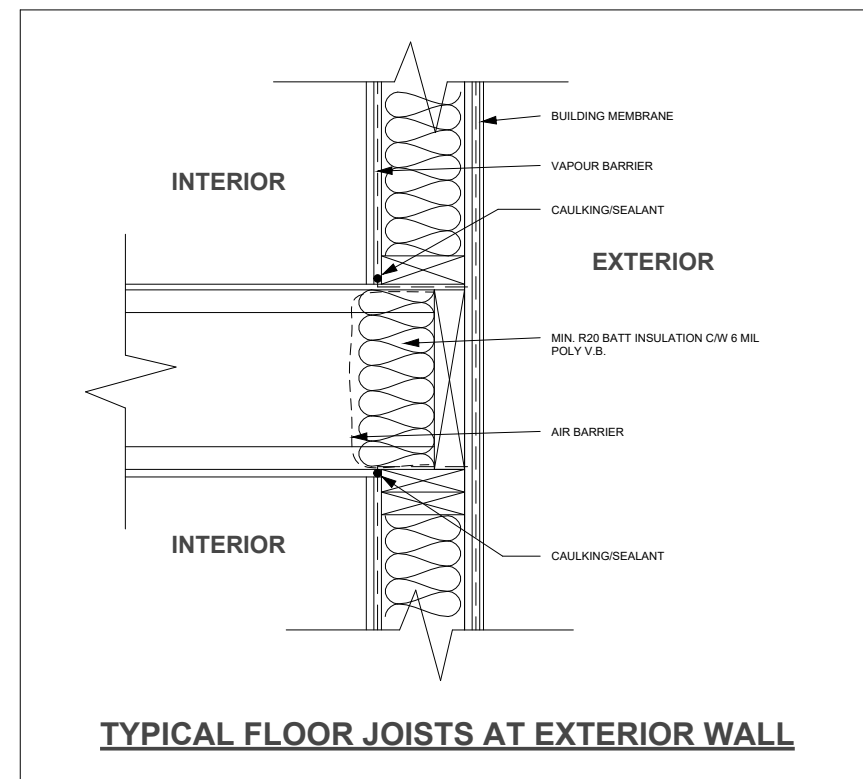
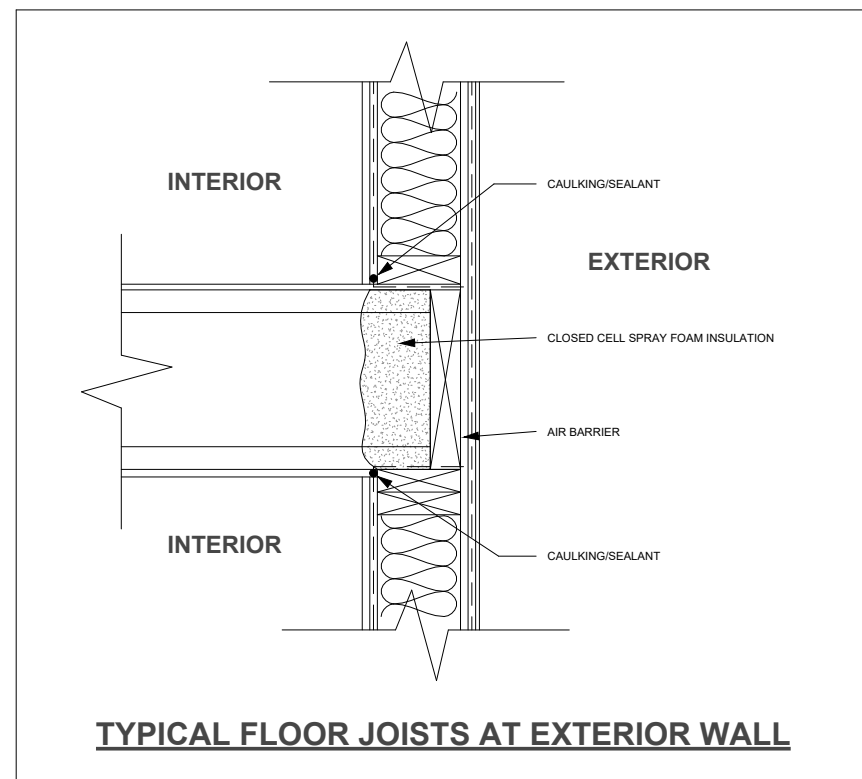
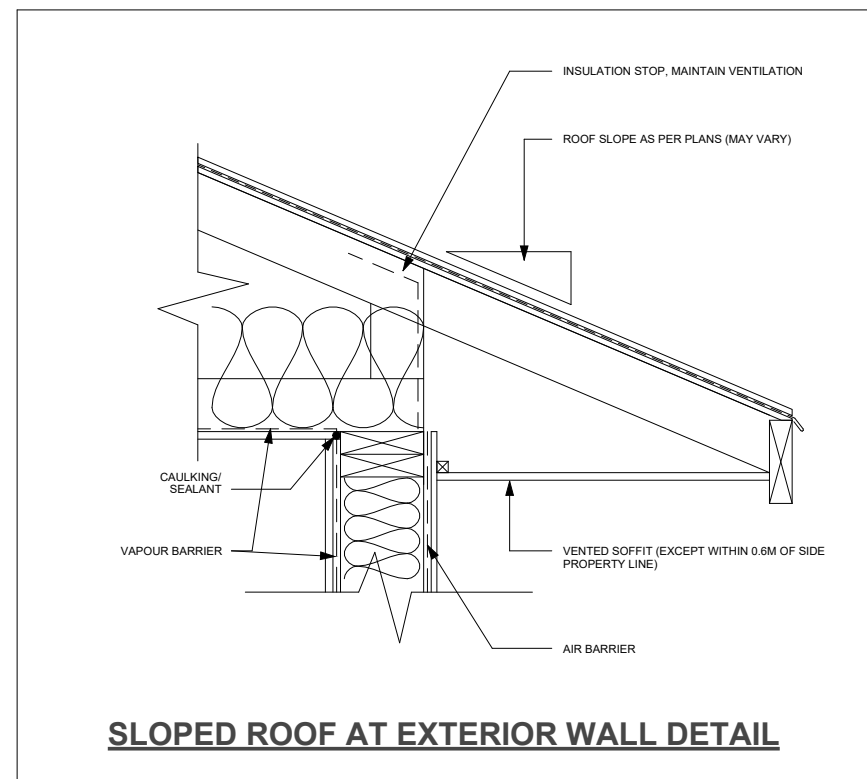
BUILDING SECTION
A3.0

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PROJECT INFO

CLIENT/PROJECT: VARSITY MULTI-FAMILY DWELLING
LEGAL ADDRESS: Lot 7, Block 8, Plan 3473 JK
CIVIC ADDRESS: 4228 VOYAGEUR LANE NW

DRAWING INFORMATION

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REVISION HISTORY

| REVISION HISTORY | DATE |
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| RB FLOOR PLANS | 10.17 |
| RB DESIGN PRESENTATION | 10.24 |
| LG DEVELOPMENT PERMIT | 11.21 |
| SV DR1 | 01.30 |

