



THE CITY OF CALGARY
PLANNING & BUILDING DEPARTMENT

FOXDALE

AREA STRUCTURE PLAN

The Blue Pages of this document contain supporting information and do not form part of the bylaw.

For the purposes of electronic publications, the Blue Pages are identified by the footer "Foxdale Area Structure Plan - Supporting Information."

FOXDALE

Area Structure Plan and Supporting Information



THE CITY OF
CALGARY
LAND USE PLANNING
& POLICY

Adopted by City Council 1989 May 8 (Bylaw #13P89)
Office Consolidations
April 1990, June 2006

Note: This office consolidation includes the following amending Bylaws:

Amendment	Bylaw	Description	Date
1	3P90	a. Section 1.2 – Add new paragraph b. Section 1.3.3 – Add new paragraph c. Map 2 – Replace (superceded by Bylaw 2P92)	1990 February 12
2	2P92	a. Section 1.1 – Delete sentences, replace with next text b. Section 1.1 – Delete paragraph, replace with new text c. Map 2 – Replace d. Section 1.3.7 – Delete sentences, replace with new text	1992 April 27

Amended portions of the text are printed in italics and the specific amending Bylaw is noted.

Persons making use of this consolidation are reminded that it has no legislative sanction, and that amendments have been embodied for ease of reference only. The official Bylaw and amendments thereto are available from the City Clerk and should be consulted when interpreting and applying this Bylaw.

PUBLISHING INFORMATION

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PLAN, 13P89

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**FOXDALE AREA STRUCTURE PLAN
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Area Structure Plan

PART I THE AREA STRUCTURE PLAN

1.1 PLANNING AREA (Map 1)

Foxdale is a new residential area to be developed east of Falconridge between McKnight Boulevard and 64th Avenue N.E. *The site is approximately 120 hectares (296 acres), and is bounded by 68 Street N.E. to the west, and the Transportation/Utility Corridor (T.U.C.) to the north, east and south. 2P92*

The policies in this area structure plan apply only to Foxdale, but consideration has been given to the access requirements of the adjacent lands within the Transportation/Utility Corridor. 2P92

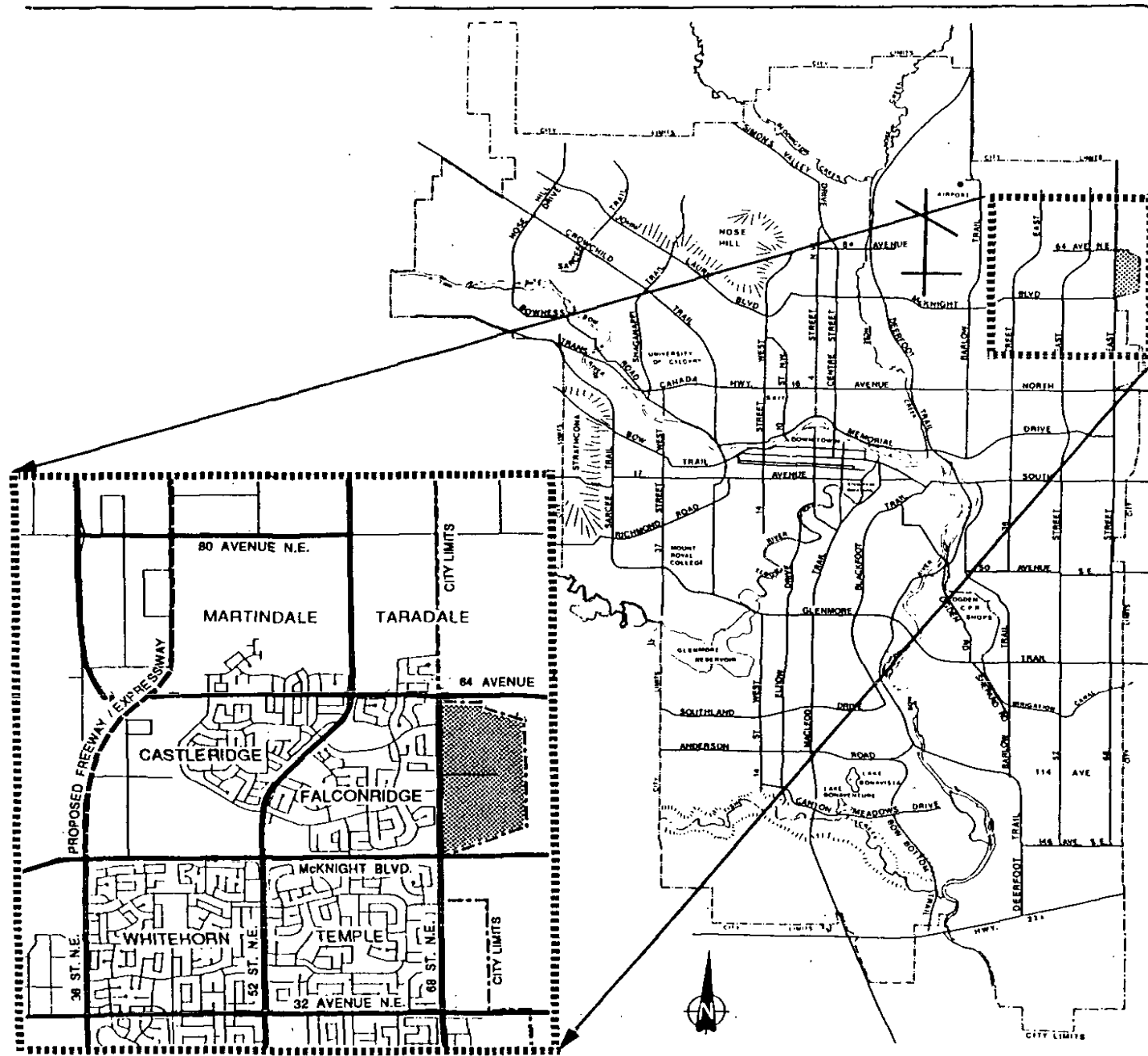
1.2 PLANNING CONCEPT

Foxdale will be a small residential community, with an anticipated population of 4000 to 5000 people. This population range is based upon a gross overall residential density of 12 to 15 units per hectare (5 to 6 units per acre).

68 Street N.E., located along the western boundary of the study area, will connect to a roadway loop which will provide for internal traffic movement within Foxdale. This street also connects to Falconridge Drive and Falshire Drive to the west.

Two joint use sites for future schools and playgrounds will be located within the community as shown conceptually on Map 2. A community association and possibly a sportsplex facility are provided for on a site on 68 Street N.E, where they will be easily accessible from the surrounding areas. Provision has been also made for a local commercial shopping centre with access from 68 Street N.E.

A private recreation site, of approximately 9 hectares (22.0 acres) and intended for a lake, will be located in the southern portion of the community. 3P90



FOXDALE

MAP
1

TITLE

LOCATION MAP

LEGEND



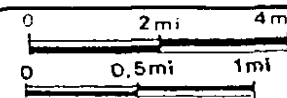
STUDY AREA

DATE

MAY 1989



THE CITY OF CALGARY
PLANNING & REVENUE DEPARTMENT



1.3 PLANNING POLICIES (Map 2)

1.3.1 RESIDENTIAL AREAS

1. The predominant form of housing will be single family. The overall gross residential density is expected to be in the range of 12 to 15 units per hectares (5 to 6 units per acre).
2. The Approving Authority may, at its discretion, approve individual outline plans for development at densities above or below the range stated in this plan in accordance with the density guidelines of the Calgary General Municipal Plan.
3. At the discretion of the developer, or as required by the Approving Authority, provision will be made for multiple family sites.

