

**REPORT TO THE SUBDIVISION AND
DEVELOPMENT APPEAL BOARD**

DATE: June 12, 2025	APPEAL NO.: SDAB2025-0060 FILE NO.: DP2024-08233
APPEAL BY: Krista Beavis for Crescent Heights Community Association	
FROM A DECISION OF THE DEVELOPMENT AUTHORITY where a New: Single Detached Dwelling (east lot) was approved at <u>114 7 Avenue NW.</u>	LAND USE DESIGNATION: R-CG Discretionary
COMMUNITY OF: Crescent Heights	DATE OF DECISION: April 28, 2025
APPLICANT: John Trinh & Associates, represented by Rick Grol	OWNER: 2640794 Alberta Ltd., represented by Rick Grol

Notes:

- Notice has been given of the hearing pursuant to the *Municipal Government Act* and Land Use Bylaw, including notices to parties who may be affected by the appeal. The final determination of whether a party is an “affected person” will be made by the Board if required.
- This Report is provided as a courtesy only. The Board’s record may include additional materials, including notifications to affected parties and correspondence of a procedural or administrative nature. The Board’s record may be viewed at the Appeal Board office at: 4th Floor, 1212 31 Avenue NE, Calgary, Alberta during regular office hours.

In accordance with Sections 678 and 686 of the Municipal Government Act and The City of Calgary Bylaw 25P95, as amended, an appeal to the Subdivision and Development Appeal Board must be filed within the legislated time frame and each Notice of Appeal must be accompanied by the legislated fee.

Municipal Address of Site Under Appeal [required]	114 7 Ave NW
Development Permit/Subdivision Application/File Number [required]	DP2024-08233
Name of Appellant [required]	Krista Beavis
Agent Name (if applicable)	
Street Address [required]	305 7 Ave NE
hdnFullAddress	305 7 Ave NE Calgary AB T2E 0N1
City [required]	Calgary
Province [required]	Alberta
Postal Code [required]	T2E 0N1
Residential Phone # [required]	(403) 614-2246
Business Phone #	
Email Address [required]	krista@crescentheightsyc.ca

APPEAL AGAINST

Required field. Check one item only: for multiple appeals you must submit another Notice of Appeal.

Development Permit Approval

I do hereby appeal the decision of the Subdivision/Development Authority for the following reasons [required]

The approved plans to not comply more than one of the the North Hill Communities Local Area Plan - Heritage Guidelines.

In order to assist the Board in scheduling, please answer the following questions to the best of your ability:

Estimated Presentation Time 30 minutes

Will you be using an agent/legal counsel? [required] Unknown

Do you anticipate any preliminary issues with your appeal? (i.e. jurisdiction, parties status as affected persons, adjournment, etc.)? [required] No

If yes, what are the issues?

Do you anticipate bringing any witnesses/experts to your hearing? [required] Unknown

If yes, how many will you be bringing?

I confirm and acknowledge that

- *I have read and understood this form;*
- *The information I have provided is accurate to the best of my knowledge; and*
- *I am responsible for paying the appeal fee and my notice of appeal will not be considered filed until my appeal fee has been received.*

Submission Date 2025-05-19 13:59:31 MST

This personal information is collected under the authority of the Freedom of Information and Protection of Privacy Act, section 33(c) and the Municipal Government Act, Sections 678 and 686. THIS INFORMATION WILL BE USED FOR PROCESSING YOUR APPEAL AND WILL BECOME PART OF A PUBLIC AGENDA. If you have any questions regarding the collection of this information, contact the Tribunal Coordinator, City Appeal Boards at 403-268-5312 or PO Box 2100, Stn "M", #8110, Calgary, AB, T2P 2M5.

If you require further information regarding appeal deadlines and procedures, please contact the SDAB office at:

Website: calgary.ca/sdab

Phone: (403) 268-5312

Email: info@calgarysdab.ca

CRESCENT HEIGHTS HERITAGE COMMITTEE

1101 – 2 St NW, Calgary, AB, T2M 2V7 | 403.614.2246 | heritage@crescentheightsyyc.ca

June 2, 2025

Calgary Subdivision and Development Appeal Board
1212 – 31 Ave NE, 4th floor
Calgary, AB

Dear Mister or Madam Chair:

I am writing to appeal the approval of DP2024-08233 (SDAB2025-0060) at 114 - 7 Ave NW on behalf of the Crescent Heights Heritage Committee. Our Committee is tasked by the Crescent Heights Community Association Board with ensuring the best possible outcomes from the North Hill Communities Local Area Plan - Section 2.6.2 Heritage Guidelines (HGs) as they apply to new developments within our community.

The subject site currently includes a 1924 one storey house, and the proposed new development includes two 2-storey single detached dwellings (see related appeal SDAB2025-0061). Only the relevant approved development permit (DP2024-08233) will be included herein (Figure 1).

The HGs were approved by the Mayor and Council in December 2022, and all renovations and developments submitted for permits are required to align with the HGs. Per the City of Calgary's Engage website¹: "The Heritage Guidelines will help ensure new development respects the historic character of existing homes and positively contributes to the ongoing historic nature of these areas. When the Heritage Guidelines are in place, any plans to build or renovate homes within the boundaries must meet the Heritage Guidelines." The HGs direct designers on elements that are expected for renovations and new developments that align with existing heritage assets within communities (Appendix 1). The City also provides an implementation guide to further assist redevelopment in the applicable areas (Appendix 2).

Members of our Committee were involved in the development of the HGs and we welcomed their implementation in December 2022. We educate our residents and those interested in moving to or developing within the community by: a) placing lawn signs that indicate which blocks are within the HGs, b) maintaining a Community Planning page on the Crescent Heights Community Association website which in part includes a map and description of the HGs², and c) working directly with applicants to understand implementation and expectations of the HGs.

Our Planning and Heritage Committees reviewed the original plans associated with the subject development permit and submitted our comments through the Development Map in December 2024. We evaluated the plans against the HGs and noted that the plans did not align with HGs 1, 4, 11, 12, 14, 15 and 16.

On May 1, 2025 our Committees received notice that the DP was approved with modified development plans. We reviewed the approved plans against a Committee-generated matrix for evaluating developments against the HGs. We found numerous aspects still do not align with the HGs (Appendix 3). Specific discrepancies are illustrated below.

¹ <https://engage.calgary.ca/NHCheritageguidelines>

² <https://crescentheightsyyc.ca/planning/developers/>

HGA 4. Where a public boulevard with canopy trees is not present, landscaping should include at least one deciduous tree in the front setback area or within the boulevard, where feasible, that will contribute to a mature tree canopy.

There is currently one tree within the boulevard and two trees within the front setback area of the property. All of these existing trees are slated for removal, and no new plantings are indicated in the development plans.