DEVELOPMENT PERMIT

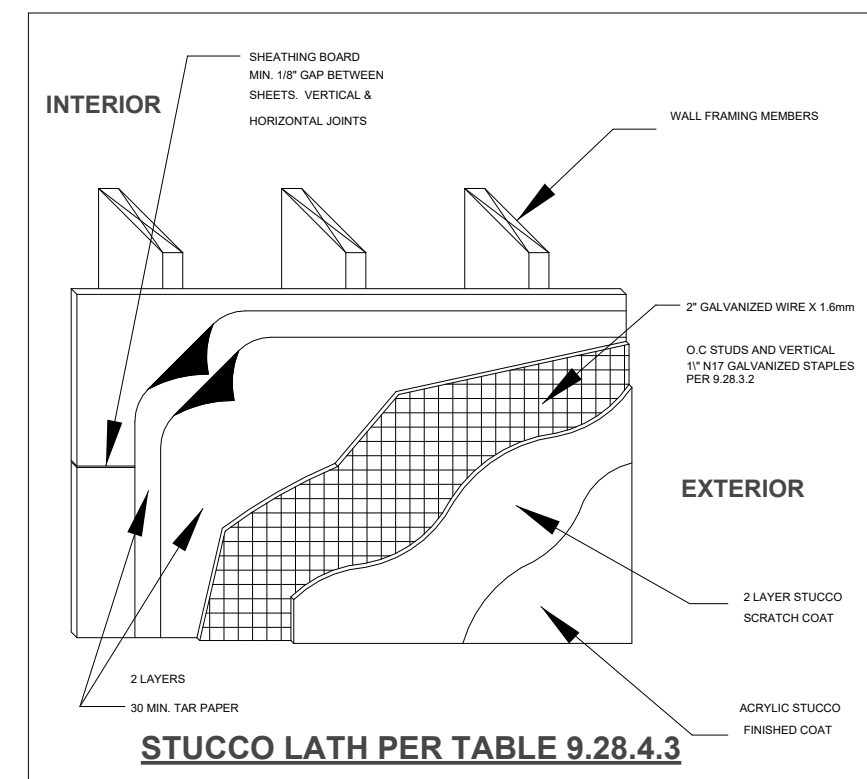
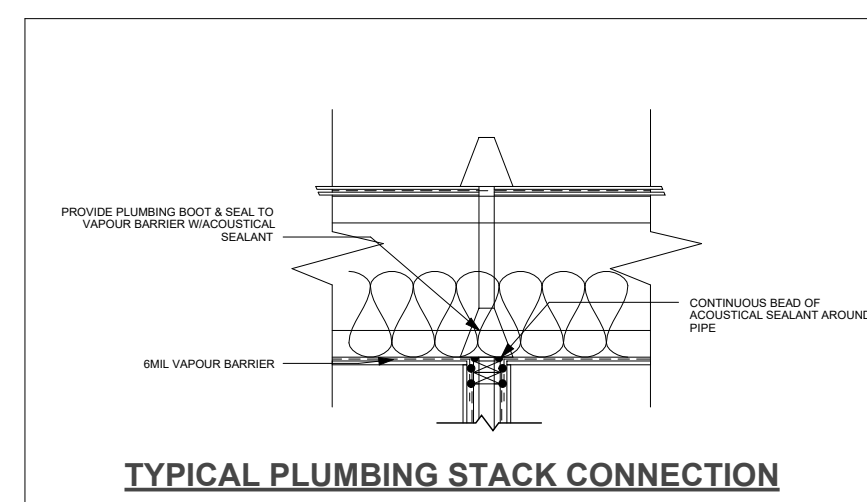
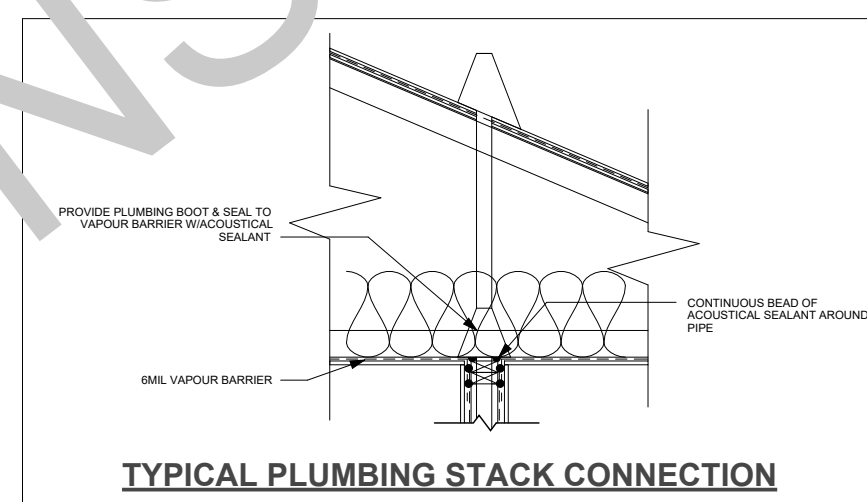
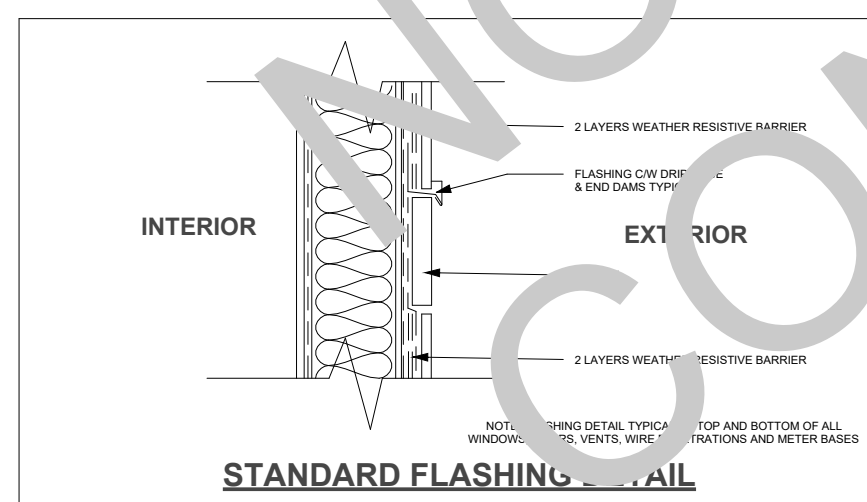
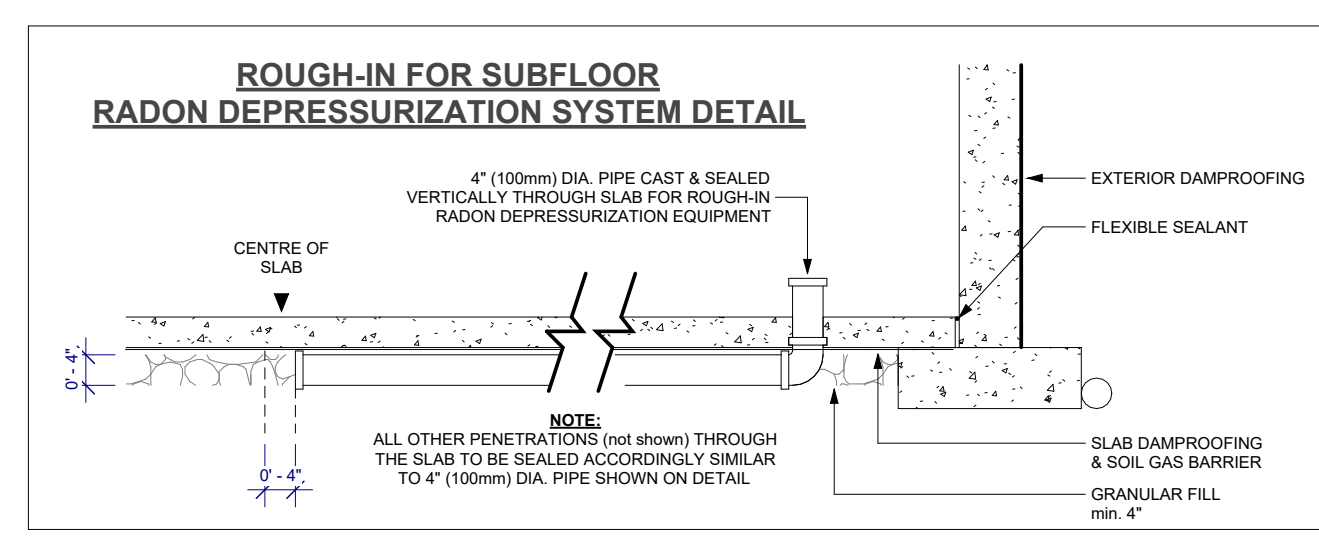