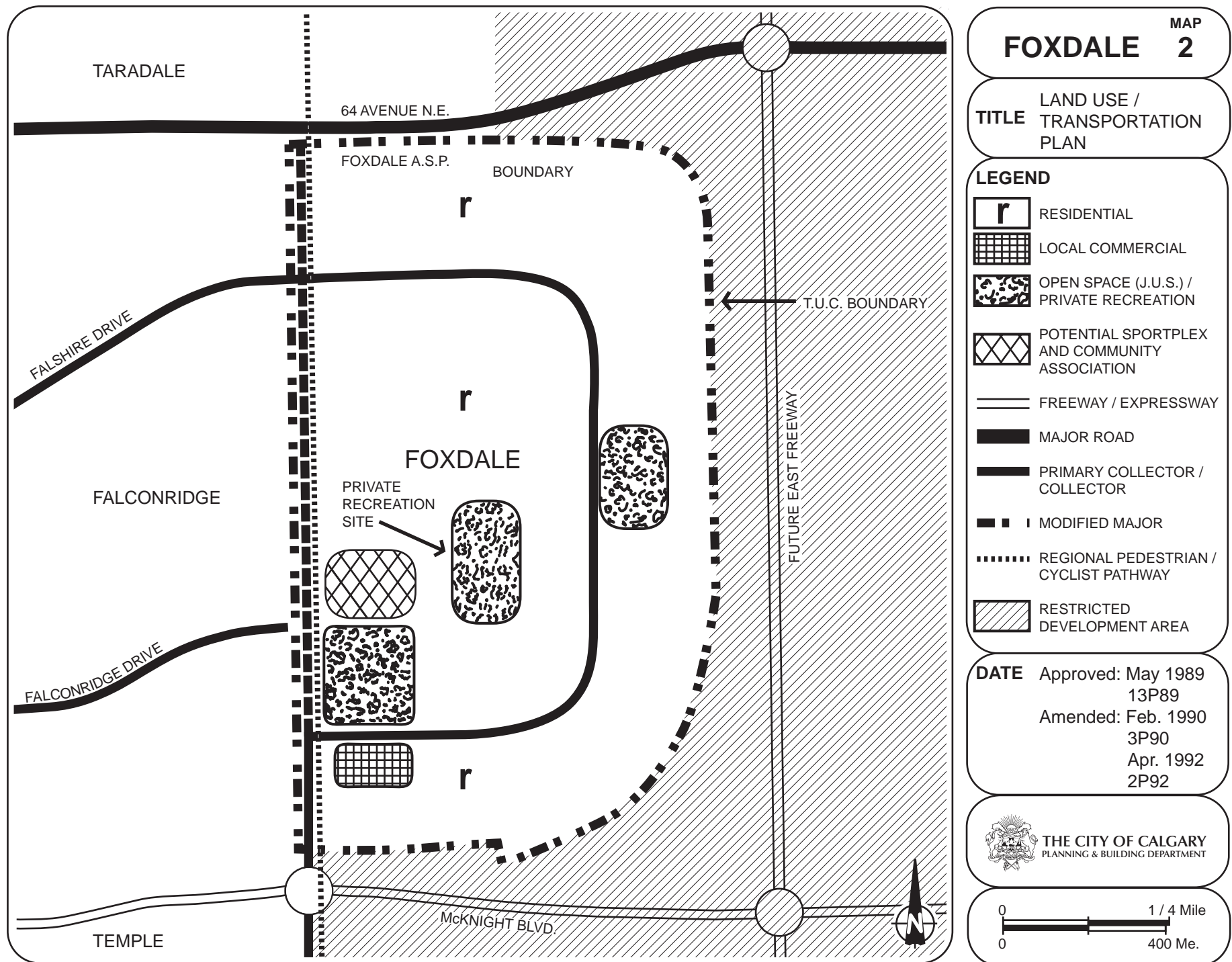
1.3.2 COMMERCIAL AREA

Because of the small size of this community, provision should be made only for a local commercial site, one hectare (2.5 acres) in size, to be located generally as shown on Map 2.

1.3.3 OPEN SPACE

The open space system is shown conceptually on Map 2. The final size and configuration of each of its elements are to be determined at the outline plan stage.

1. Two joint use sites, one of 4 hectares (10 acres) and the other 2.4 hectares (6 acres), are provided for possible future schools and playgrounds. These sites are to be located on primary collector/collector roads.
2. A community association and possibly a sportsplex facility are to be located on 68 Street N.E. The size of this site is yet to be determined, but it shall be no less than 2.4 hectares (6 acres), of which 1.6 hectares (4 acres) will be municipal reserve dedication.
3. Pedestrian/cyclist pathways are to be incorporated into the open space roughly as shown on Map 2.
4. Tot lots and feature parks are to be distributed appropriately throughout the community.
5. *The private lake and the surrounding park area will be a major recreational feature in the community. This facility will be owned and operated by a homeowners association representing the residents of Foxdale. **3P90***



MAP 2 **FOXDALE**

TITLE LAND USE /
TRANSPORTATION
PLAN

- LEGEND**
- RESIDENTIAL
 - LOCAL COMMERCIAL
 - OPEN SPACE (J.U.S.) /
PRIVATE RECREATION
 - POTENTIAL SPORTPLEX
AND COMMUNITY
ASSOCIATION
 - FREEWAY / EXPRESSWAY
 - MAJOR ROAD
 - PRIMARY COLLECTOR /
COLLECTOR
 - MODIFIED MAJOR
 - REGIONAL PEDESTRIAN /
CYCLIST PATHWAY
 - RESTRICTED
DEVELOPMENT AREA

DATE Approved: May 1989
13P89
Amended: Feb. 1990
3P90
Apr. 1992
2P92



Foxdale Area Structure Plan

1.3.4 ROADS

1. 68 Street N.E. shall be upgraded to a major road standard from McKnight Boulevard to Falconridge Drive. From Falconridge Drive to 64th Avenue N.E., 68 Street shall be of a modified standard. (For details, see Section 4.1.3 on page 17.)
2. A roadway loop is required for internal traffic circulation within the Foxdale area. Its standard shall be primary collector/collector.
3. The roadway loop should be aligned so that all the residential areas are within a walking distance of 450 metres (1,475 feet), as required by the City policy on bus service.

1.3.5 TRANSPORTATION IMPROVEMENTS

- 64 Avenue N.E. shall be extended westward connecting with 36 Street N.E., which is to be re-aligned as shown on Map 6. This connection will be a two lane road in the initial stage, and will provide the area north of 64 Avenue N.E. with an alternate route to the south, in addition to Falconridge Boulevard and 68 Street N.E.

1.3.6 BUS SERVICE

- Bus service in Foxdale can be an extension of the existing service in Falconridge and Castleridge. The bus route will connect initially to the N.E. L.R.T. terminal at the Whitehorn station. In the long term, L.R.T. is planned to extend further north along the 36 Street Expressway, at which time the bus route will connect to the nearest L.R.T. station.

1.3.7 RESTRICTED DEVELOPMENT AREA

The Restricted Development Area was established pursuant to the Department of Environment Act in 1976 to protect the right-of-way for a future ring road and major utilities. A recent review of the right-of-way requirements has established a new boundary, now referred to as the Transportation and Utility Corridor (T.U.C.). The new boundary covers a smaller area, and R.D.A. lands outside this boundary are considered surplus to the T.U.C. requirements. *The surplus lands in Foxdale amount to 10 hectares (24.7 acres), all of which are developable. These lands are included within this plan, and will be incorporated into the development of the area.* **2P92**

1. In approving the outline plans for Foxdale, the Approving Authority shall ensure that the developable portion of the R.D.A. can be fully incorporated into the Foxdale development, and that the utilities can be extended to serve this portion as well.
2. The Approving Authority shall also ensure proper vehicular access to the R.D.A. This access is required for the installation and maintenance of utilities to be located within the T.U.C. and any future development on the surplus lands.