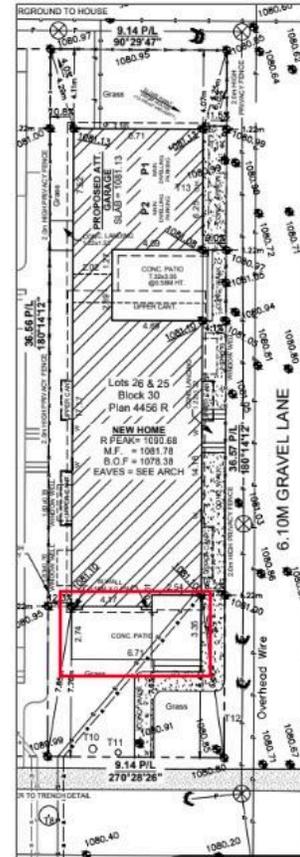


TREE SCHEDULE:

Tree No.	Variety	Trunk (#±)	Canopy (#±)	Height (±)	Location	Disposition
T1	Deciduous	0.40	6.00	10.00	In Subject Property	To Be Removed
T2	Deciduous	0.20	5.00	6.00	In Subject Property	To Be Removed
T3	Deciduous	0.50	4.00	10.00	In Subject Property	To Be Removed
T4	Deciduous	0.20	4.00	10.00	In Subject Property	To Be Removed
T5	Bush	-	4.00	5.00	On Property Line	To Be Removed
T6	Deciduous	0.40	6.00	8.00	In Adjacent Property	To Stay
T7	Deciduous	0.10	2.00	8.00	In City Property	To Stay
T8	Deciduous	0.05	2.00	8.00	In City Property	T.B.R
T9	Bush	-	1.00	2.00	On Property Line	To Be Removed
T10	Deciduous	0.40	5.00	8.00	In Subject Property	To Be Removed
T11	Deciduous	0.30	2.00	8.00	In Subject Property	To Be Removed
T12	Bush	-	1.50	4.00	On Property Line	To Be Removed
T13	Bush	-	3.00	3.00	In Subject Property	To Be Removed
T14	Deciduous	0.20	3.00	8.00	In Subject Property	To Be Removed
T15	Bush	-	2.00	3.00	In Subject Property	To Be Removed
T16	Deciduous	0.20	4.00	4.00	In Subject Property	To Be Removed

HGA 11. Development should provide a front projection on the main floor that may be covered or enclosed and that comprises at least a third of the width of the front main floor façade for each unit visible from the street. This front projection could include elements such as: porches, patios, verandas, or sunrooms.

The approved development plans indicate a concrete slab at the front of the residence; however, this is neither covered or enclosed and doesn't constitute a front projection from the dwelling.



HGA 13. Large uninterrupted floor to ceiling windows are discouraged.

HGA 15. Windows are encouraged to include wide casings or frames.

The applicant has done a good job in horizontally dividing the large windows on the second storey of the dwelling. The windows on the first storey should be similarly divided. Wide casings should be added to the second storey windows.



Our Committee is eager to work with this and other developers to help them align their development plans with the HGs. Crescent Heights residents value the heritage look and feel of our community...one of the oldest in Calgary. We request that the applicant be required to amend their plans to comply with the HGs.

Sincerely,

A handwritten signature in black ink, appearing to read "K Beavis". The signature is fluid and cursive, with the first letter "K" being particularly large and stylized.

**Krista Beavis,
on behalf of the Crescent Heights Heritage Committee**

cc: Dan Evans, Simonetta Acteson, Brenda Erskine, Isabelle Jankovic, Adam Schwartz

2.6.2 Heritage Guideline Areas

Introduction

To celebrate the history of the North Hill Communities as some of Calgary's earliest neighbourhoods and respect the area's heritage, **Heritage Guideline Areas** have been identified for areas that have concentrated groups of **heritage assets**. **Heritage assets** are privately owned buildings, typically constructed prior to 1945, that significantly retain their original form, scale, massing, window/door pattern, and architectural details or materials. Portions of the North Hill Communities have concentrations of **heritage assets**, as identified on Map 5. These guidelines apply to block faces where more than 25% of the buildings have been identified as **heritage assets**. Buildings that qualify as **heritage assets** may be on the **Inventory of Evaluated Historic Resources** but are not required to be.

The **Heritage Guideline Areas** are named after the historic neighbourhoods that formed the urban beginnings of the individual communities that now comprise the North Hill Communities. While the names of some of these historic neighbourhoods are still reflected in many of the current communities, the exact location of these early neighbourhoods often differ from the current boundaries. Nonetheless, this historic nature of these communities help define the character for residents and visitors. The **Heritage Guideline Areas** include the historic subdivisions of:

- Balmoral;
- Beaumont / Regal Terrace;
- Crescent Heights;
- Mount Pleasant;
- Mount View;
- Pleasant Heights;
- Rosedale; and,
- West Mount Pleasant.

The Plan applies locally-specific guidelines to the identified **Heritage Guideline Areas**. These guidelines are informed by the historic building forms and elements of **heritage assets** in the area with the intent of ensuring that new development fits into the historic fabric and context. The guidelines are not meant to limit new development, but rather to ensure that new buildings in the **Heritage Guideline Areas** are designed to complement the historic form within the guideline areas. The guidelines are intended to apply primarily to new residential and mixed-use buildings in the guideline areas.

The guidelines will be applied through the development permit process, in addition to the other policies in this Plan, to ensure new development responds to and contextually fits with existing **heritage assets**. In applying the guidelines, consideration should be given to the immediate context, including **heritage assets** and **Municipal Historic Resources**. There are many design approaches that can be taken to meet the guidelines and the guidelines aren't intended to directly recreate historic architectural styles for new development. In other words, contemporary designs are appropriate provided they incorporate design elements that allow them to contribute to and enhance the historic character of the **Heritage Guideline Areas**.

Guidelines

General

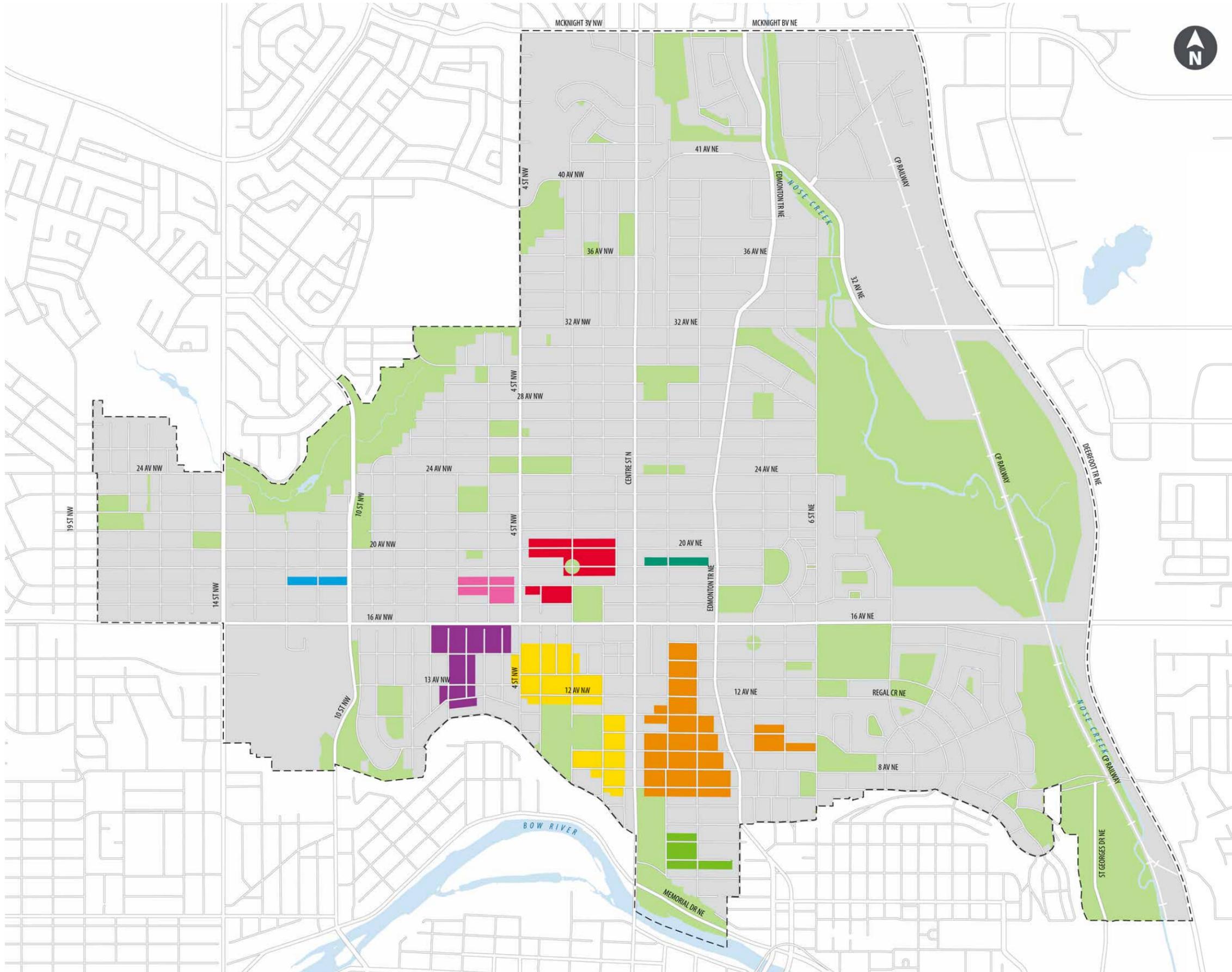
1. Land use redesignations that would allow for a development with permitted use dwelling units should not be supported in the **Heritage Guideline Areas**.
2. Development should draw design reference from nearby **heritage assets** within the applicable **Heritage Guideline Area**.