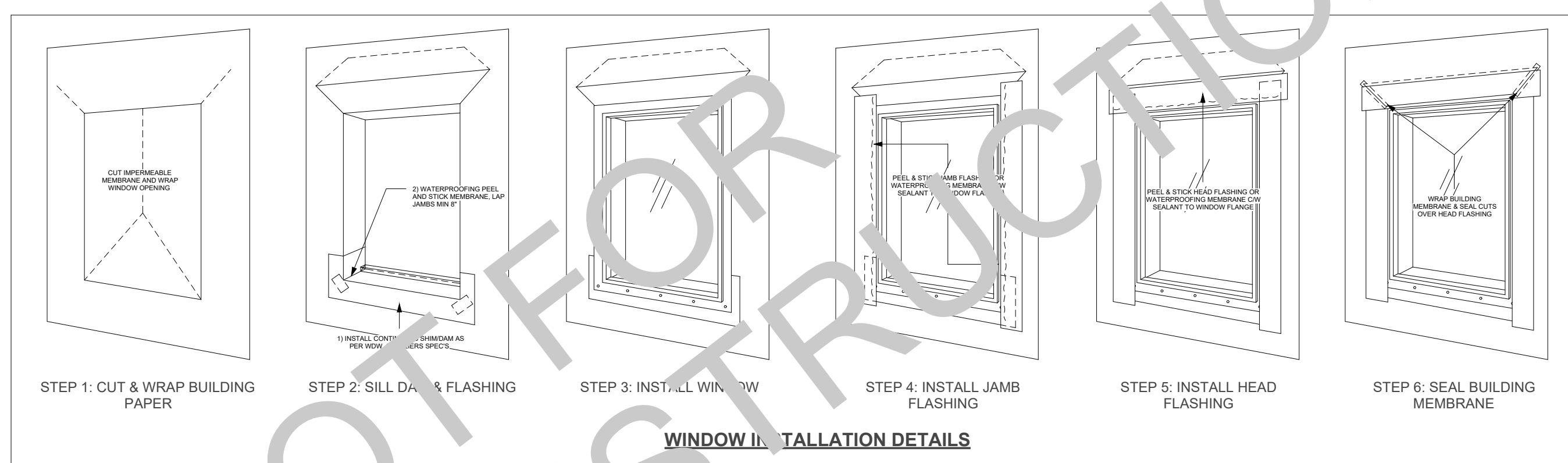
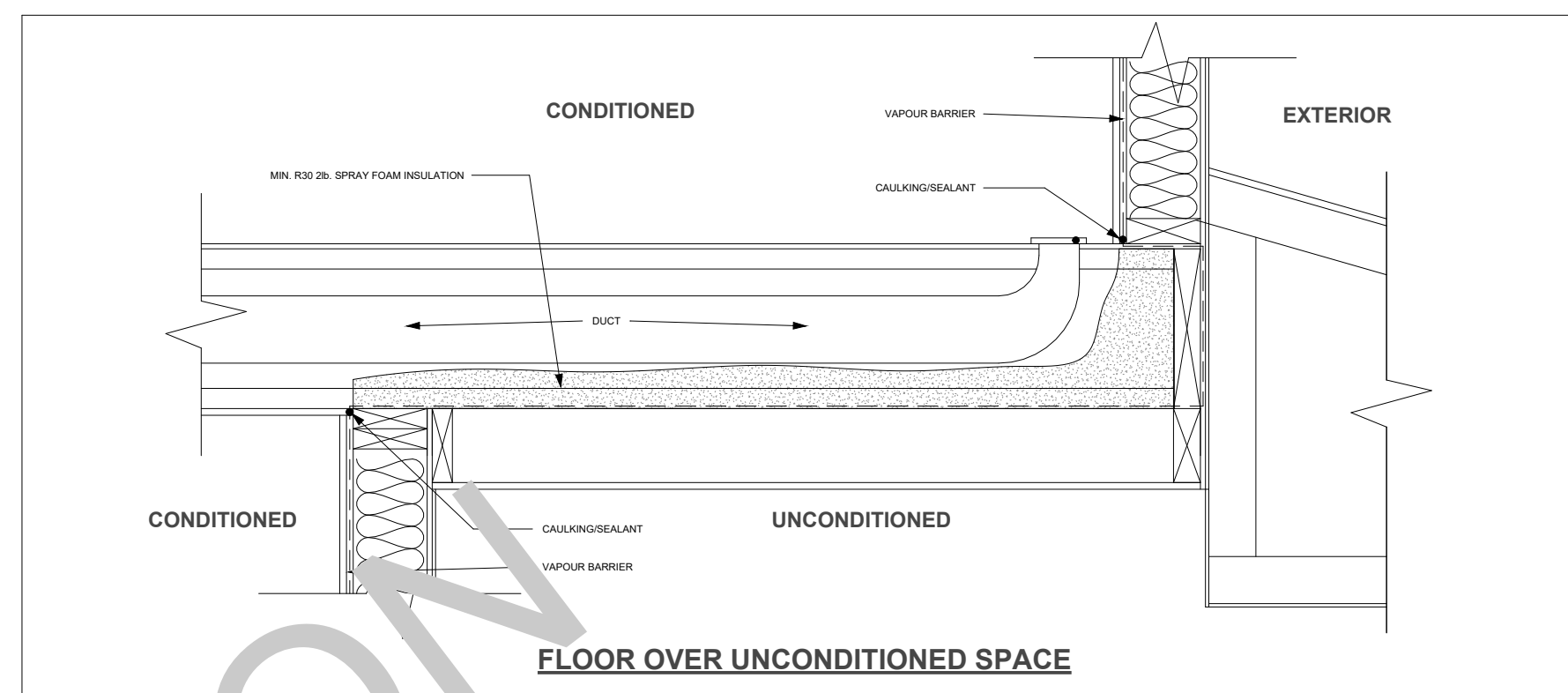
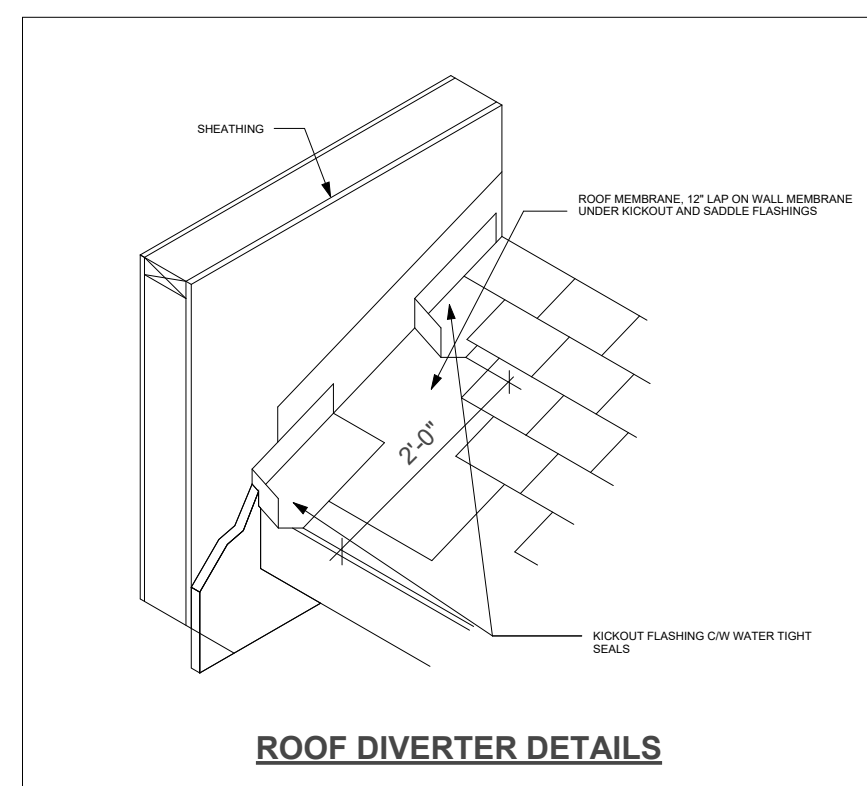
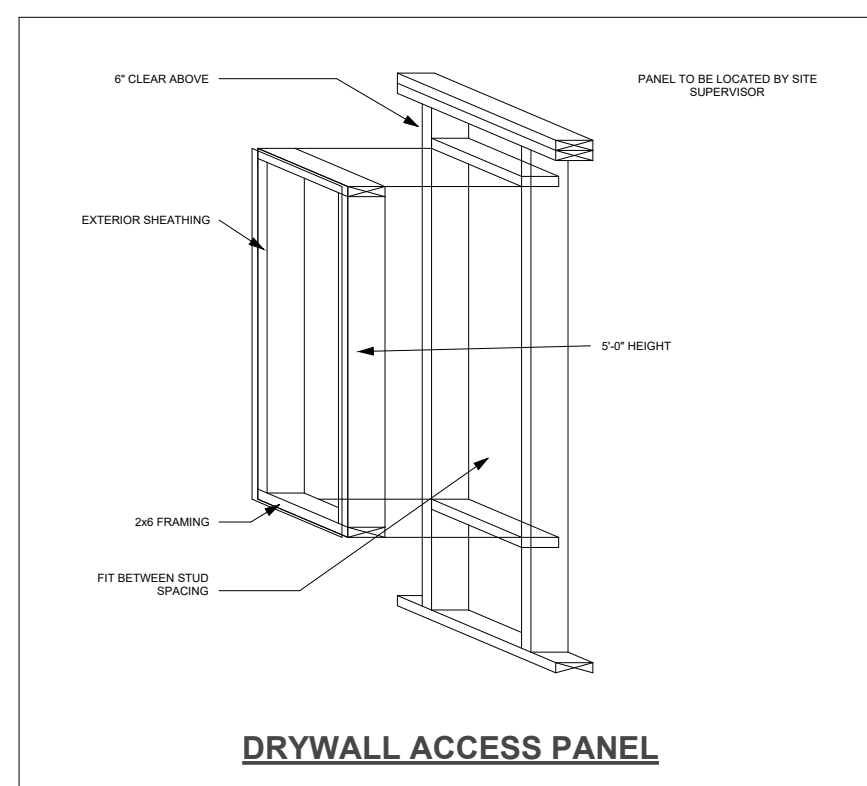
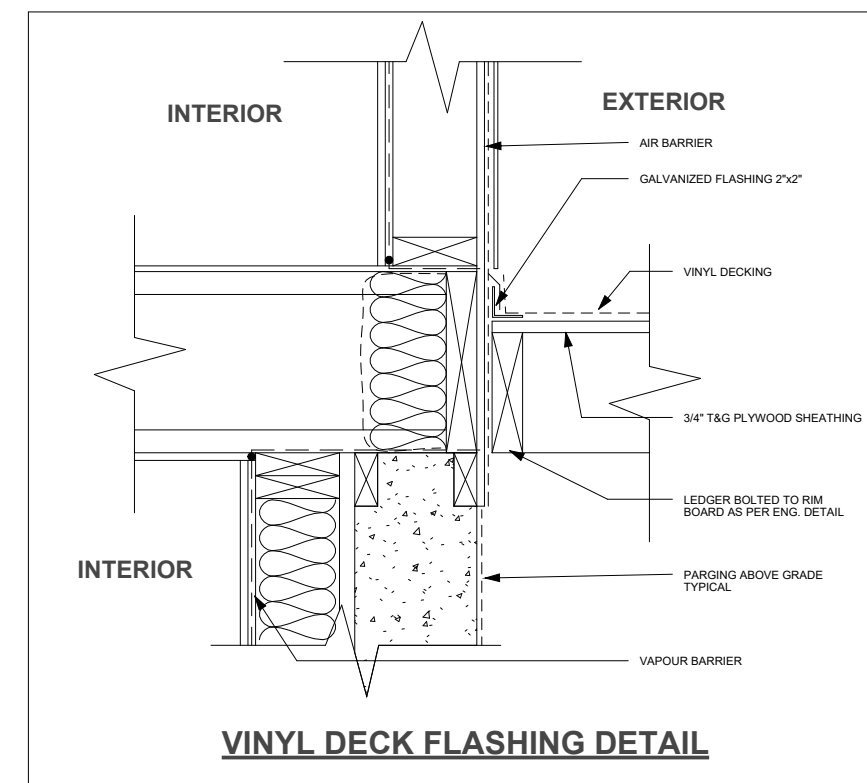