1.3.8 SEQUENCE OF DEVELOPMENT

Development of Foxdale is expected to proceed from the southwestern portion of the study area to the north and east, following the construction phasing of the underground utilities.

1.3.9 UTILITIES

Most underground utilities can be extended from Falconridge or 68 Street N.E. to service the entire Foxdale area. The stormwater and sanitary sewer systems, however, require additional facilities to allow for full development of Foxdale.

1. Stormwater Drainage

The stormwater drainage system proposed for Foxdale will utilize dry ponds. The following conditions shall apply:

- i. The design of the dry ponds shall be in conformity with the City policy, approved on 1988 July 25, and their locations and construction standards shall be to the satisfaction of the Engineering Department and Parks/Recreation Department.
- ii. Prior to any outline plan approval, a detailed engineering study is required for the entire Foxdale area to determine the appropriate location, size, storage capacity and elevation of the proposed dry ponds.

2. Sanitary Sewer

Provision must be made for a sanitary trunk extension from Foxdale to the existing 675 mm trunk at 68 Street and 37 Avenue N.E. by installing a stub connection as far as McKnight Boulevard and 72 Street N.E.

Guidelines for servicing are provided in the Supporting Information portion of this document.

Supporting Information

**SUPPORTING INFORMATION TO THE
FOXDALE AREA STRUCTURE PLAN**

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PART II SUPPORTING INFORMATION

2.1 PLANNING AREA

2.1.1 Location and Background

Foxdale is located in northeast Calgary at the periphery of the city's built-up area, approximately 8.5 kilometres (5.25 miles) from the city centre. The communities to the west and southwest, Falconridge and Temple respectively, are almost fully developed; the area to the northwest, Taradale, is only partially developed. To the north and south are undeveloped lands.

This area lies beyond setback requirements associated with sour gas facilities in the northeast Calgary area. As a result, there are no sour gas constraints to development in Foxdale.

2.1.2 Natural Features

The topography of Foxdale, as is the case with most of Calgary's northeast, is fairly level. Variation from the low hills to shallow depressions does not exceed 10 metres (33 feet). Generally, the land slopes in a southerly direction.

This minor variation of the topography allows for some views of downtown and the Rocky Mountains from the higher elevations in the northwestern portion of the study area.

Surface drainage appears discontinuous, with the stormwater forming intermittent sloughs during the wet season.

2.1.3 Soils and Geology

Soil in Foxdale is a deep layer of loam over a mixture of sand, silt and clay. The depth of bedrock is sufficiently deep in this area so as not to cause any constraints on development.

2.1.4 Historical Resources

Alberta Culture has been consulted with regard to the potential for archeological sites in this area, and raised no objection to the development of Foxdale.

3.1 EXISTING CONDITIONS (Map 3)

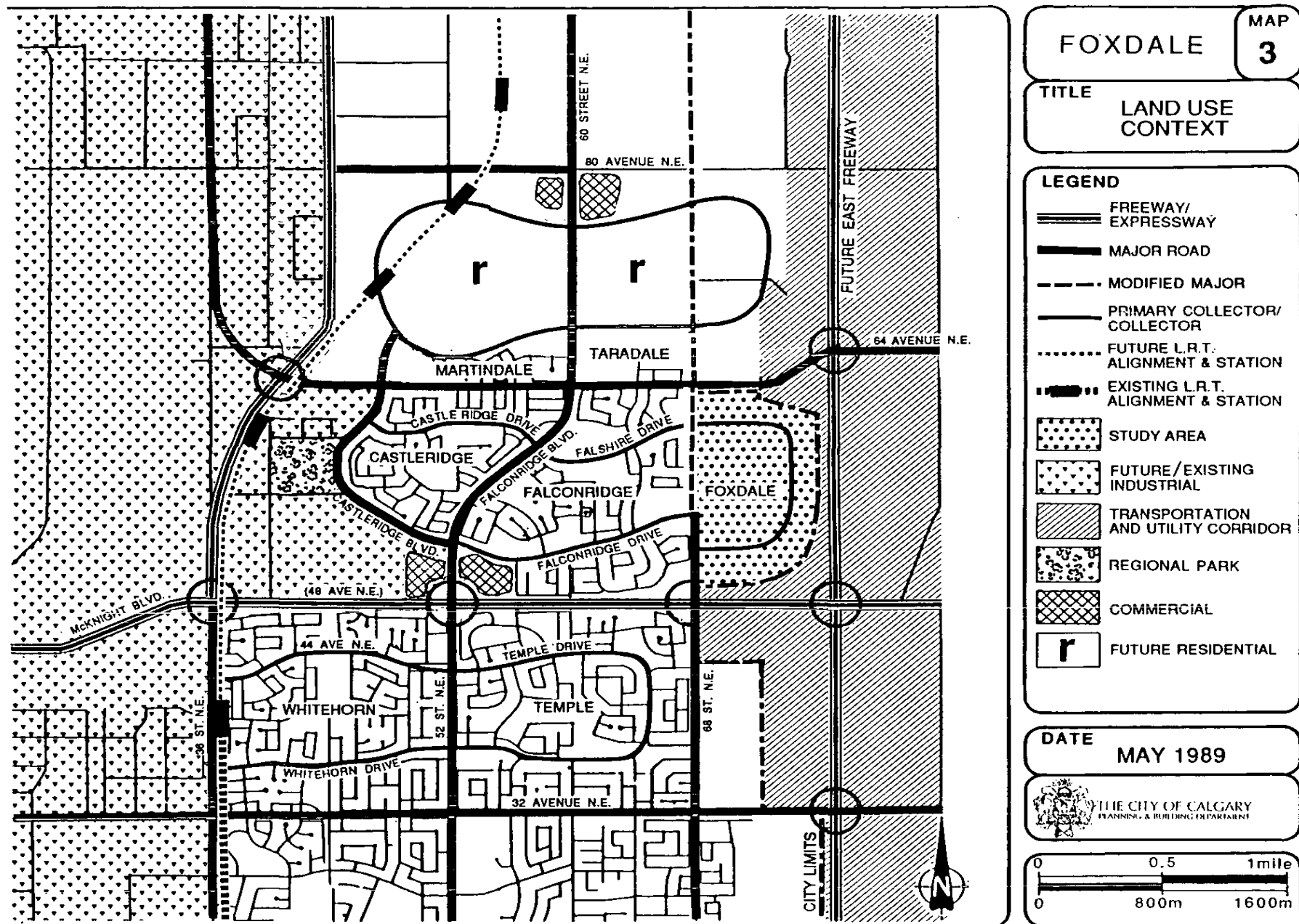
3.1.1 Land Ownership

Jager Industries Inc. and Western Securities Ltd. are the owners of the Foxdale A.S.P. area, which amounts to 110 hectares (271 acres). The R.D.A. is in the ownership of the Provincial Government.

3.1.2 Existing Land Use and Land Use Designation

The land in the study area has been cultivated for cereal crops for a number of years. This use is likely to continue until urban development.

Foxdale is currently designated Urban Reserve (U.R.).