Site and Landscape Design

3. Notwithstanding the minimum **Land Use Bylaw** setback, front yard setbacks should be informed by the existing **heritage assets** on the block.
4. Development should provide well-defined and direct pathway connections from front doors to the sidewalk and **public realm**.
5. Where a public boulevard with canopy trees is not present, landscaping should include at least one deciduous tree in the front setback area or within the boulevard, where feasible, that will contribute to a mature tree canopy.

Roofs and Massing

6. Roof styles should be informed by and complement the **heritage assets** in the area.
7. Flat roofs are strongly discouraged where visible from the street.
8. The primary roofline visible from the street should have a minimum pitch of 6:12.
9. Where new development is larger than nearby **heritage assets**, the visual impact of upper storeys of buildings should be reduced by employing design measures such as:
 - a. The use of compound roofs (e.g., cross-gabled) to hide the upper storey;
 - b. Shifting massing away from smaller-scale buildings; or
 - c. Reduced building massing on upper storeys.



Map 5:
Heritage
Guideline Areas

Legend

- Balmoral
- Beaumont/
Regal Terrace
- Crescent Heights
- Mount Pleasant
- Mount View
- Pleasant Heights
- Rosedale
- West Mount Pleasant
- Parks, Civic
and Recreation
- Plan Area Boundary

Approved: 18P2020
Amended: 65P2022

- 10. Developments with more than one unit should have distinct rooflines that accentuate individual units.
- 11. Buildings with a front façade width exceeding 12 metres or a height exceeding two storeys are encouraged to mitigate their visual impact through variations in:
 - a. massing;
 - b. rooflines; or
 - c. materials.

Front Facades

- 12. Development should provide a front projection on the main floor that may be covered or enclosed and that comprises at least a third of the width of the front

main floor façade for each unit visible from the street. This front projection could include elements such as:

- a. porches;
- b. patios;
- c. verandas; or
- d. sunrooms.

- 13. Front facades should reference the vertical and horizontal pattern of the streetscape, specifically existing **heritage assets** on the block.

Windows, Materials and Details

- 14. Large uninterrupted floor-to-ceiling windows are discouraged.

- 15. Horizontal window openings are encouraged to be divided into groupings of smaller vertically oriented windows.
- 16. Windows are encouraged to include wide casings or frames.
- 17. The use of natural or natural-looking building materials is encouraged.

- 18. Where multiple building materials are used, heavier-looking materials (e.g., masonry or masonry veneer) should be used on the base of the building. **Bylaw 65P2022**



Photo: Example of front setback and tree plantings



Photo: Example of front facades and roofs and massing.



Vertical style window



Natural materials



Heavier materials at base of building

Photo: Example of front facades and roofs and massing.



North Hill Communities Heritage Guidelines Implementation Guide



Table of Contents

Heritage Guideline Areas	3
Guidelines Overview	4
Site and Landscape Design	5
Roofs and Massing	6
Front Façades.....	7
Windows, Materials and Details.....	8

Heritage Guideline Areas

What is a Heritage Guideline Area?

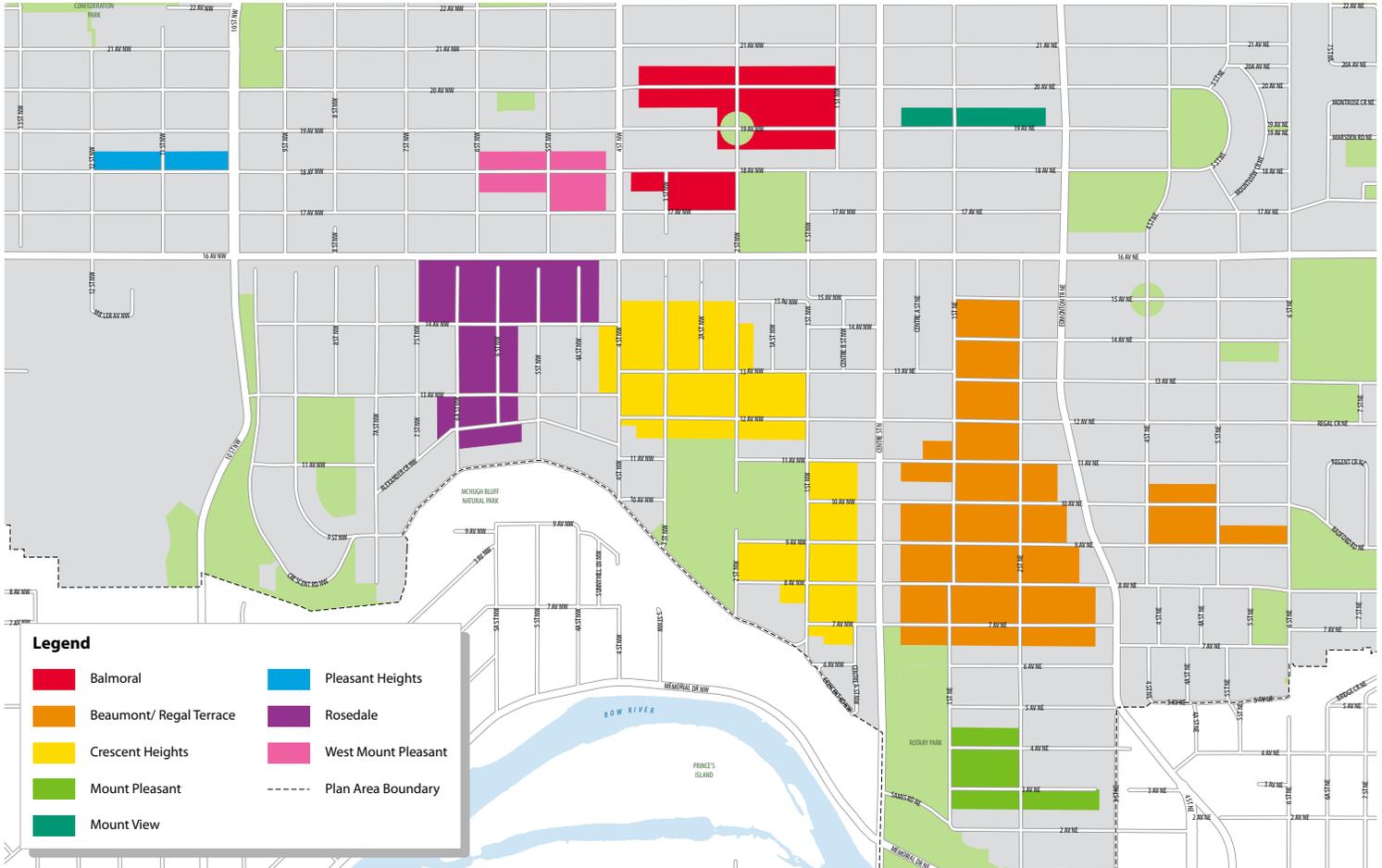
Heritage Guideline Areas are identified in a Local Area Plan and indicate where there are concentrations of **heritage assets**, sometimes referred to as “character homes.” In these areas, both new developments and major exterior renovations to existing buildings are made subject to a discretionary review and approval process by The City. The application design guidelines also promote the integration of historic design characteristics found in local **heritage assets**.