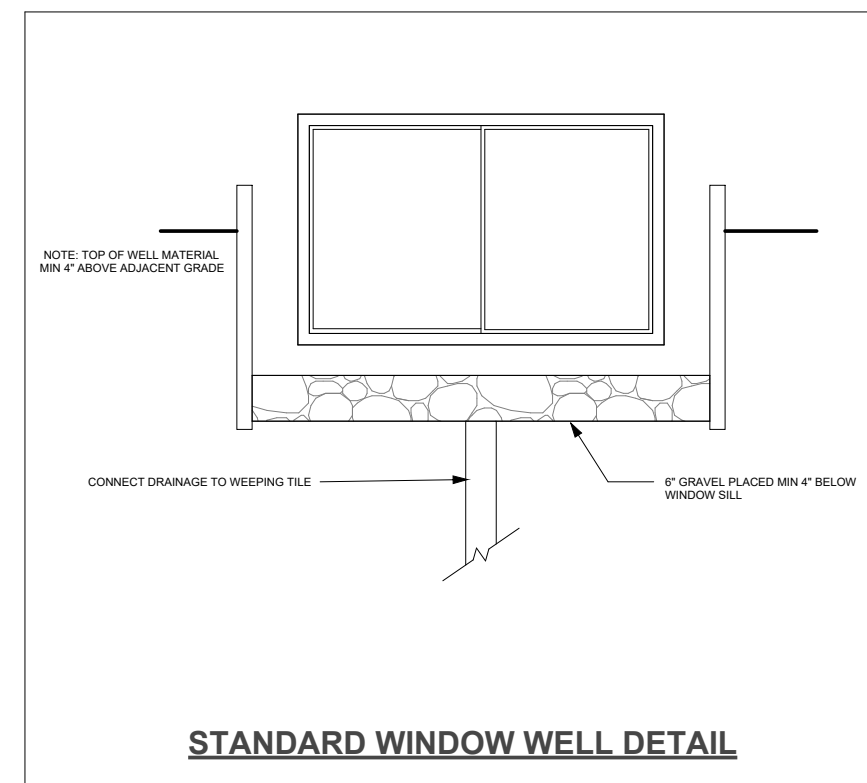
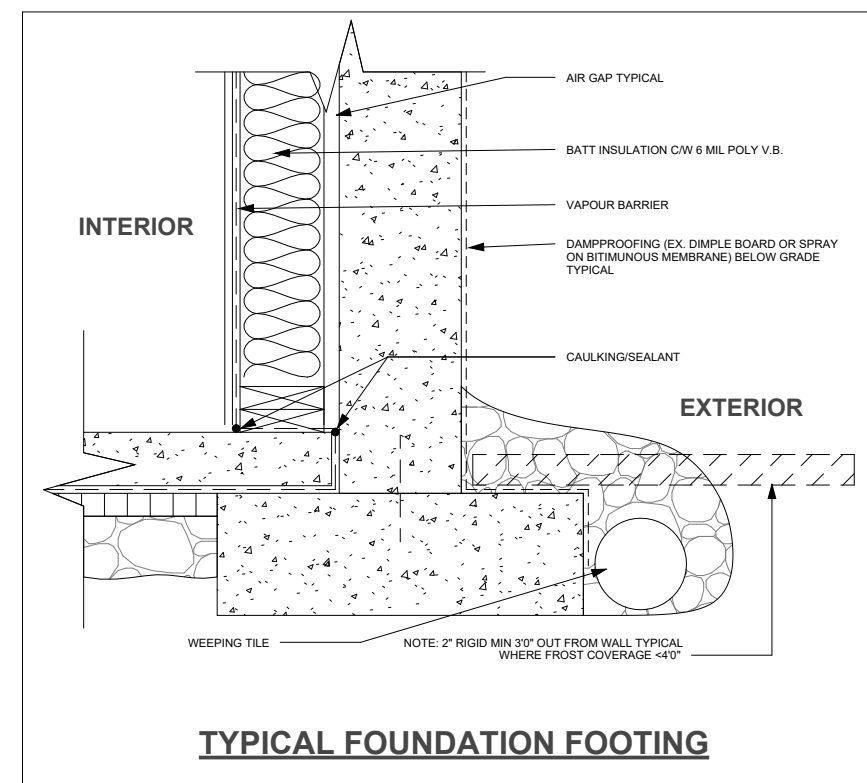
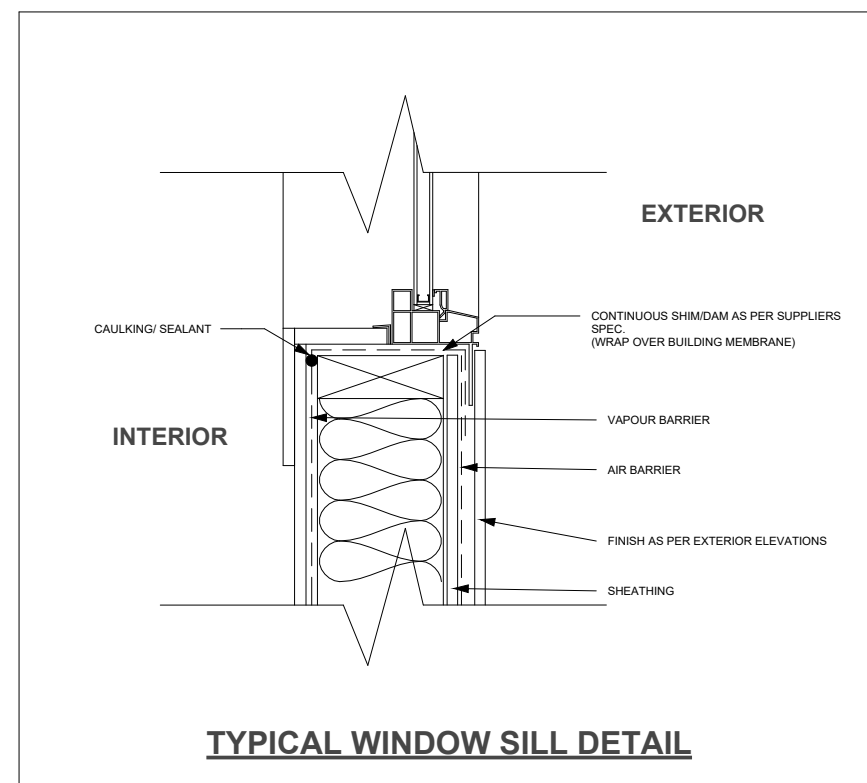
DETAILS
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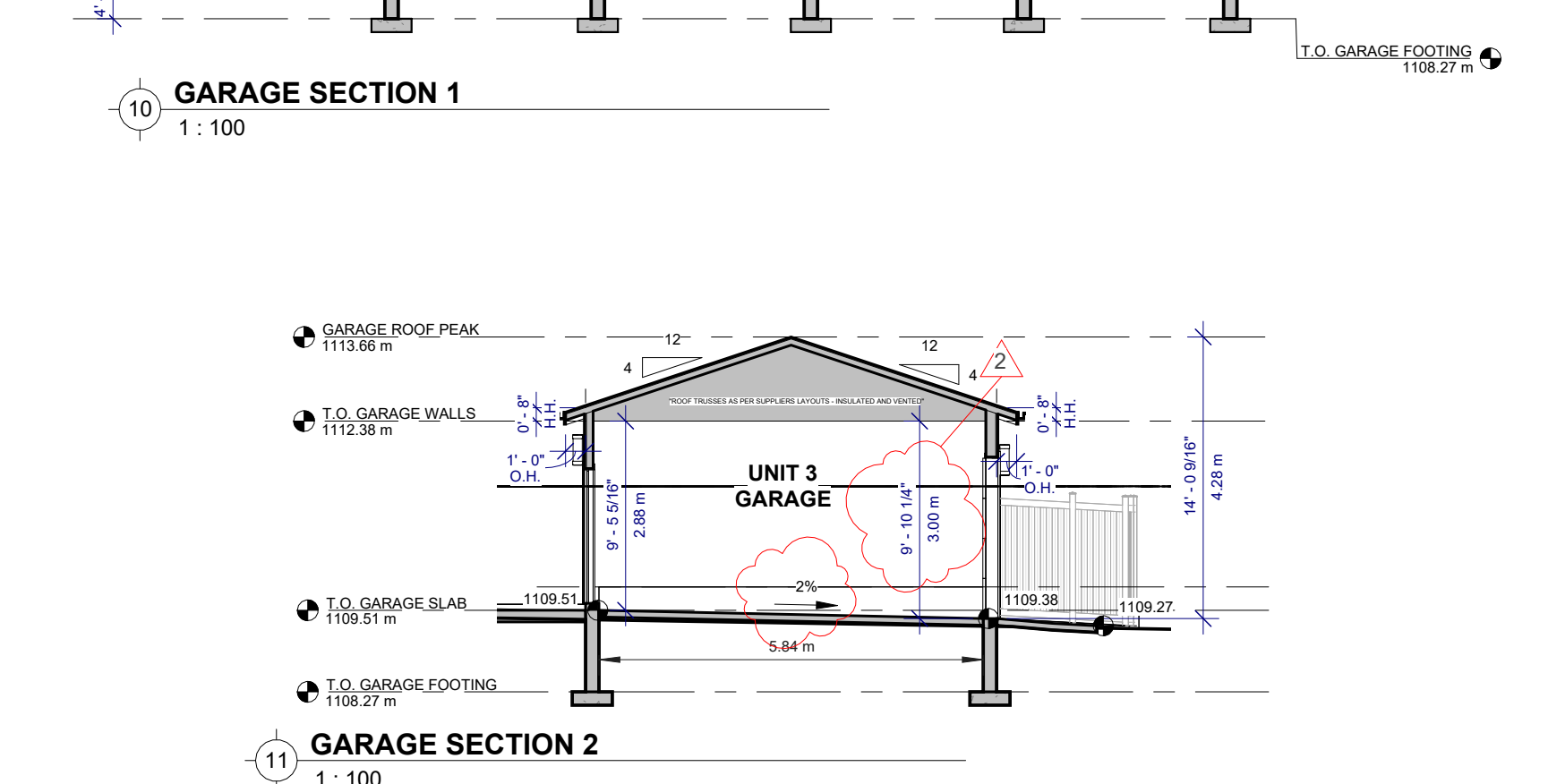