4.1 POLICY CONTEXT (Maps 3 & 4)

4.1.1 Land Use Policy Context

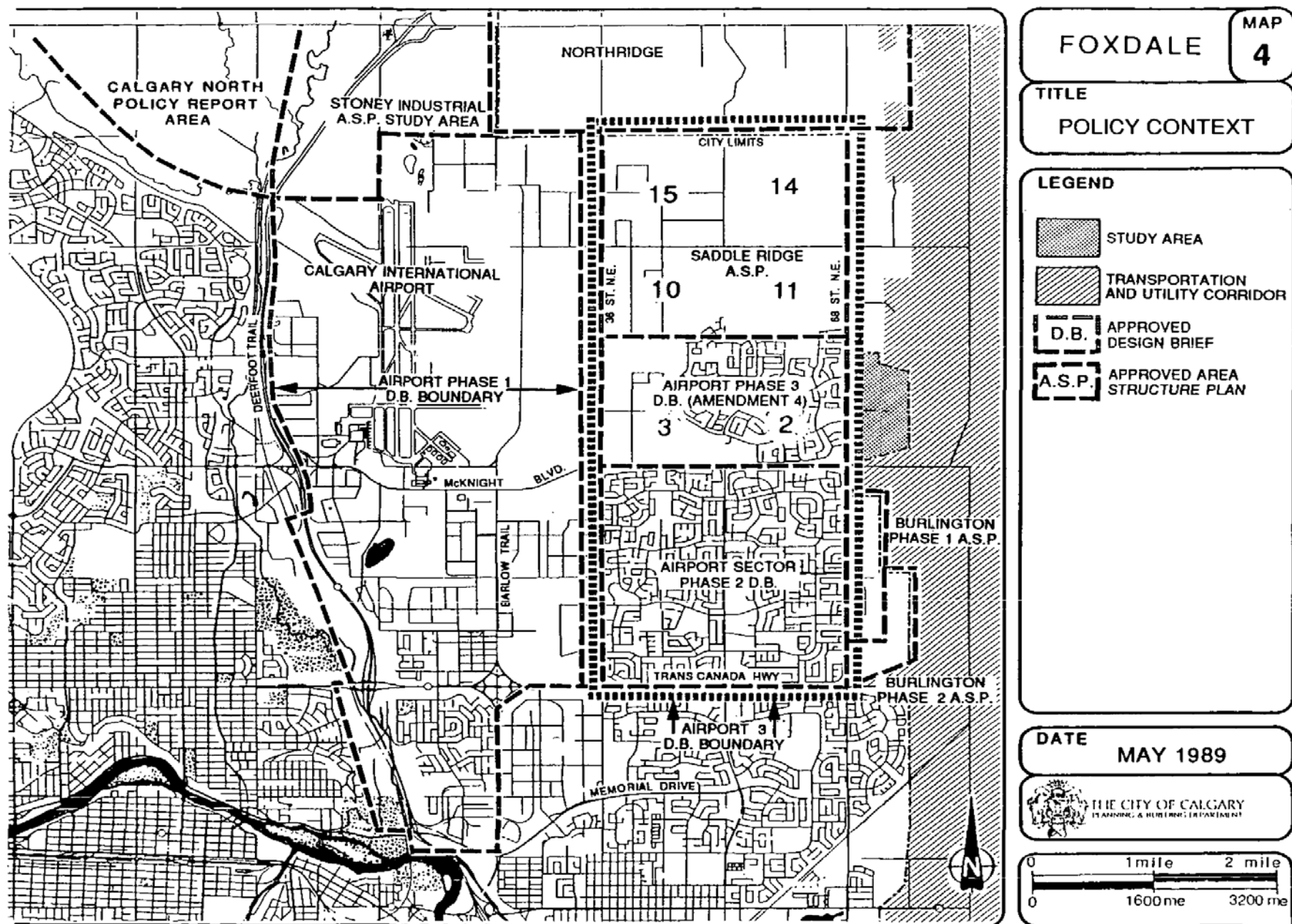
Five planning documents have been approved by City Council for the areas surrounding Foxdale:

1. Airport III Design Brief, approved in September 1976 and amended in April 1977, June 1981, March and October 1982, and March 1987.
2. Airport Sector, Phase 2 Design Brief, approved in November 1972.
3. Saddle Ridge Area Structure Plan, approved in June 1984, and amended in July 1985 and February 1986. This document superceded the Airport III Design Brief in Sections 10, 11, 14 and 15.
4. Burlington Phase 1 Area Structure Plan, approved in June 1981 and amended in June 1982, January 1983 and May 1987.
5. Burlington Phase 2 Area Structure Plan, approved in July 1984.

These plans allocated land uses in the 10 square mile area to the east of 36 Street N.E., between 96 Avenue N.E. and Trans Canada. The predominant land use is residential, including community support facilities: local commercial, open space and schools. Other uses planned for this area are:

1. Industrial uses to the west of Castleridge Boulevard in Section 3, and west of 36 Street Expressway in Sections 10 and 15.
2. A large retail site at the northeast corner of McKnight Boulevard and 52 Street N.E.
3. A sector shopping centre at the intersection of 80 Avenue and 60 Street N.E.
4. A regional park to be located west of Castleridge Boulevard in Section 3.

The development of Rundle, Pineridge, Whitehorn, Temple, and Falconridge, Martindale, Taradale and Monterey Park took place within this policy framework.



4.1.2 Transportation Network (Map 5)

The regional transportation network established for this general area is comprised of the following corridors:

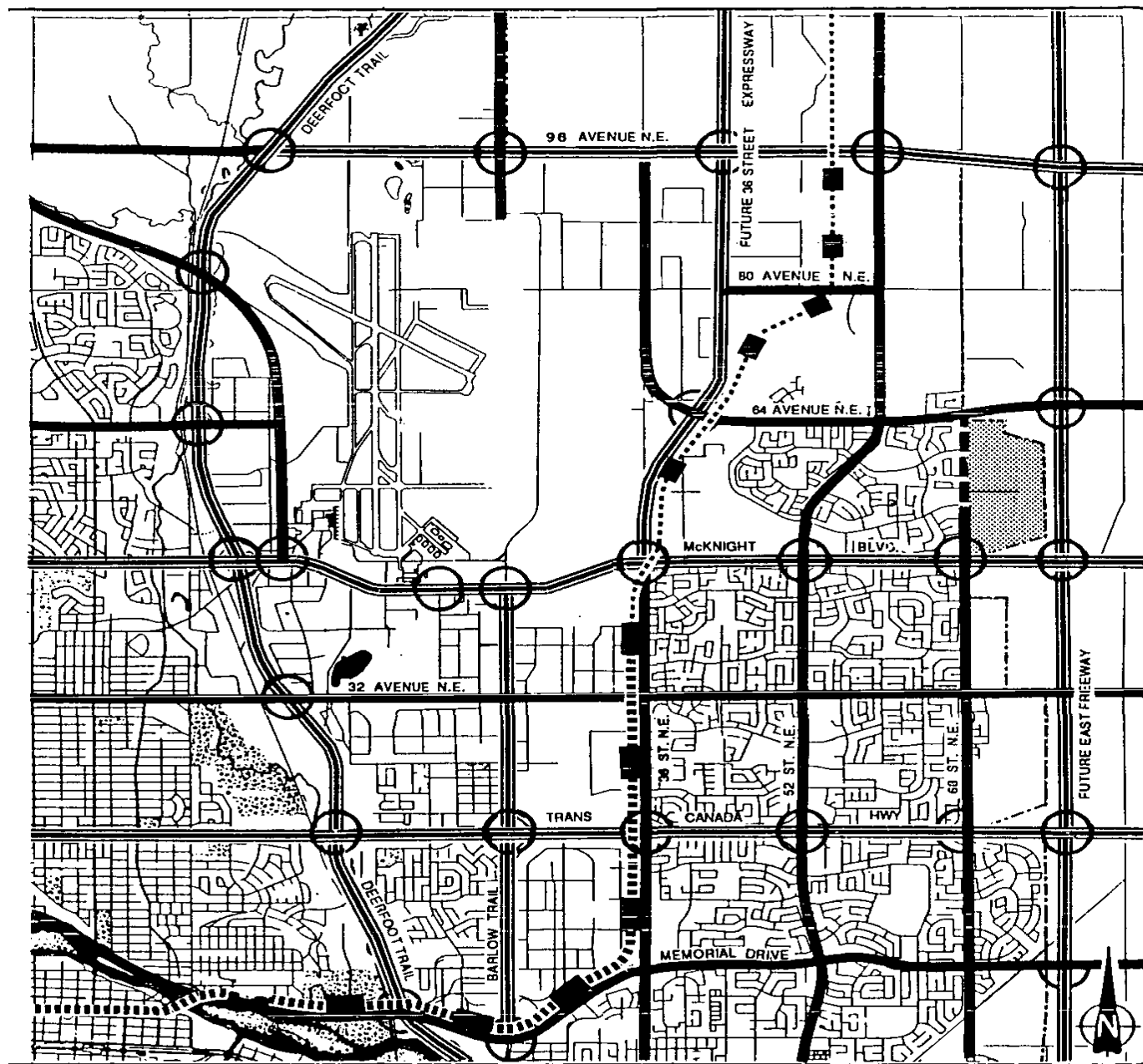
1. The East Freeway to be constructed within the T.U.C. No direct access will be permitted from the study area to this corridor.