The Heritage Guidelines address general characteristics of buildings rather than enforcing strict architectural rules. Although the design of new development

needs to be sensitive to and respect the existing **heritage assets**, the intent of the guidelines is not to require new development to have a fake historic appearance. Instead, the guidelines are written to encourage modern development that is highly-contextual and echoes the past context established by **heritage assets**.

What are heritage assets?

Heritage assets are privately-owned buildings, typically constructed before 1945, that retain most of their original style, design, details and construction materials as determined through a visual assessment.



Guidelines Overview

The Heritage Guidelines apply to new development and significant exterior renovations in the Heritage Guideline Areas. They ensure that new development responds to and supports the historic character in these areas. The Heritage Guidelines address four overarching design categories:

- Site and Landscape Design
- Roofs and Massing
- Front Façades
- Windows, Materials and Details

Overall, the Heritage Guidelines encourage new development to take design inspiration from nearby **heritage assets** in ways that complement the unique and historic qualities of **heritage assets** while allowing for modern interpretations.

The images shown throughout this implementation guide show various ways that new development can respond to existing **heritage assets**. For example, various scales of development may occur in the Heritage Guideline Areas and the images included show how these varying scales can incorporate the design guidelines.

Example block within a Heritage Guideline Area



Windows, Materials and Details



Front Façade



Site and Landscape Design



Roofs and Massing

Site and Landscape Design

Site and landscape design are important factors in how a building fits in with the surrounding area. Proper building setbacks from the street and trees in the front yard or boulevard help a building fit in with existing homes.

Applicable Heritage Guidelines:

- Front setbacks for new development should be generally aligned with **heritage assets** on the block.
- If a public boulevard with canopy trees is not present, at least one canopy tree should be planted in the front setback area or within the boulevard, where possible.



Example of front setback and tree planting within a Heritage Guideline Area



Roofs and Massing

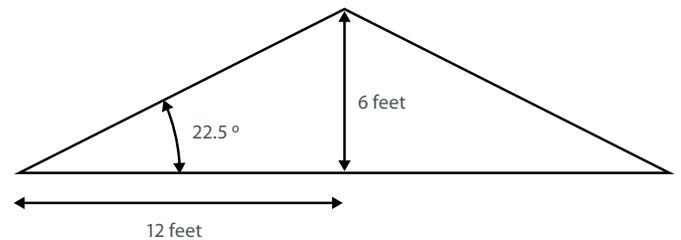
The roof style and design of a building influence how well it fits in with surrounding **heritage assets**. The intent of policies in this section are to reduce the visual impact of new development by considering roof design and building massing (e.g., size and shape), particularly in how they relate to **heritage assets**.

Applicable heritage guidelines:

- Roof styles should be consistent with the **heritage assets** in the area.
- The primary roofline visible from the street should have a minimum pitch of 6:12.
- Flat roofs are strongly discouraged where visible from the street.
- Where new development is larger than nearby **heritage assets**, the visual impact of upper storeys of buildings should be reduced by using design measures such as:
 - Using compound roofs (e.g., cross-gabled) to hide the upper storey.
 - Shifting massing away from smaller-scale buildings.
 - Reducing building massing on upper storeys.
- Developments with more than one unit should have distinct rooflines that accentuate individual units.
- Buildings with a front façade width exceeding 12 metres or height exceeding two storeys are encouraged to minimize their visual impact through variations in massing, rooflines or materials.



6:12 Pitched roof example



Example of roofs and massing within a Heritage Guideline Area



Front Façades

The front façade of a building provides an important relationship between a building and the street. This is how the building is most often viewed and therefore it is important that the front façade take cues from surrounding **heritage assets**.

Applicable Heritage Guidelines:

- Development should provide a front projection on the main floor, which may be covered or enclosed (with significant glazing), that makes up at least a third of the width of the front main floor façade for each unit visible from the street. This front projection could be in forms such as porches, patios, verandas or sunrooms.
- Front façades should reference the vertical and horizontal pattern of the streetscape, specifically existing **heritage assets** on the block.

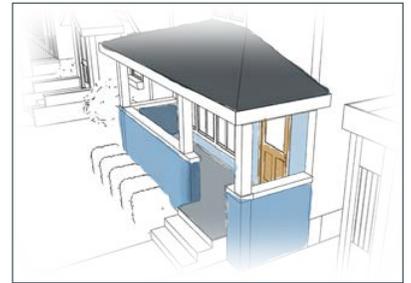
Examples of front projections



Full width verandah



Enclosed entryway



Hipped verandah



Flat verandah



Gable verandah



Shed verandah

Example of front façades within a Heritage Guideline Area



Windows, Materials and Details

Throughout the Heritage Guideline Areas certain defining historical details exist, visible in the **heritage assets**. The Heritage Guidelines ensure new developments include some of these details, while also allowing for modern interpretation and design.

Applicable Heritage Guidelines:

- Where multiple building materials are used, heavier-looking materials (e.g., masonry or masonry veneer) should be used on the base of the building.
- Large uninterrupted floor-to-ceiling windows are discouraged.
- Horizontal window openings are encouraged to be divided into groupings of smaller vertically oriented windows.
- Windows are encouraged to include wide casings or frames.
- The use of natural or natural-looking building materials is encouraged.