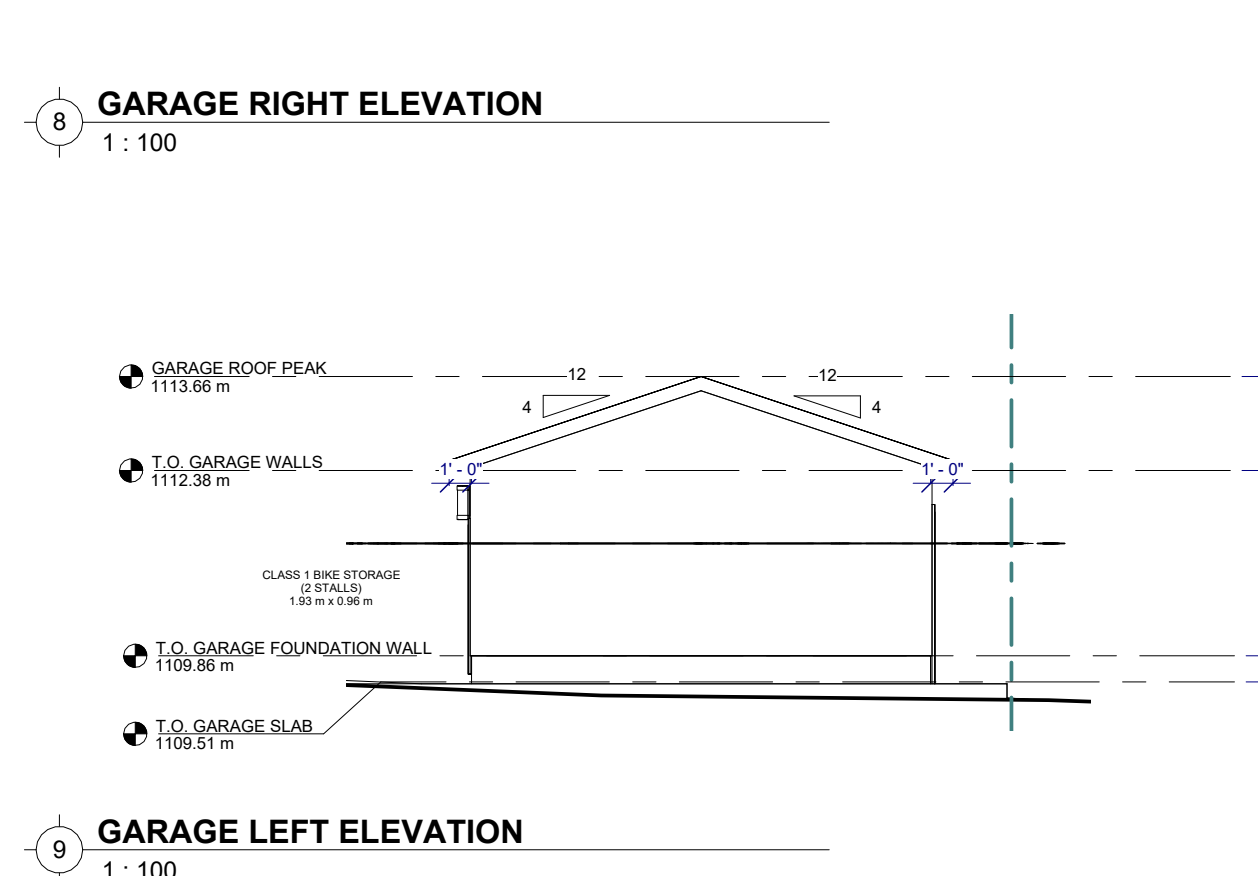
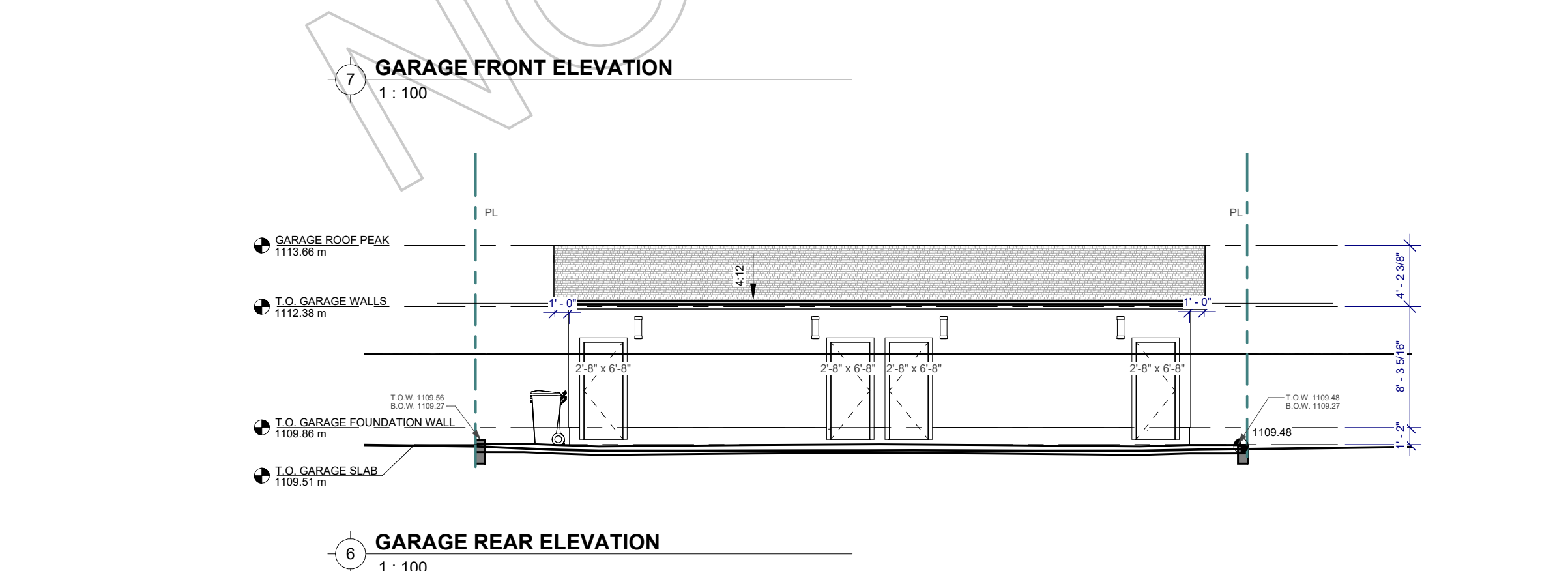
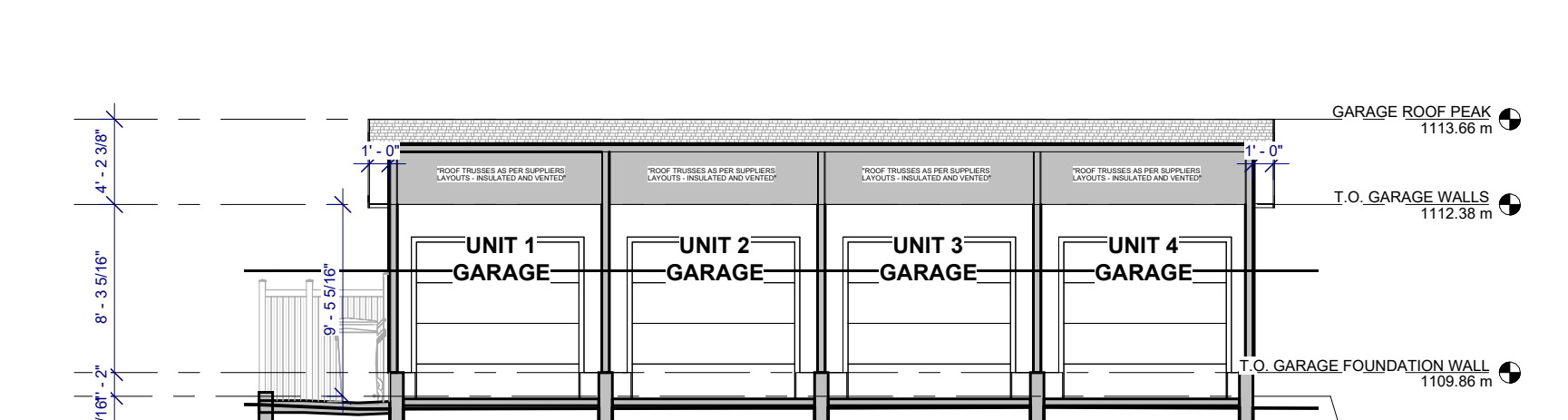
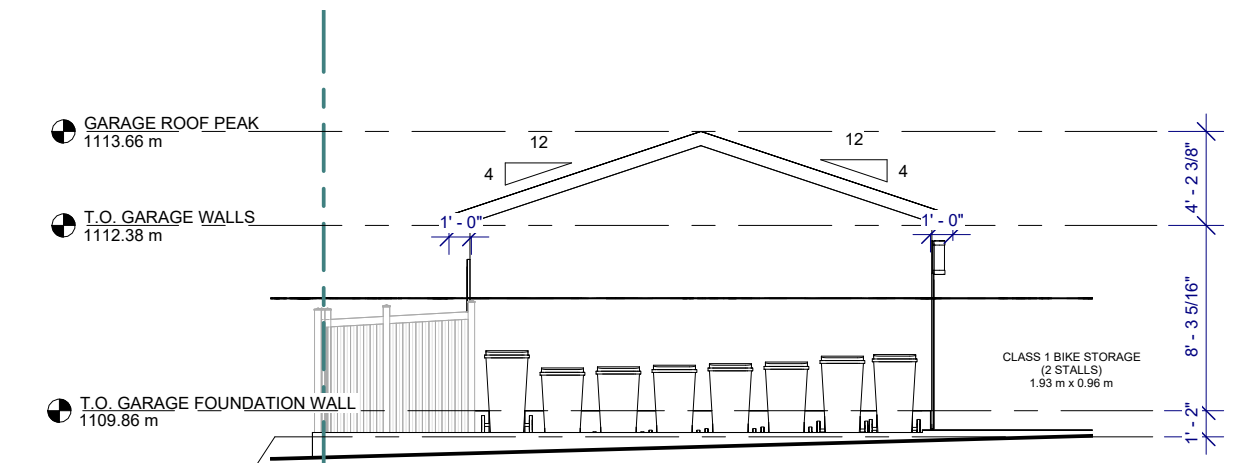