The East Freeway will connect Marquis of Lorne Trail (Highway 22X) to Stoney Trail, and will provide a bypass route between Highway 2 and Trans Canada Highway.

2. McKnight Boulevard will ultimately be an expressway (except for a small stretch at Centre Street). This road will provide access to 68 Street N.E. at the southwest corner of the study area. Its regional function is to accommodate crosstown movement and connect the East Freeway to John Laurie Boulevard.
3. 64 Avenue N.E. will be a major road. No direct access to the study area will be permitted from this road.
4. 36 Street Expressway will be the northerly extension of the existing 36 Street N.E. The road is to be re-aligned 800 metres (2,625 feet) to the east, between McKnight Boulevard and 64 Avenue N.E. South of McKnight Boulevard, 36 Street N.E. will remain a major road.

5. 68 Street N.E. will be a major road south of Falconridge Drive and will connect to Trans Canada Highway, Memorial Drive and 17 Avenue S.E. Between Falconridge Drive and 64 Avenue N.E., 68 Street will be a modified major. This road will connect to a roadway loop in Foxdale, a portion of which is likely to be of a primary collector standard.
6. Falconridge Boulevard is the northerly extension of 52 Street N.E., and has been constructed to a major road standard.
7. In the long term, L.R.T. may be extended further north, following the re-alignment of 36 Street Expressway. A further re-alignment of this corridor to the east will take place between 64 Avenue and 80 Avenue N.E. in the Saddle Ridge area.

A future L.R.T. station and storage facilities may be located between McKnight Boulevard and 64 Avenue N.E.



FOXDALE

MAP
5

TITLE THE REGIONAL
TRANSPORTATION
SYSTEM

LEGEND

- FREEWAY/
EXPRESSWAY
- MODIFIED MAJOR
- MAJOR ROAD
- EXISTING L.R.T.
ALIGNMENT &
STATION
- POSSIBLE FUTURE
L.R.T. ALIGNMENT &
STATION (TENTATIVE)
- STUDY AREA

DATE MAY 1989



THE CITY OF CALGARY
PLANNING & BUILDING DEPARTMENT

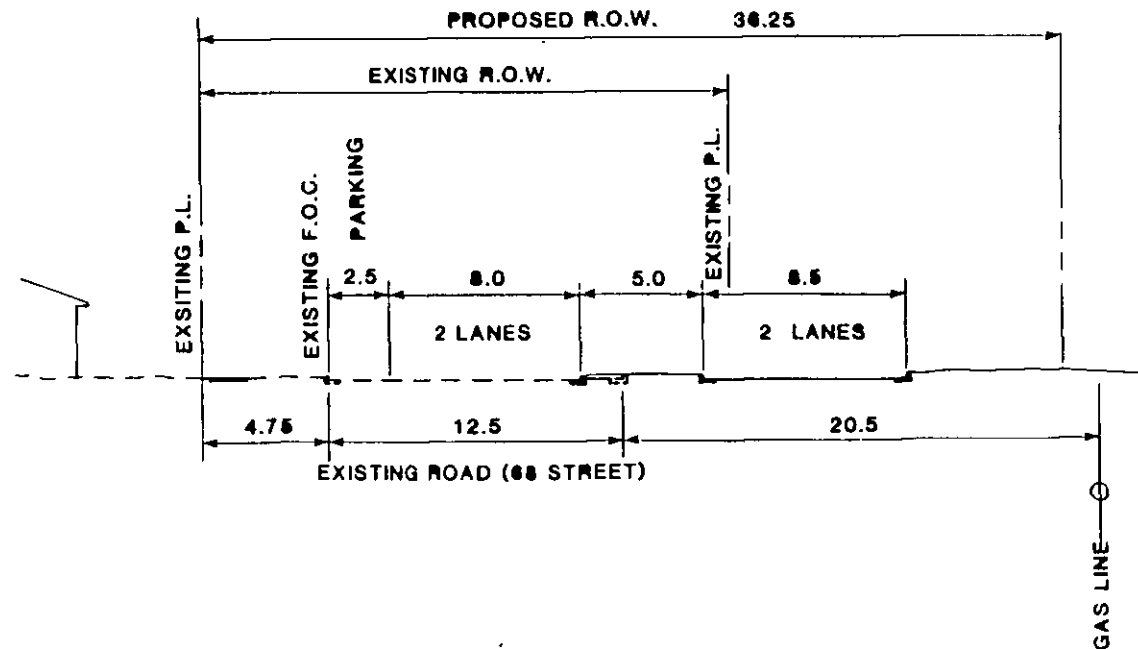
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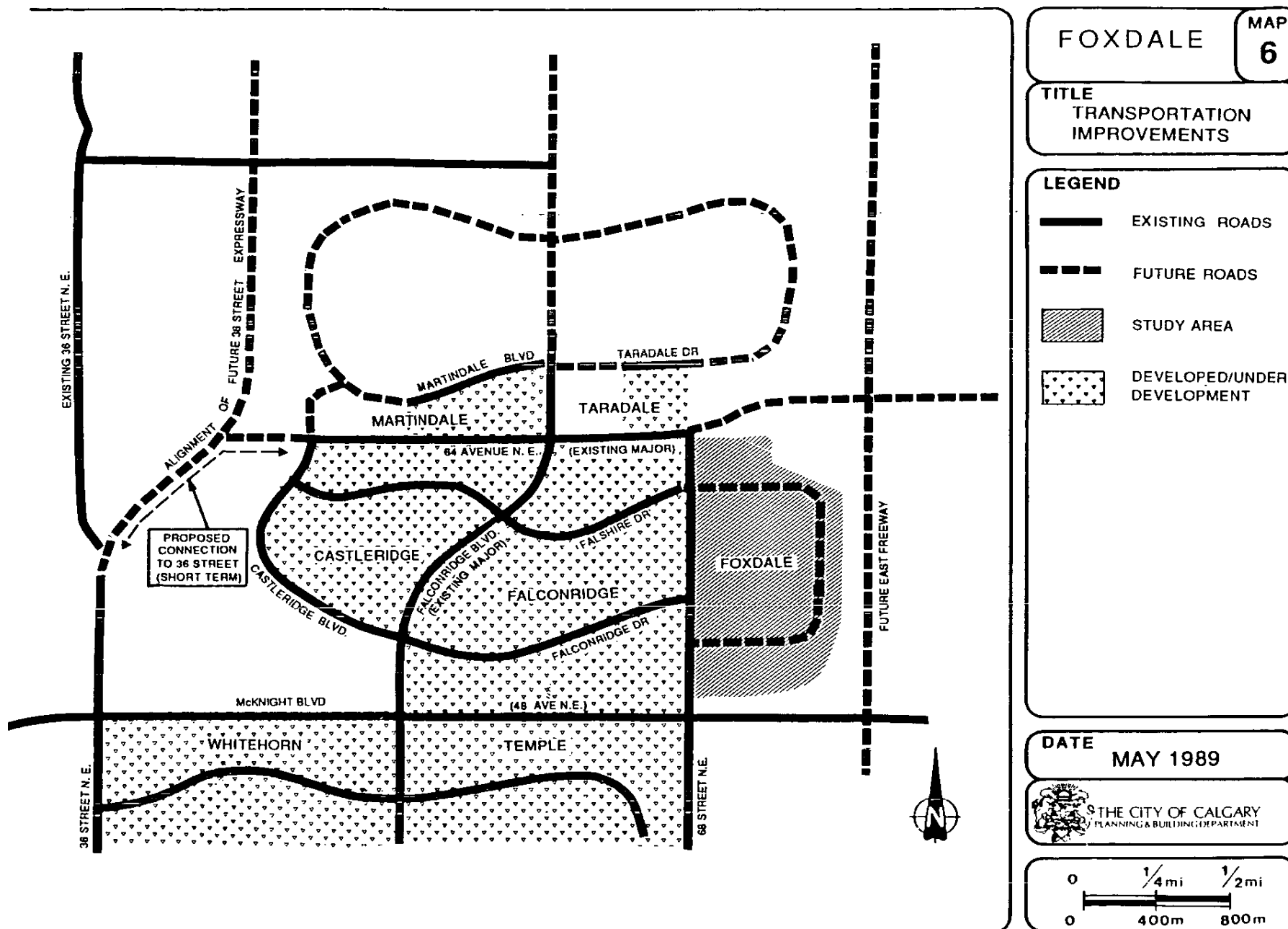
4.1.3 Transportation Improvements (Map 6)