Example of windows, materials and details within a Heritage Guideline Area



Vertical style windows



Natural materials

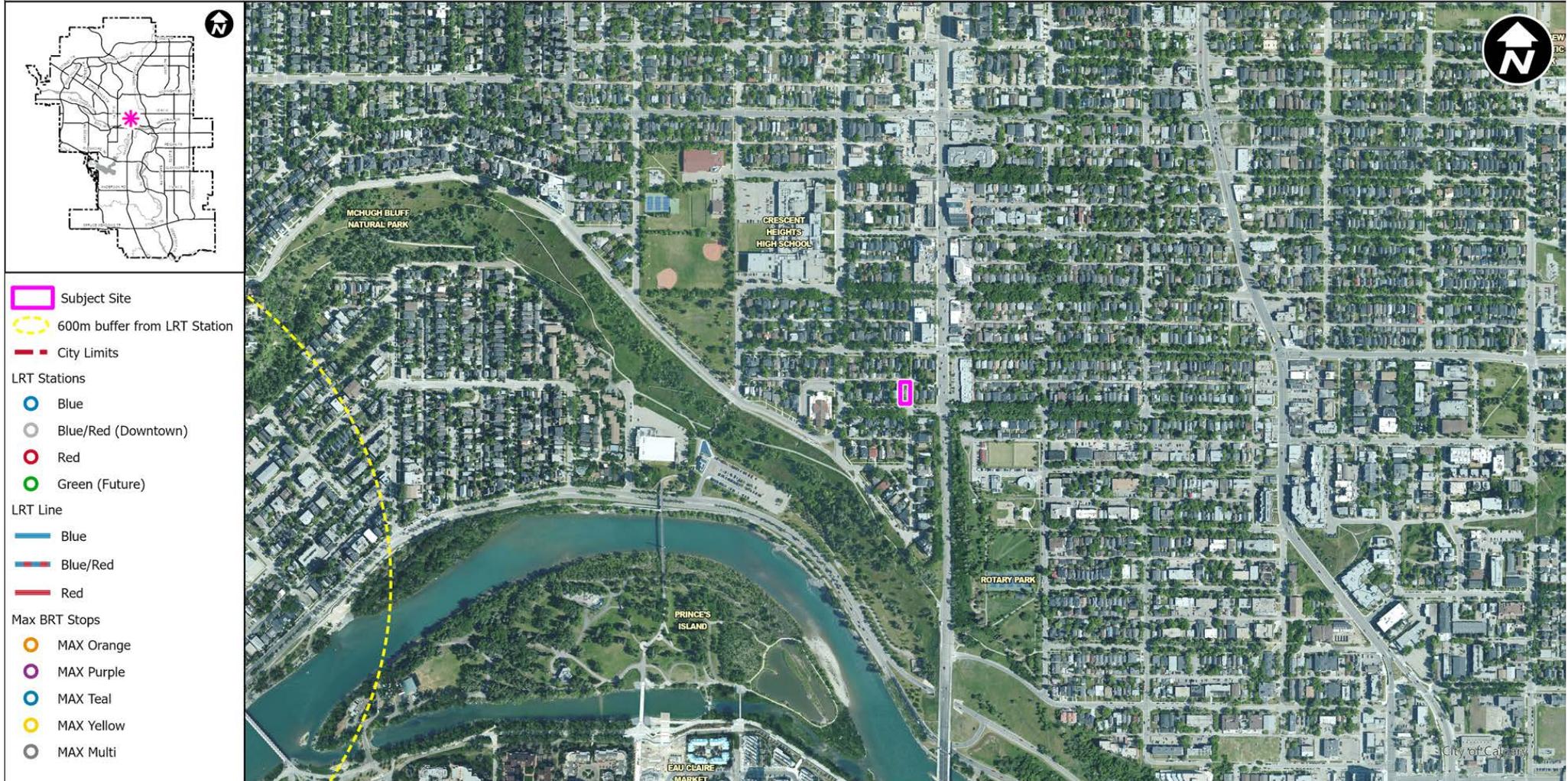


Heavier materials at base of building

North Hill Communities Heritage Guideline Alignment Assessment				
	Heritage Guideline Area:	Crescent Heights		
	DP File Number:	DP2024-08233		
	Street Address:	114 - 7 Ave NW		
	Applicant/Design Firm:			
	File Manager:	Daniel Bronson		
	Date Reviewed:	December 11, 2024		
Guideline	Requirement	Notes	Evaluation	Remedy
General				
	<i>Development should draw design reference from nearby heritage assets within the applicable Heritage Guideline Area.</i>	See comments below.	Complies with Guideline	
Site and Landscape Design				
	<i>Notwithstanding the minimum Land Use Bylaw setback, front yard setbacks should be informed by the existing heritage assets on the block.</i>		Complies with Guideline	
	<i>Development should provide well-defined and direct pathway connections from front doors to the sidewalk and public realm.</i>		Complies with Guideline	
	<i>Where a public boulevard with canopy trees is not present, landscaping should include at least one deciduous tree in the front setback area or within the boulevard, where feasible, that will contribute to a mature tree canopy.</i>	There is a boulevard present with one tree on the property line with the lot to the west. This tree, T8, is slated to be removed. Trees T10 and T11, in the front setback are also slated to be removed.	Does Not Comply	Add at least one deciduous canopy tree planting to the front setback area.
Roofs and Massing				
	<i>Roof styles should be informed by and complement the heritage assets in the area.</i>		Complies with Guideline	
	<i>Flat roofs are strongly discouraged where visible from the street.</i>		Complies with Guideline	
	<i>The primary roofline visible from the street should have a minimum pitch of 6:12.</i>		Complies with Guideline	
	<i>Where new development is larger than nearby heritage assets, the visual impact of upper storeys of buildings should be reduced by employing design measures such as: compound roofs (eg. cross-gabled) to hide the upper story, shifting massing away from smaller scale buildings, or reducing building massing on upper storeys.</i>		Complies with Guideline	
	<i>Developments with more than one unit should have distinct rooflines that accentuate individual units.</i>		Does Not Apply	
	<i>Buildings with a front facade width exceeding 12 metres or a height exceeding two storeys are encouraged to mitigate their visual impact through variations in massing, rooflines, or materials.</i>		Does Not Apply	
Front Facades				
	<i>Development should provide a front projection on the main floor that may be covered or enclosed and that comprises at least a third of the width of the front main floor façade for each unit visible from the street. This front projection could include elements such as: porches, patios, verandas, or sunrooms.</i>	The development does not have a front projection, only a front step that is in line with the front of the building, and a concrete patio.	Does Not Comply	Create a covered or enclosed front projection.
	<i>Front facades should reference the verticle and horizontal pattern of the streetscape, specifically existing heritage assets on the block</i>		Complies with Guideline	
Windows, Materials and Details				
	<i>Large uninterrupted floor to ceiling windows are discouraged.</i>	The main floor window at the front of the development is essentially floor-to-ceiling and not subdivided horizontally.	Does Not Comply	Add a horizontal subdivision to the front main floor window, similar to that above on the second floor.

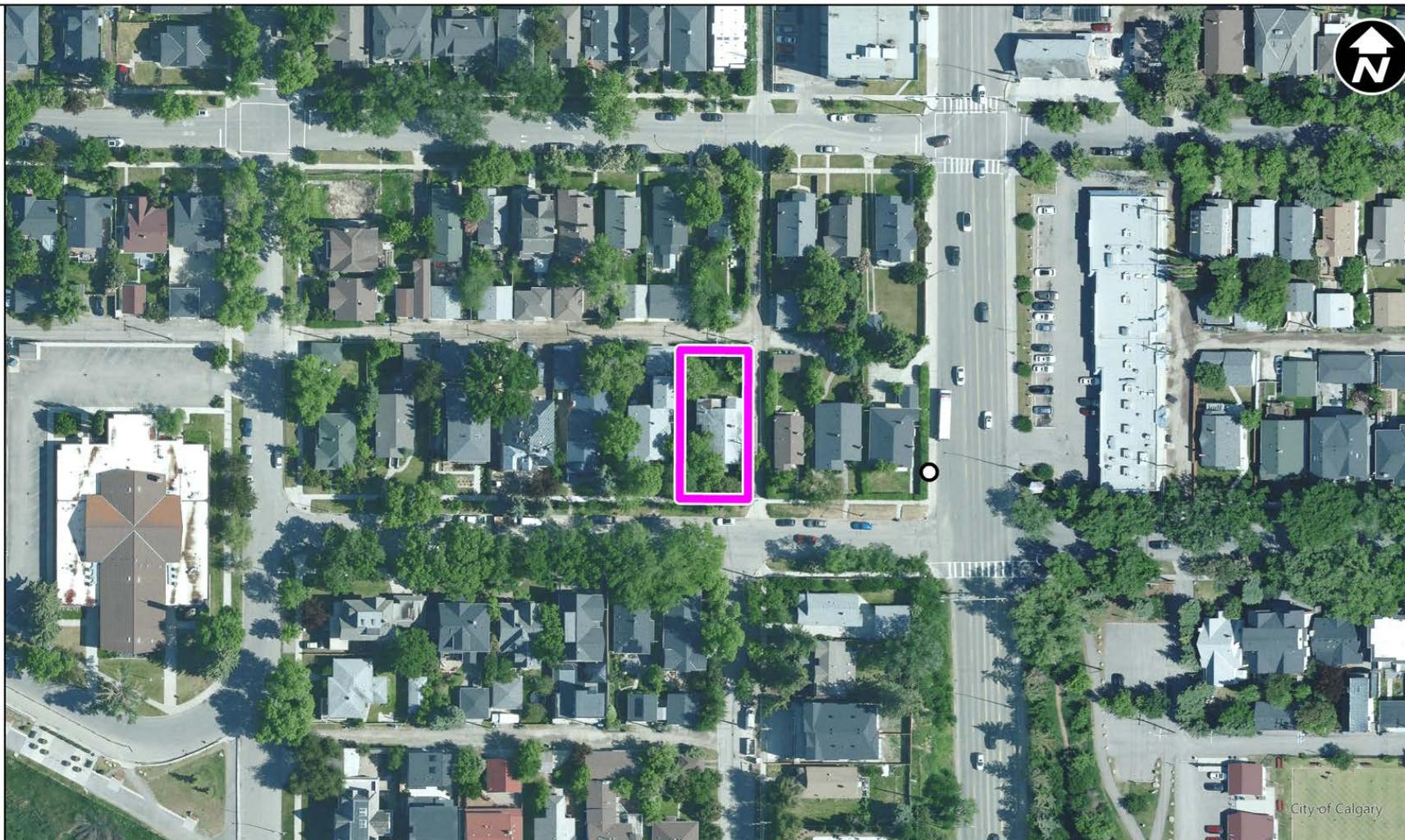
	<i>Horizontal window openings are encouraged to be divided into groupings of smaller vertically oriented windows.</i>		Complies with Guideline	
	<i>Windows are encouraged to include wide casings or frames.</i>		Does Not Comply	Add wide casings to the street-facing windows.
	<i>Use of natural or natural looking building materials is encouraged.</i>		Complies with Guideline	
	<i>Where multiple building materials are used, heavier-looking materials (eg. masonry or masonry veneer) should be used on the base of the building.</i>		Complies with Guideline	