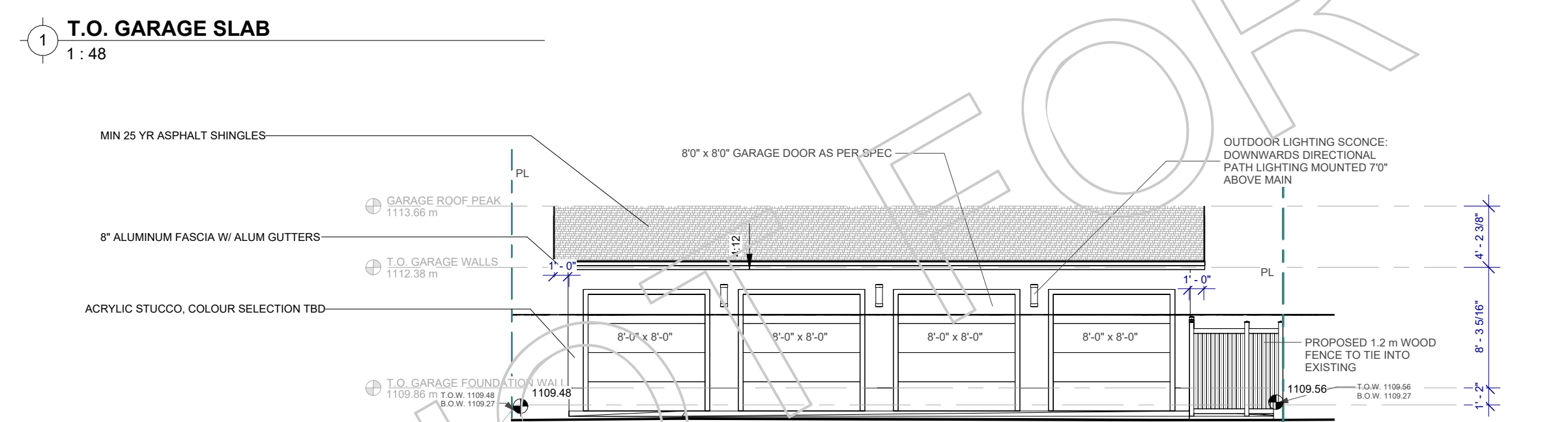
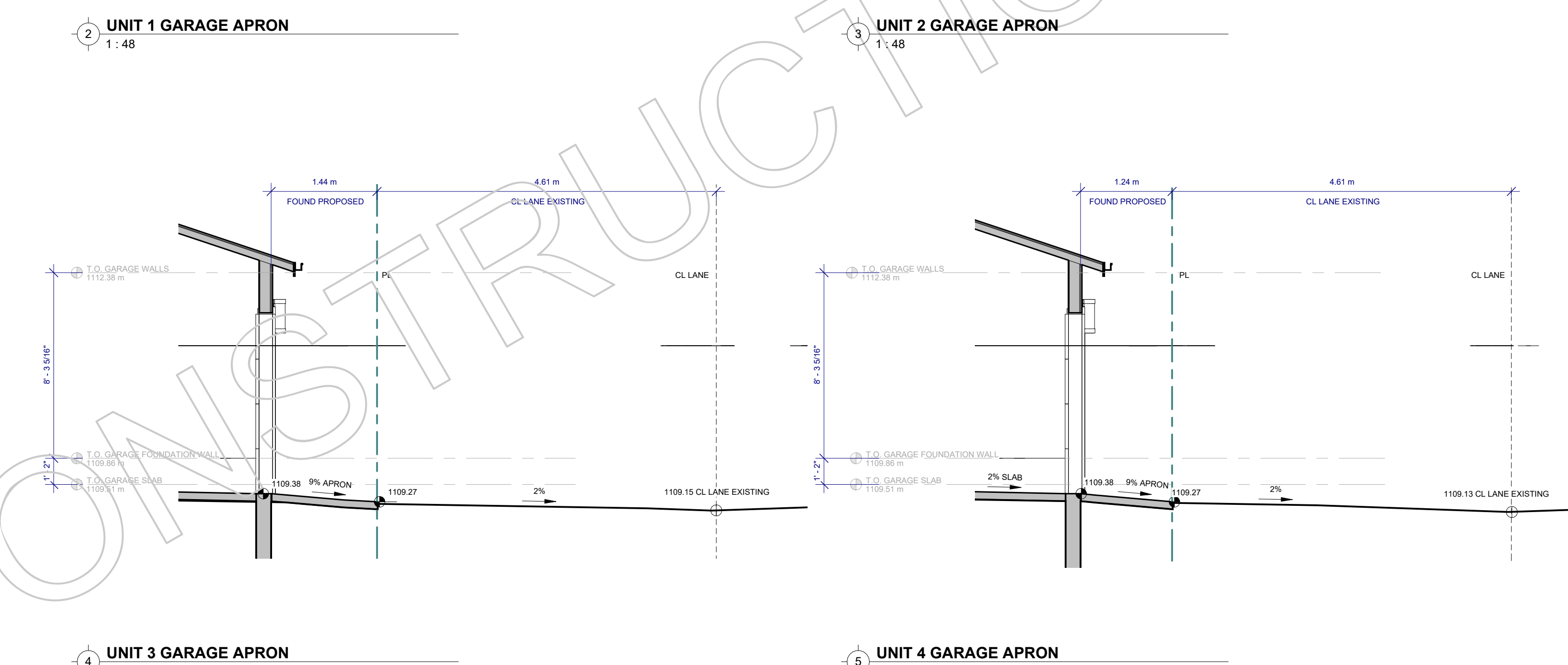
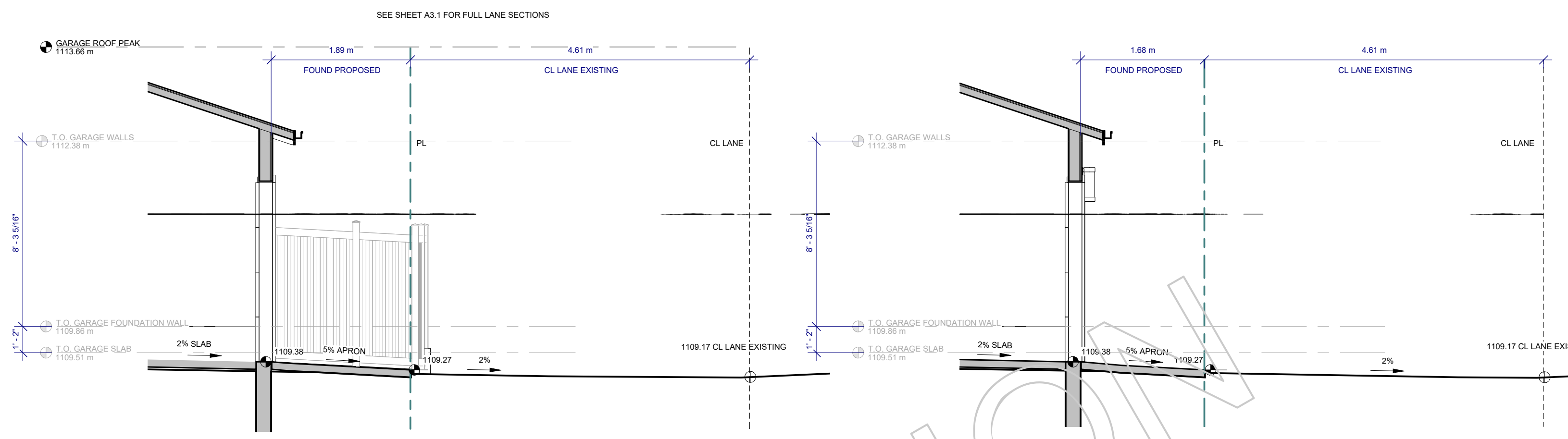
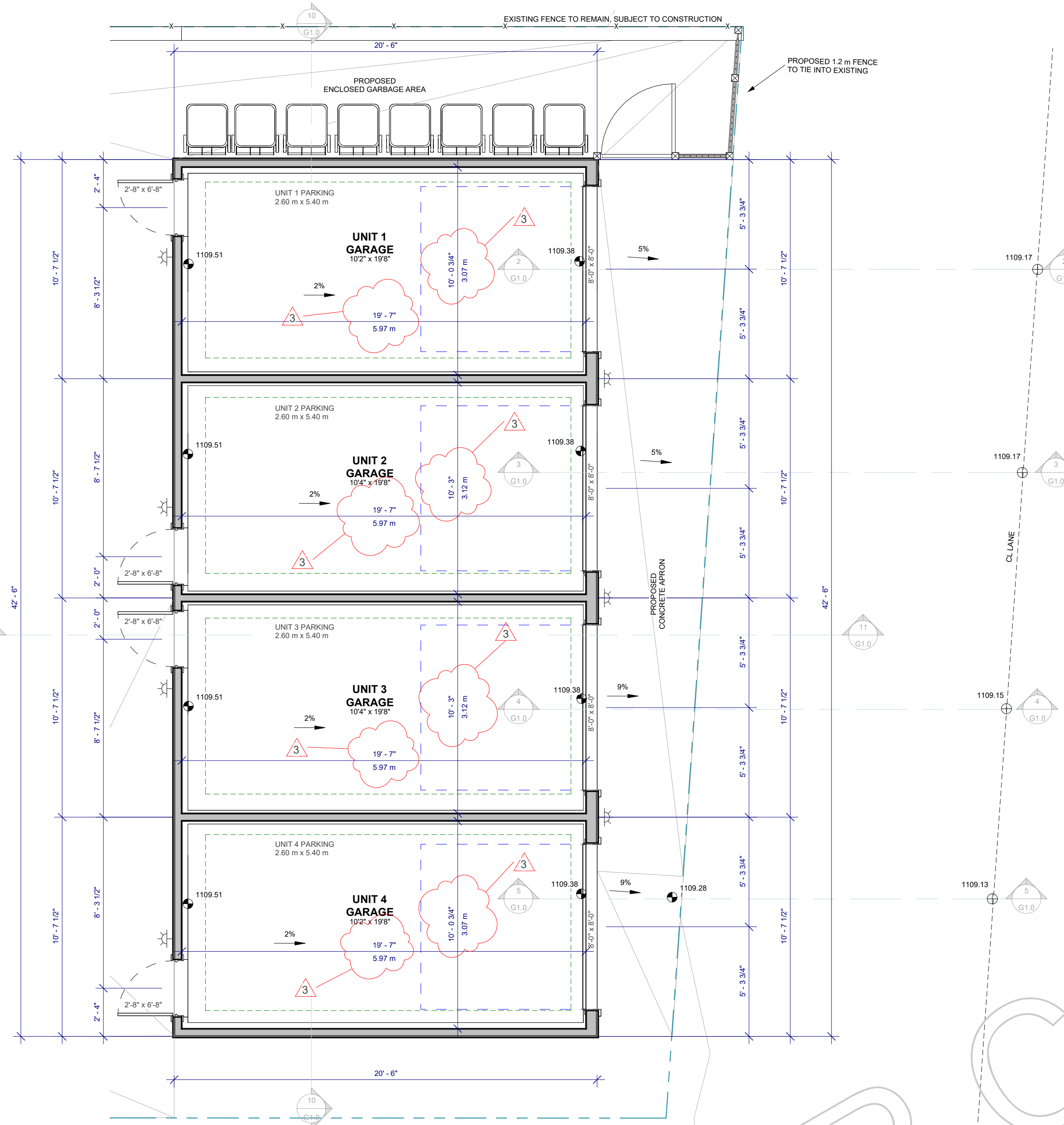
**DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN**