68 Street N.E., will be upgraded to a major road standard between McKnight Boulevard and Falconridge Drive, and to modified major standard between Falconridge Drive and 64 Avenue N.E. (A cross section of a modified major is shown on this page.)

An alternate route for the area north of 64 Avenue N.E. to the south will be provided by extending 64 Avenue N.E. to the future alignment of 36 Street Expressway. The road will then continue to the south within the expressway right-of-way to McKnight Boulevard. This temporary connection will be a two lane facility, and is part of the future roadway requirements in this area.

68 STREET N.E. WIDENED TO MODIFIED MAJOR ROAD

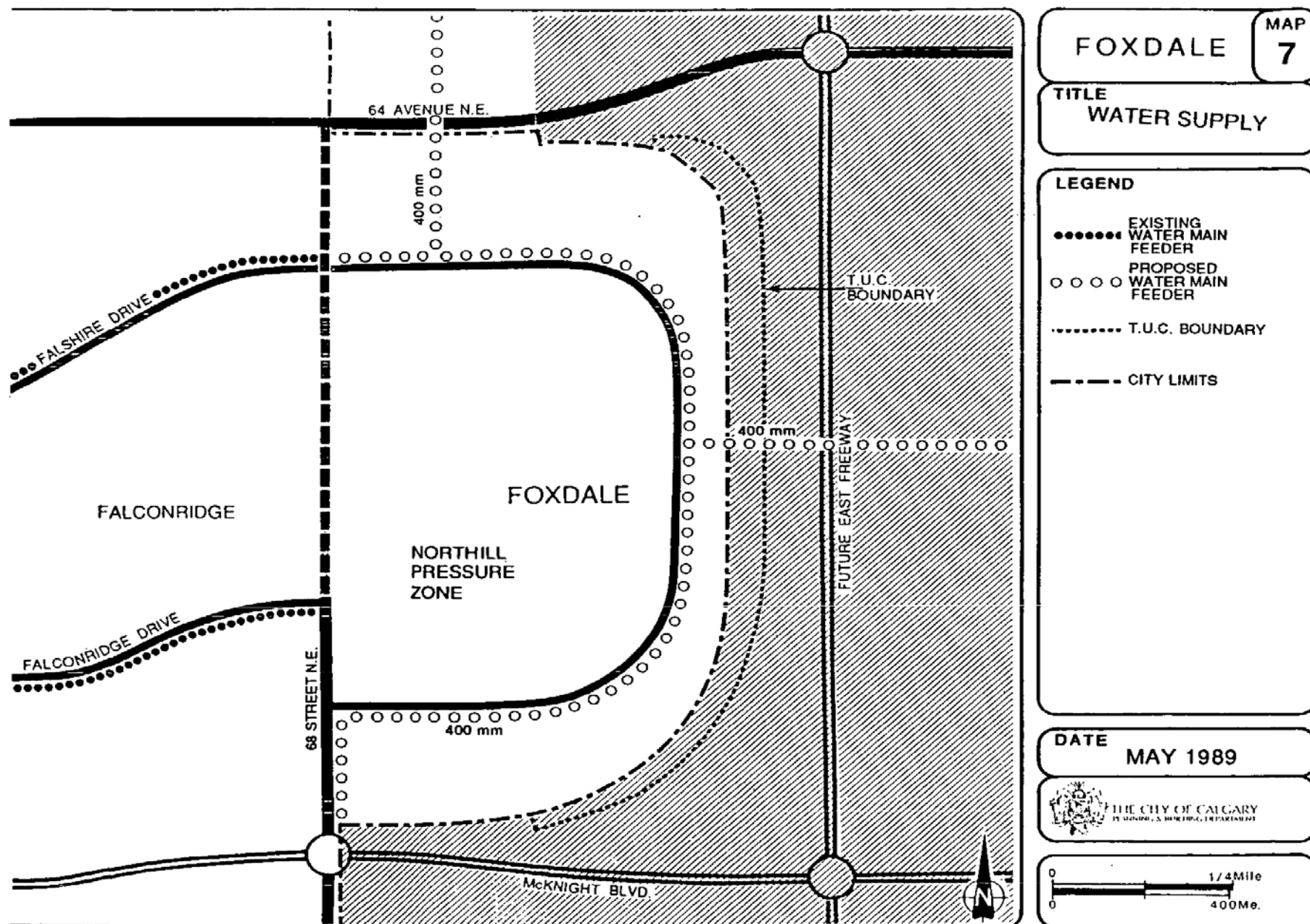




5.1 SERVICING

5.1.1 Water Supply (Map 7)

Foxdale is located within the North Hill pressure zone.
The area will be serviced by extending the existing mains from Falconridge into the study area.