Community Context SDAB2025-0060



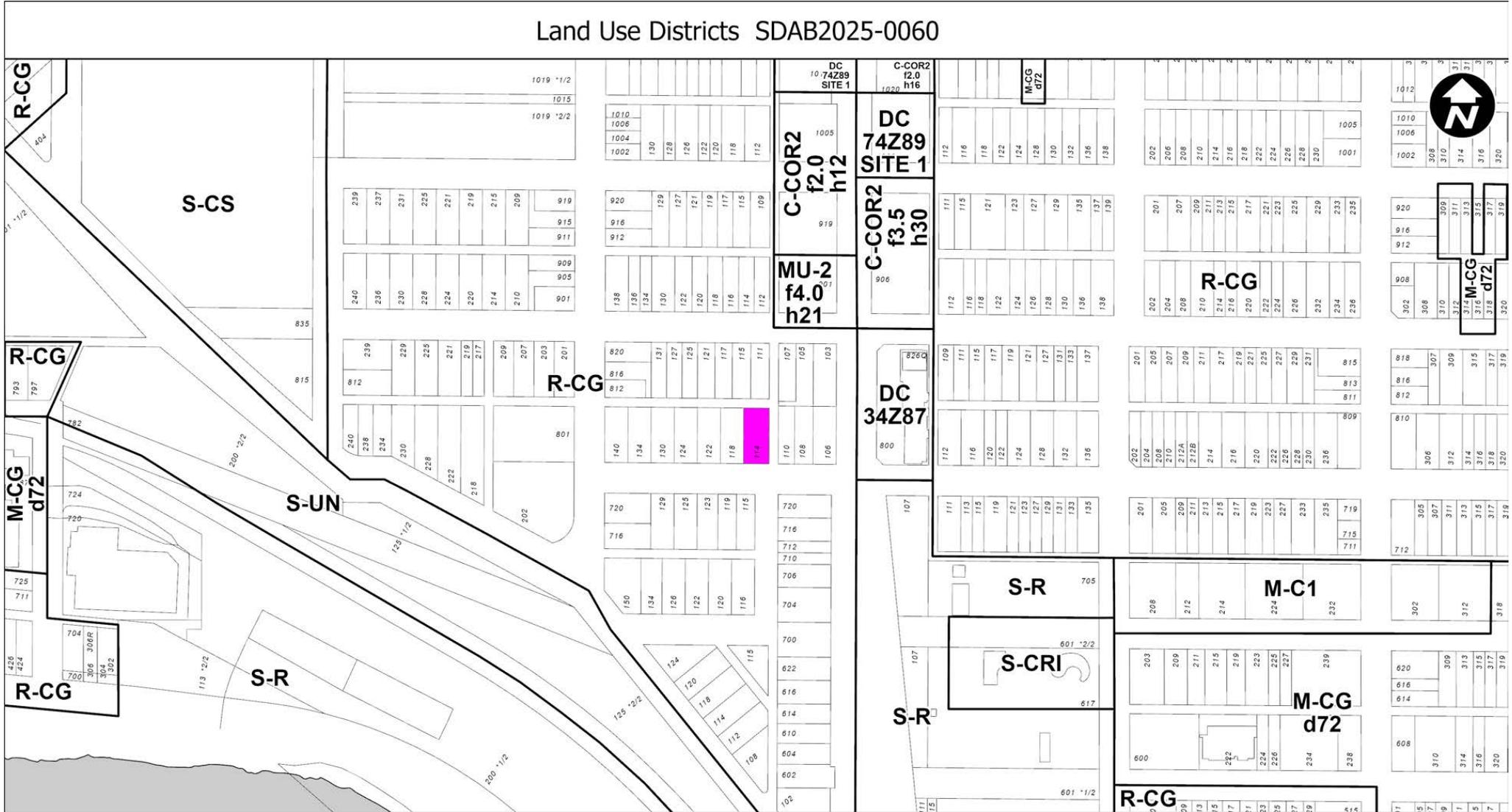
Site Context SDAB2025-0060

- Subject Site
- 600m buffer from LRT Station
- City Limits
- LRT Stations
 - Blue
 - Blue/Red (Downtown)
 - Red
 - Green (Future)
- LRT Line
 - Blue
 - Blue/Red
 - Red
- Max BRT Stops
 - MAX Orange
 - MAX Purple
 - MAX Teal
 - MAX Yellow
 - MAX Multi
 - Bus Stop