| PROJECT INFO | |
|---|-------------------------------|
| CLIENT/PROJECT: | VARSITY MULTI-FAMILY DWELLING |
| LEGAL ADDRESS: | Lot 7, Block 8, Plan 3473 JK |
| CIVIC ADDRESS: | 4228 VOYAGEUR LANE NW |
| DRAWING INFORMATION | |
| STATUS: | DEVELOPMENT PERMIT |
| PROJECT LEAD: | Author |
| CHECKED BY: | Checker |
| SCALE: | 1 : 24 |
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| REVISION HISTORY | DATE |

DEVELOPMENT PERMIT

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN



| PROJECT INFO | | |
|-------------------------------|-------------------------------|-------|
| CLIENT/PROJECT: | VARSITY MULTI-FAMILY DWELLING | |
| LEGAL ADDRESS: | Lot 7, Block 8, Plan 3473 JK | |
| CIVIC ADDRESS: | 4225 VOYAGEUR LANE NW | |
| DRAWING INFORMATION | | |
| STATUS: | DEVELOPMENT PERMIT | |
| PROJECT LEAD: | RB/CH | |
| CHECKED BY: | LG | |
| SCALE: | As indicated | |
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| REVISION HISTORY | | |
| NO. | DESCRIPTION | DATE |
| RB | FLOOR PLANS | 10.17 |
| RB | DESIGN PRESENTATION | 10.24 |
| LG | DEVELOPMENT PERMIT | 11.21 |
| SV | DR1 | 01.30 |

R-CG RESIDENTIAL GRADE-ORIENTED INFILL

SITE COVERAGE CALCULATIONS:

| | | | |
|-------------------------------|--------------------------|-----------------------|-----------------------------|
| PROPOSED BUILDING: | | | |
| 4 RESIDENTIAL UNITS | | | |
| 4 SUITES | | | |
| BYLAW REQUIREMENT: | | | |
| SITE AREA: | 6410.78 SF | 595.58 m ² | (0.0596 ha) |
| DENSITY: | 4 UNITS = 67.11 UNITS/ha | | |
| ALLOWED COVER ¹ | 60% | 3846.47 SF | 357.35 m ² |
| ACTUAL PROVIDED: | | | |
| HOUSE FOOTPRINT: | 2935.52 SF | 272.72 m ² | |
| GARAGE FOOTPRINT: | 871.25 SF | 80.94 m ² | |
| TOTAL ON SITE: | 59.38% | 3806.77 SF | 353.66 m² |
| SITE STORAGE: | | | |
| CLASS 1 BIKE STORAGE | REQUIRED: 4 | PROVIDED: 4 | |
| PARKING: | | | |
| MOTOR VEHICLE PARKING | | 4 STALLS | |
| WASTE & RECYCLING: | | | |
| CITY BINS PROVIDED | | 8 BINS | |

BUILDING HEIGHT

| | |
|------------------------------------|-----------|
| BYLAW REQUIREMENT: | |
| HEIGHT: | 11 m MAX |
| BUILDING HEIGHT PROVIDED: | |
| | 11 m |
| LOWEST AVERAGE GRADE AT BUILDING: | 1109.86 m |
| HIGHEST AVERAGE GRADE AT BUILDING: | 1109.91 m |
| PEAK GEODETIC: | 1120.82 m |

GROSS FLOOR AREA

| | | |
|------------------|-------------------|-----------------------------|
| HOUSE GFA: | 5954.28 SF | 553.17 m ² |
| GARAGE GFA: | 871.25 SF | 80.94 m ² |
| TOTAL GFA | 6825.53 SF | 634.11 m² |

BUILDING SETBACKS

| | |
|---------------------------|---------|
| BYLAW REQUIREMENT: | |
| FRONT SETBACK: | 3.00 m |
| SIDE SETBACK: | 1.20 m |
| REAR SETBACK: | 1.20 m |
| ACTUAL PROVIDED: | |
| FRONT SETBACK: | 3.32 m |
| SIDE SETBACK: | 1.20 m |
| REAR SETBACK: | 12.57 m |

SITE LEGEND:

| | |
|---------------------------|--------|
| EXISTING PROPERTY LINES: | |
| SETBACKS: | |
| UTILITY R.O.W. & CAVEATS: | |
| ROOF OVERHANG: | |
| ELECTRICAL: | |
| STORM/SEWER: | |
| WATER LINES: | |
| GAS LINES: | |
| EXISTING FENCE: | |
| PROPOSED RESIDENCE: | |
| PROPOSED CANTILEVERS: | |
| PROPOSED GARAGES: | |
| EXISTING BUILDINGS: | |
| CONCRETE PATHS, ETC.: | |
| GRAVEL: | |
| WOOD DECKS/PORCHES: | |
| EXISTING LIGHT STANDARD: | |
| PROPOSED GEODETICS: | 100.00 |
| EXISTING GEODETICS: | 100.00 |