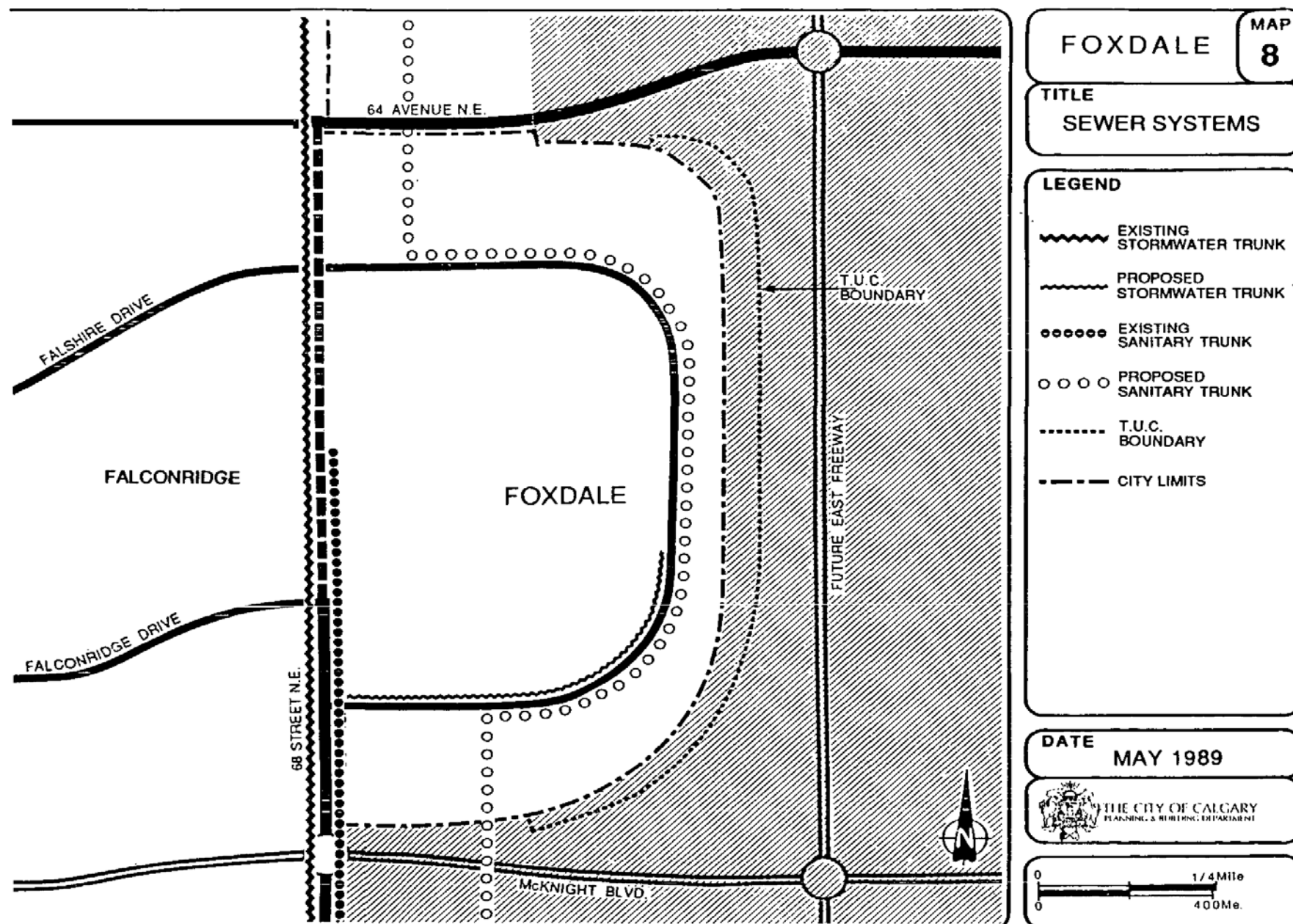
5.1.2 Sanitary Sewer (Map 8)

Although the existing 375 mm sanitary trunk in 68 Street N.E. is adequate only for the development of 60 hectares (148 acres), the Engineering Department will consider temporary servicing beyond this limit, subject to availability of capacity. The permanent drainage scheme, however, will require the extension of another trunk from Foxdale through Burlington I.A.S.P. area, connecting to the existing 675 mm trunk at 37 Avenue N.E. and 68 Street N.E. This extension, and other sanitary sewers in Foxdale, are to be designed with capacity to service development in Foxdale beyond the 60 hectares area, including any development on the R.D.A. surplus land, and 50 hectares (123 acres) in Taradale.

5.1.3 Storm Sewer (Map 8)

An engineering study for the stormwater drainage in Foxdale has been prepared by J.N.M. McKenzie Engineering on behalf of the developer, and the proposed drainage scheme, using dry ponds, appears acceptable in principle. Dry ponds are shallow depressions located within the open space, and are normally dry. Their purpose is to allow for the temporary storage of stormwater runoff during exceptionally heavy rainfall. Within hours of a rainstorm, the ponds are completely drained through outlets into the stormwater trunks, and may revert within a reasonable time to their normal use as open space.

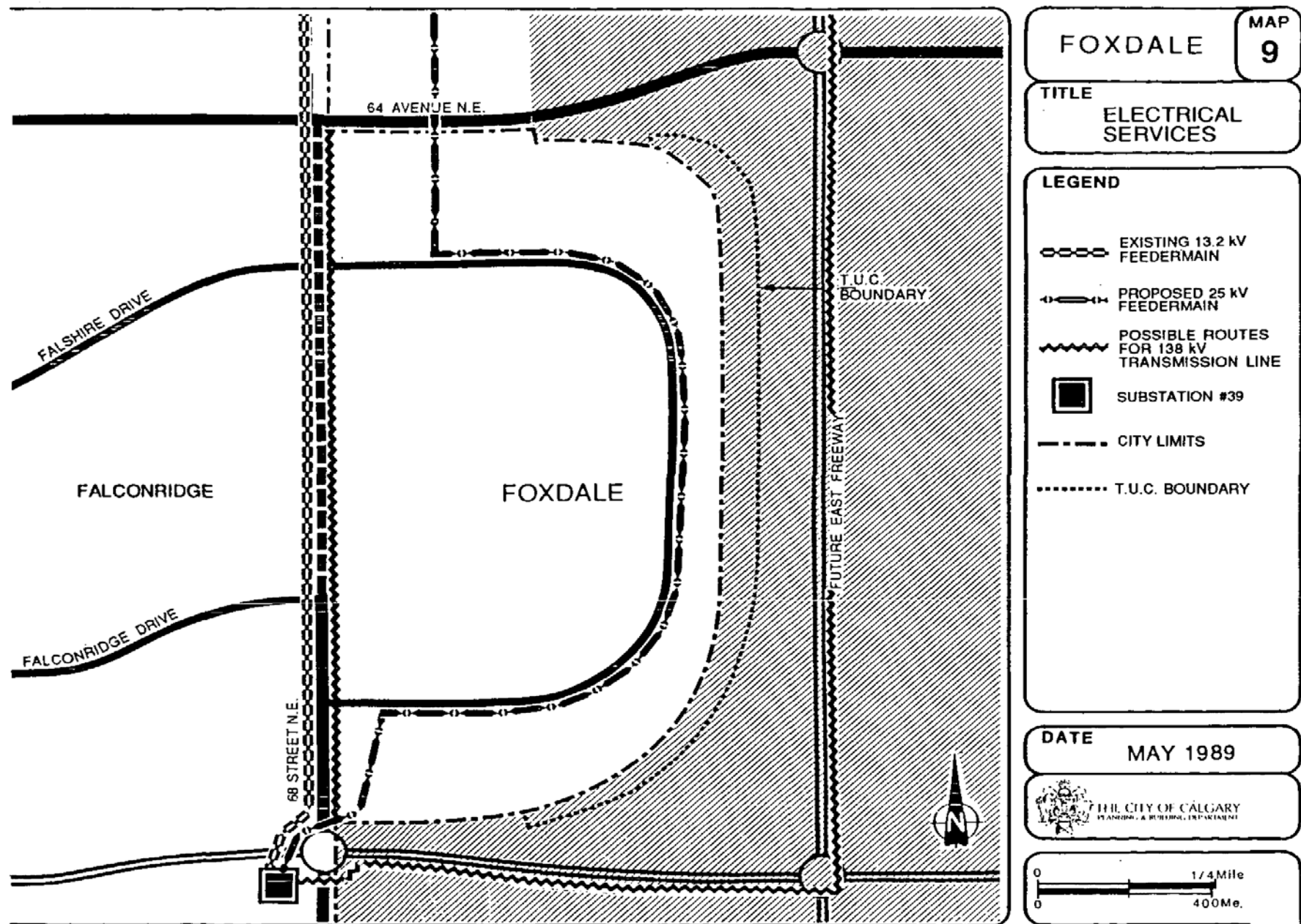
The location, size, depth and elevation of the proposed dry ponds and their drainage channels, the extent of the catchment areas and other engineering details are yet to be determined to the satisfaction of the Engineering Department.