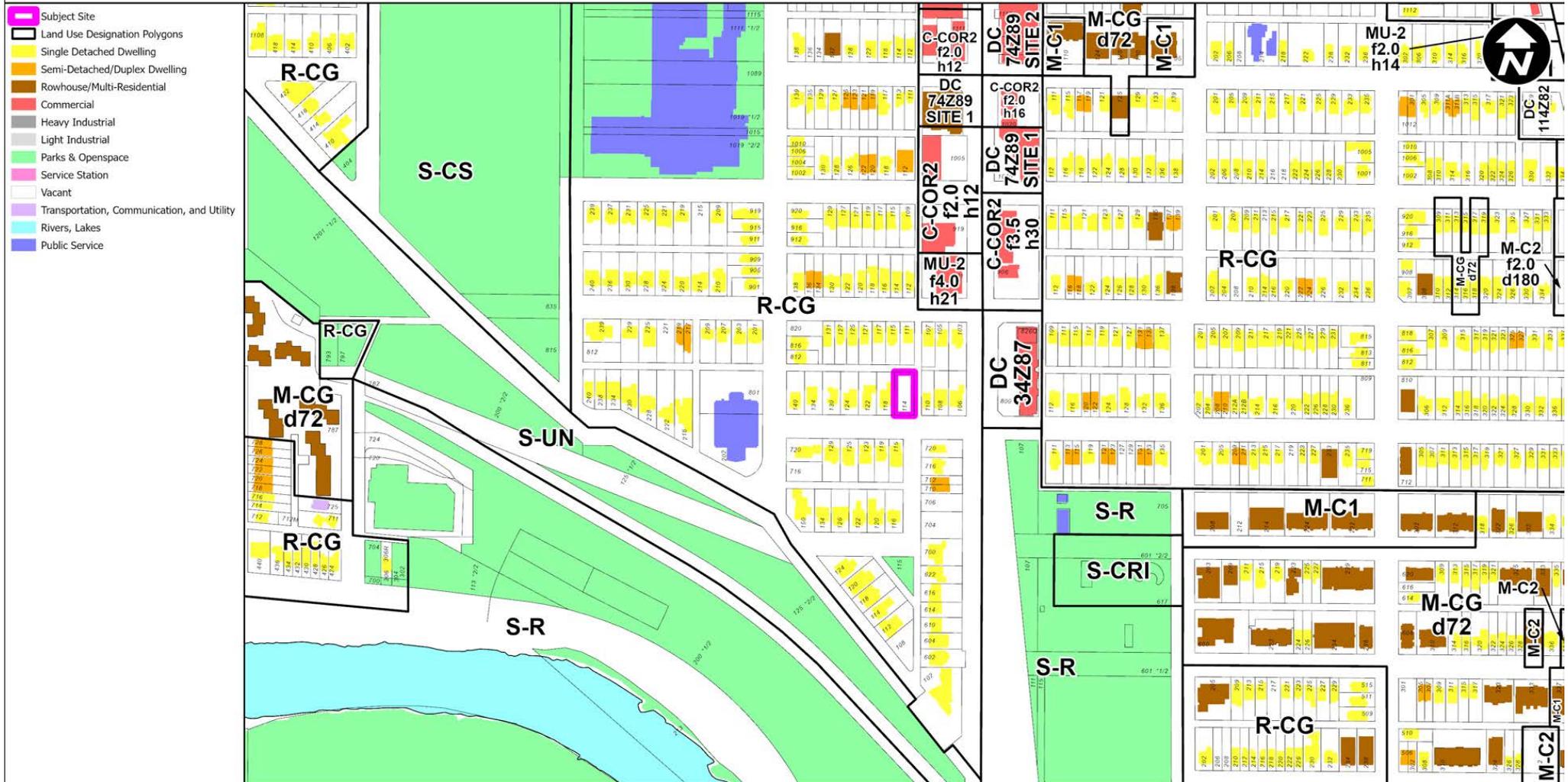


City of Calgary

Land Use Districts SDAB2025-0060



Surrounding Land Use SDAB2025-0060





April 30, 2025

JOHN TRINH & ASSOCIATES



Dear Applicant:

RE: Notification of Decision: DP2024-08233

Subject: New: Single Detached Dwelling (east lot)

Address: 114 7 AV NW

This is your notification of decision by the Development Authority to approve the above noted application on April 28, 2025.

Read all of the Permanent Conditions of approval carefully as they form part of the approval decision. The Prior to Release Requirements must be met to the satisfaction of the Development Authority before your Development Permit will be released to you. The Permanent Conditions form part of the approval decision. Advisory Comments, if applicable, are also attached and are intended to be of assistance in obtaining additional permits and supplementary information for the successful completion of your development.

Development approved by this permit must commence by April 28, 2027 or the development permit shall cease to be valid. The decision will be advertised beginning May 1, 2025 at www.calgary.ca/publicnotices, which is the start of the mandatory 21-day appeal period. This appeal period will conclude at midnight May 22, 2025. Release of the permit will occur within 2-4 business days following the conclusion of the appeal period and upon receipt of all Prior to Release requirements.

If you wish to appeal, submit your appeal with reasons and the \$200.00 filing fee to the Subdivision and Development Appeal Board within 21 days of this notice of decision being given. The appeal may be filed online at www.calgarysdab.ca or in person or by mail.

Please note that this letter is to advise you of the conditions of approval, the mandatory advertising appeal period and the timeframe in which you may appeal this decision. If no appeals have been filed during the appeal period, and the Prior to Release conditions have been met, your Development Permit will be released. Should you require clarification of the above or further information, please contact me at 403-333-5407 or by email at daniel.bronson@calgary.ca and assist me by quoting the Development Permit number.

Yours truly,

Daniel Bronson
Senior Planning Technician
Planning and Development
Attachment(s)



DEVELOPMENT PERMIT
LAND USE BYLAW NO 1P2007

DP2024-08233

This permit relates to land in the City of Calgary municipally described as:

114 7 AV NW

Community: **Crescent Heights**

L.U.D.:**R-CG**

and legally described as:

4456R;30;25,26

and permits the land to be used for the following development:

New: Single Detached Dwelling (east lot)

The present owner and any subsequent owner of the above described land must comply with any attached conditions.

The development has been approved subject to any attached conditions and to full compliance with the approved plans bearing the stamp of approval and the above development permit number.

Decision By: **Development Authority**

Date of Decision: **April 28, 2025**

Development Authority: **Maurie Loewen**

File Manager: **Daniel Bronson**

Release Date: _____

This permit will not be valid if development has not commenced by: April 28, 2027

This Development Permit was advertised on: **May 01, 2025**

This is NOT a Building Permit

In addition to your Development Permit, a Building Permit may be required, prior to any work commencing. further information, you should contact the City of Calgary, Planning, Development & Assessment - Building Regulations Division.

WARNING

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Applicant: **JOHN TRINH & ASSOCIATES**

Address: [REDACTED]

City: **CALGARY, AB, T2G 1M7**

Phone: [REDACTED]



**DEVELOPMENT PERMIT
LAND USE BYLAW NO 1P2007**

DP2024-08233

Complete Address and Legal Description listing for Development Permit DP2024-08233

Address Type	Address	Legal Description
Parcel	114 7 AV NW	4456R;30;25,26



Conditions of Approval – Development Permit

Application Number:	DP2024-08233
Application Description:	New: Single Detached Dwelling (east lot)
Land Use District:	Residential - Grade-Oriented Infill
Use Type:	Discretionary
Site Address:	114 7 AV NW
Community:	CRESCENT HEIGHTS
Applicant:	JOHN TRINH & ASSOCIATES
Planning:	DANIEL BRONSON 403-333-5407 daniel.bronson@calgary.ca

Prior to Release Requirements

The following requirements shall be met prior to the release of the permit. All requirements shall be resolved to the satisfaction of the Approving Authority:

Planning

1. Submit a letter from ENMAX Corporation, and any associated plans, indicating that the conflict has been resolved. If you have questions regarding the conflict, please contact Will Du at wdu@enmax.com.

Permanent Conditions

The following permanent conditions shall apply:

Planning

2. The development shall be completed in its entirety, in accordance with the approved plans and conditions. The stamped and signed plans are a legal document.
3. No changes to the approved plans shall take place unless authorized by the Development Authority. If changes to the development occur or are proposed, a new development permit or revised plan application may be required.
4. A Development Completion Permit is required prior to the development being occupied.
5. When the main floor is constructed, submit the surveyed geodetic elevation to Geodetic.Review@Calgary.ca

Advisory Comments

The following advisory comments are provided as a courtesy to the Applicant and registered property owner. The comments represent some, but not all of the requirements contained in the Land Use Bylaw that must be complied with as part of this approval.

Planning

6. The Applicant may appeal the decision of the Development Authority, including any of the conditions of the development permit. If you decide to file an appeal, please refer to the notification of decision letter for the appropriate appeal body and appeal process.
7. The approval of this development permit does not limit in any way the application of any federal, provincial, or municipal law, policy, code, regulation, bylaw, and/or guideline, nor does it constitute any permit or permission under any federal, provincial, or municipal law, policy, code, regulation, bylaw, and/or guideline.
8. In addition to this development permit, building permits may also be required. Building permit applications may be submitted upon approval of the associated development permit. Contact Building Regulations at 403-268-5311 for further information.
9. This development permit has not been reviewed for potential issues with the National Building Code - current Alberta Edition. You may require a Building Permit in addition to this development permit in which case compliance with the Code will be assessed through a Building Permit application. Should a Building Permit review require changes to the approved development permit, the changes must be to the satisfaction of the Development Authority and are potentially subject to a new development permit.
10. All plumbing services including sanitary, storm and water must be verified onsite by the owner and/or builder to ensure the size and location is compliant with the National Plumbing Code of Canada for the number of fixtures being installed. The waterline must be of the size that is indicated on the grade slip, but in no case smaller than 1 in size.
11. A minimum of two trees must be planted on the parcel. This may be accomplished by planting new trees or preserving existing trees. The trees must be of a species capable of healthy growth in Calgary and must conform to the standards of the Canadian Nursery Landscape Association. To satisfy the requirement of one tree, the following sizes must be met:
 - a. A deciduous tree with a minimum calliper of 50.0mm; or
 - b. A coniferous tree with a minimum height of 2.0 metres.To satisfy the requirement of two trees, the following sizes must be met:
 - a. A deciduous tree with a minimum calliper of 85.0mm; or
 - b. A coniferous tree with a minimum height of 4.0 metres.The required trees must be provided on the parcel within 12 months of issuance of the development completion permit (DCP) and maintained for a minimum of 24 months after issuance of the DCP.