DISCLAIMER:
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TREE PROTECTION MEASURES

- A. CONSTRUCTION EQUIPMENT AND MATERIALS SHALL NOT BE STORED IN A TREE PROTECTION AREA
 - B. ALL STAGING, HOARDING AND STORAGE OF MATERIALS AND EQUIPMENT SHALL BE ON PRIVATE PROPERTY
 - C. AN URBAN FORESTRY TECHNICIAN SHALL BE CONTACTED TO BE ON SITE AT THE FOLLOWING STAGES OF CONSTRUCTION:
 1. COMMENCEMENT
 2. IF PRUNING IS REQUIRED
 3. DURING THE EXCAVATION OF WALKWAYS TO MITIGATE ROOT DAMAGE TO ADJACENT TREES
 - D. TREE PROTECTION MEASURES PRIOR TO AND DURING CONSTRUCTION:
 1. BRANCH PRUNING IS REQUIRED FOR CLEARANCE OF NEW BUILDINGS.
 2. IF ELEVATION PRUNING IS REQUIRED FOR INSTALLATION OF SERVICES, AN INDEMNIFIED CONTRACTOR FROM THE CITY APPROVED CONTRACTORS LIST MUST BE USED AND WRITTEN APPROVAL MUST BE GIVEN FROM PARKS-URBAN FORESTRY PRIOR TO PRUNING.
 3. ROOT PRUNING AS REQUIRED DURING FOUNDATION EXCAVATION.
 4. APPLY PROTECTIVE MULCH OVER TREE PROTECTION ZONE.
 5. SUPPLEMENTAL WATERING WHEN REQUIRED
 6. SOIL AERATION WHERE REQUIRED
 7. PROVIDE SIGNAGE INSTRUCTING NO CONSTRUCTION WORK OR MATERIAL IS TO ENCRACH INTO THE TREE PROTECTION ZONE UNLESS AUTHORIZED BY AN URBAN FORESTRY REPRESENTATIVE.
 - E. TREE PROTECTION MEASURES POST CONSTRUCTION:
 1. SUPPLEMENTAL WATERING, WHEN REQUIRED.
 2. SOIL AERATION, WHERE REQUIRED.
- A TREE PROTECTION ADMINISTER SHALL ENSURE ALL CONSTRUCTION WORK ADHERES TO THE APPROVED TREE PROTECTION PLAN AND THAT ALL CONTRACTED STAFF WORKING ON-SITE ARE AWARE OF THE TREE PROTECTION BYLAW AND THE APPROVED TREE PROTECTION PLAN.

TREE PROTECTION PLAN LEGEND

| | |
|---|--|
| PROPERTY LINES: | |
| LIMIT OF LAND DISTURBANCE: | |
| TREE PROTECTED ZONE FENCED AREA: | |
| UNDERGROUND ELECTRICAL: | |
| OVERHEAD ELECTRICAL: | |
| STORMSEWER: | |
| WATER LINES: | |
| GAS LINES: | |
| EXISTING TREE TO REMAIN & BE PROTECTED: | |
| EXISTING TREE OR SHRUB TO REMAIN: | |
| EXISTING TREE OR SHRUB TO BE REMOVED: | |
| FOOTPRINT OF EXISTING HOUSE: | |

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113 7a STREET NE
CALGARY, ALBERTA
T2E 4E5
www.beginwithdesign.com
403.242.2704

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BUILDER LOGO

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GENERAL NOTES:

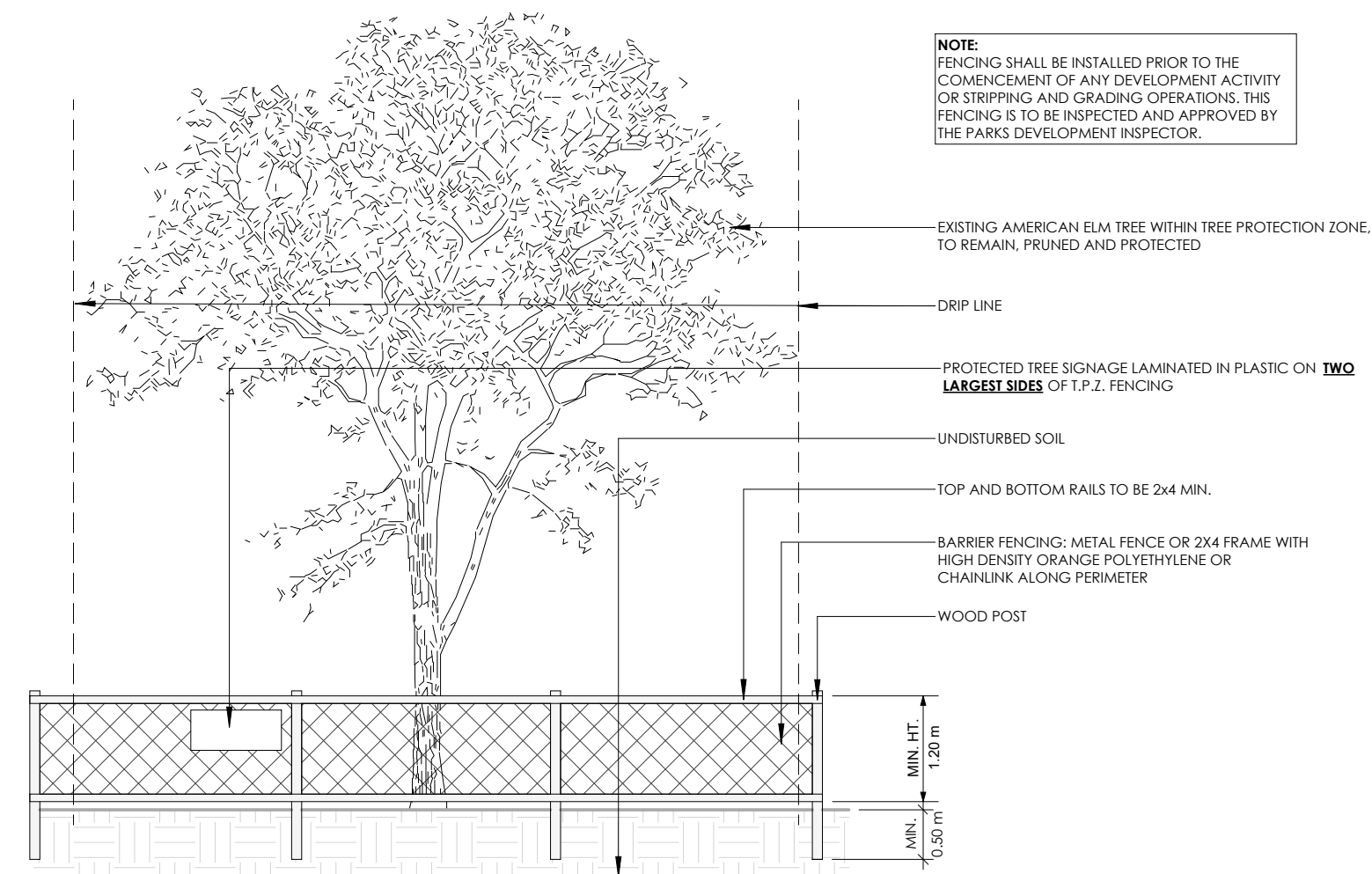
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SHEET LIST

| | |
|-------------------------|-------|
| COVER PAGE | A0.0 |
| SITE PLAN | A0.1 |
| LANDSCAPING PLAN | A0.2 |
| BLOCK PLAN | A0.3 |
| BASEMENT PLAN | A1.0a |
| MAIN FLOOR PLAN | A1.1 |
| SECOND FLOOR PLAN | A1.2 |
| ELEVATIONS | A2.0 |
| ELEVATIONS | A2.1 |
| BUILDING SECTION | A3.0 |
| BOULEVARD/LANE SECTIONS | A3.1 |
| GARAGE PLANS | G1.0 |

DEVELOPMENT PERMIT DECISION RENDERED ON THIS PLAN

NOT FOR CONSTRUCTION



1 TREE PROTECTION DETAIL
1 : 64

PROJECT INFO

| | |
|-----------------|--------------------------------|
| CLIENT/PROJECT: | VARSIITY MULTI-FAMILY DWELLING |
| LEGAL ADDRESS: | Lot 7, Block 8, Plan 3473 JK |
| CIVIC ADDRESS: | 4228 VOYAGEUR LANE NW |

DRAWING INFORMATION

| | |
|---|--------------------|
| STATUS: | DEVELOPMENT PERMIT |
| PROJECT LEAD: | LEAD DESIGNER |
| CHECKED BY: | CHECKER |
| SCALE: | 1 : 64 |
| COPYRIGHT ALL RIGHTS RESERVED ARCH C: 18" x 24" | |

REVISION HISTORY

| REVISION HISTORY | DATE |
|------------------------|-------|
| RB FLOOR PLANS | 10.17 |
| RB DESIGN PRESENTATION | 10.24 |
| LG DEVELOPMENT PERMIT | 11.21 |
| SV DR1 | 01.30 |

DEVELOPMENT PERMIT

TREE PROTECTION PLAN
T1.0