5.1.4 Electrical Service (Map 9)

The area will be serviced by an underground 25 kV feeder, from Substation No. 39 located on the southwest corner of McKnight Boulevard and 68 Street N.E.

A future 138 kV transmission line may be extended from Substation No. 39 north, along the east side of 68 Street N.E. It is more likely, however, that this transmission line will be located within the T.U.C. boundary as shown on Map 9.



5.1.5 Natural Gas (Map 10)

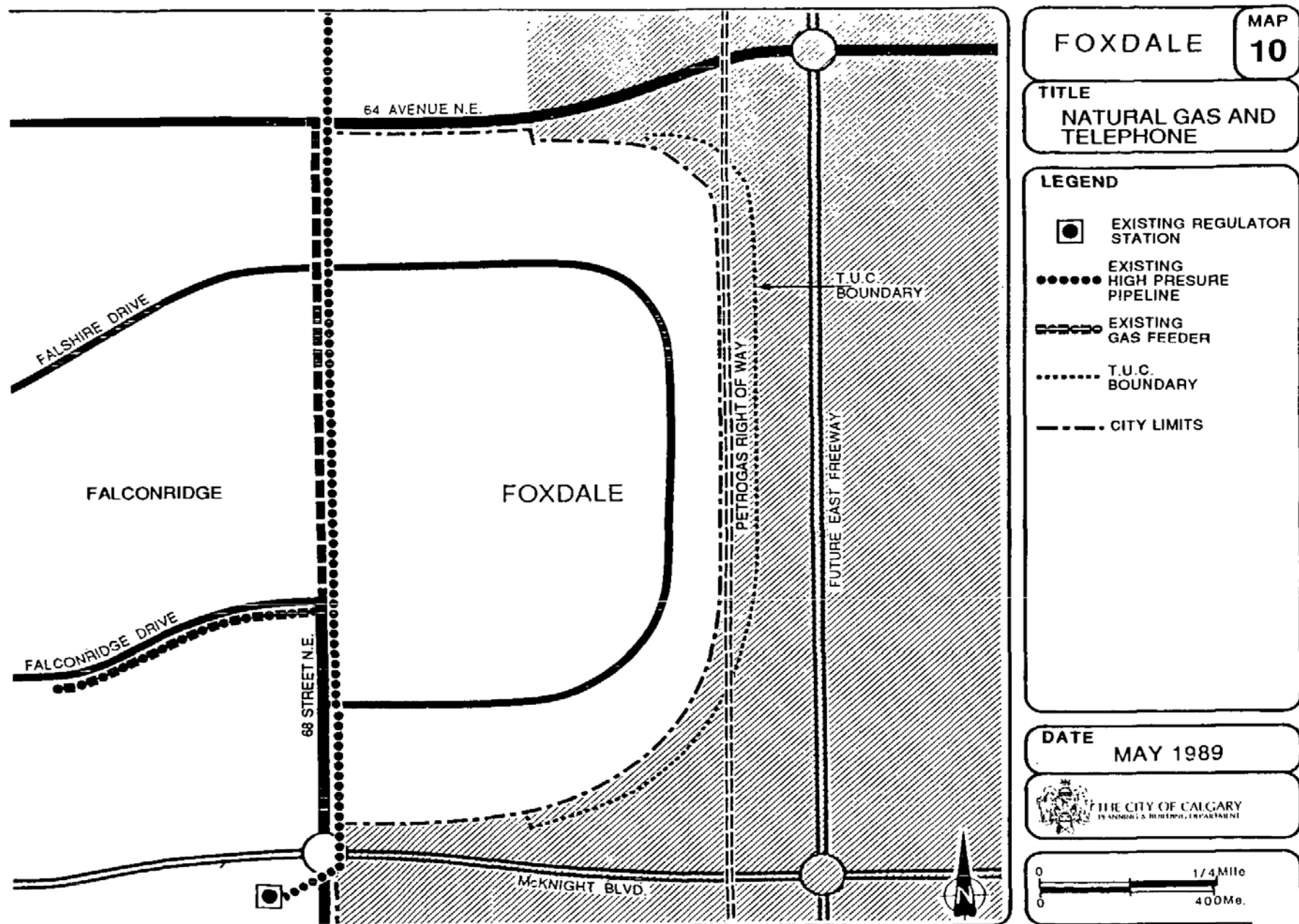
Gas mains can be extended from Falconridge Drive to service Foxdale. The mains will generally follow the street layout.

A regulator station is located on the southwest corner of 68 Street N.E. and McKnight Boulevard. A 400 mm (16 inch) high pressure pipeline extends from this regulator station along the east side of 68 Street N.E. within a 15 metre (50 foot) easement.

A 15 metre (50 foot) setback from a high pressure pipeline is required of any residential building.

5.1.6 Telephone and Cable T.V. (Map 10)

A telephone exchange is located at 6315 McKnight Boulevard, which can provide Foxdale with telephone service through extension of the existing cable from Falconridge Drive. Cable T.V. can also be extended from the same location.



6.1 COMMUNITY SERVICES

6.1.1 Police Service

District 4 Office, at 3207 – 12 Avenue N.E., will extend police service to the study area.

6.1.2 Fire Protection and Emergency Medical Service

Station No. 22, located at 52 Street N.E. and Temple Drive, will provide fire protection and emergency medical service. Another station may be required in the future for the Saddleridge area.

6.1.3 Library Service

The Calgary Public Library Board is currently evaluating future city-wide needs for library branches. The results of this evaluation will provide a basis for identifying possible future locations in various parts of the city, which may affect the service available to Foxdale residents.

The nearest library branch at present is the Village Square Library Branch, located at 2623 – 56 Street N.E. It is also possible that the bookmobile currently servicing Falconridge and Castleridge may make regular stops at Foxdale.

6.1.4 Social Services

Municipal social services will be provided from the City of Calgary Social Services Department's Village Square Office, located at 2623 – 56 Street N.E. Provincial social services will be provided from Alberta Social Services' Radisson District Office, located at 525 – 28 Street S.E.

6.1.5 Public Health Service

The Village Square District Office, located at 2623 – 56 Street N.E., will provide the public health service to Foxdale.