Track your application on-line with VISTA. Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

12. There are many types of caveats and other agreements that can be registered on the title of the property that can restrict the ability to develop. The City has not reviewed or considered all instruments registered on the title to this property. Property owners must evaluate whether this development is in compliance with any documents registered on title.



Reasons for Approval for DP2024-08233

The Reasons for Approval document is intended to provide a short summary of the development permit process, responses to concerns raised by neighbours, Community Associations, and other affected parties, and rationale for any relaxations of the Land Use Bylaw granted by the Development Authority. Only the approved plans and conditions of approval are the subject of an appeal.

Scope and Process

Development Scope:

The application is for a discretionary Single Detached Dwelling at 114 7 Avenue NW in the community of Crescent Heights. The site is surrounded by Single Detached Dwellings to the north, south, east and west. Primary access for adjacent residences along 7 Avenue NW is via the rear lane.

Circulation and Notice Posting:

The following referees were circulated:

1. **Enmax** – Original design conflicts with required clearance area. Partially resolved with conditional release.
2. **Ward Councillor** – No comments provided.
3. **Community Association** – Comments provided:
 - Objects to the rear attached garage – feels it is inconsistent with the community
 - Feels the design is “boring”
 - Felt it did not meet the Heritage Guidelines
4. **Building Regulations** – No comments provided.
5. As per Land Use Bylaw requirements, the application was notice posted for a 1-week period. The following comments were submitted:
 - Feels house clashes with neighbourhood
 - Feels house does not meet the Heritage Guidelines

The above comments were addressed by the following:

- A Detailed Review was sent to the applicant requiring them to better comply with the Heritage Guidelines in the North Hill Communities Local Area Plan.
- Amended plans were submitted which significantly improved compliance with the policy.



The City of Calgary

Planning and Development

Development and Subdivision Application Services

- Enmax conflict resolution will be made a prior-to-release condition.

The Development Authority also notes:

- The tree requirement is captured under the Advisory Conditions section of the Conditions of Approval and full landscape plans are not reviewed for low density residential development.
- Drainage is not reviewed as part of the Development Permit approval. The applicant, builder and owner are responsible to ensure that the parcel drains properly. There were no indications or red flags on the plans that the drainage would be a concern.

Comments on Relevant City Policies

North Hill Communities Local Area Plan

Guidelines

General

2. Development should draw design reference from nearby heritage assets within the applicable Heritage Guideline Area.

Site and Landscape Design

3. Notwithstanding the minimum Land Use Bylaw setback, front yard setbacks should be informed by the existing heritage assets on the block.
4. Development should provide well-defined and direct pathway connections from front doors to the sidewalk and public realm.
5. Where a public boulevard with canopy trees is not present, landscaping should include at least one deciduous tree in the front setback area or within the boulevard, where feasible, that will contribute to a mature tree canopy.

Roofs and Massing

6. Roof styles should be informed by and complement the heritage assets in the area.
7. Flat roofs are strongly discouraged where visible from the street.
8. The primary roofline visible from the street should have a minimum pitch of 6:12.
9. Where new development is larger than nearby heritage assets, the visual impact of upper storeys of buildings should be reduced by employing design measures such as:
 - a. The use of compound roofs (e.g., cross-gabled) to hide the upper storey;
 - b. Shifting massing away from smaller-scale buildings; or
 - c. Reduced building massing on upper storeys
10. Developments with more than one unit should have distinct rooflines that accentuate individual units.
11. Buildings with a front façade width exceeding 12 metres or a height exceeding two storeys are encouraged to mitigate their visual impact through variations in:
 - a. massing;
 - b. rooflines; or
 - c. materials.



Front Facades

12. Development should provide a front projection on the main floor that may be covered or enclosed and that comprises at least a third of the width of the front main floor façade for each unit visible from the street. This front projection could include elements such as:

- a. porches;
- b. patios;
- c. verandas; or
- d. sunrooms.

13. Front facades should reference the vertical and horizontal pattern of the streetscape, specifically existing heritage assets on the block.

Windows, Materials and Details

14. Large uninterrupted floor-to-ceiling windows are discouraged.

15. Horizontal window openings are encouraged to be divided into groupings of smaller vertically oriented windows.

16. Windows are encouraged to include wide casings or frames.

17. The use of natural or natural-looking building materials is encouraged.

18. Where multiple building materials are used, heavier looking materials (e.g., masonry or masonry veneer) should be used on the base of the building.

Low Density Residential Housing Guidelines for Established Communities (Infill Guidelines):

- **4.2 Context**

New development should be designed in a manner which is responsive to the local context.

- **4.3 Parcel Layout**

The setbacks of new development should respect the established street pattern.

One side setback should be kept clear in order to provide an unobstructed exterior access from the front to the rear of the house.

The rear setback area, in addition to being the garage and/or other accessory building location, is an important amenity space that should allow for outdoor activity and maintain the pattern of rear amenity space typical of the surrounding community.

Two on-site parking spaces should be provided to each new dwelling unit.

- **4.4 Building Mass**

New development should respect the existing scale and massing of its immediate surroundings.

- **4.5 Privacy**

The privacy of adjacent residences should be respected.

The principal entry should be clearly identifiable from the street and located in a manner which respects the privacy of the neighbours.

The proposed infill development complies with the "Low Density Residential Housing Guidelines for Established Communities" and "North Hill Communities"



The City of Calgary

Planning and Development

Development and Subdivision Application Services

Local Area Plan” by adhering to principles of appropriate height, massing, aesthetics, and parcel siting. The design respects privacy by carefully positioning windows to avoid direct sightlines into adjacent properties, and the building’s height and massing are consistent with the zoning regulations, ensuring it does not overwhelm the streetscape. The siting of the structure maintains appropriate setbacks, ensuring it integrates harmoniously with the existing homes while allowing for modern updates that reflect evolving community needs. This balance of scale and sensitivity aligns with the intent of the guidelines to encourage contemporary development while preserving the established character of the neighbourhood.

Land Use Bylaw 1P2007:

The existing land use for the site is Residential – Grade-Oriented Infill (R-CG). The R-CG district is intended to accommodate existing residential development, a wide range of grade-oriented development, Secondary Suites and Backyard Suites with new and existing residential development, and site and building design that is adaptable to the functional requirements of evolving household needs.

A Bylaw check of the proposed development identified one discrepancy which is highlighted in the chart below. This discrepancy does not interfere with the amenities of the neighbourhood or negatively affect the use, enjoyment, or value of neighbouring parcels of land. The proposed development meets the intent of the land use district.

Bylaw Discrepancies		
Regulation	Standard	Provided
535 Building Depth and Separation	(1) Unless otherwise referenced in subsections (2) and (3) the maximum building depth is 65.0% of the parcel depth for a building containing a unit.	Plans indicate a building depth of 32.47m (+8.67m) or 88.80% (+23.80%) of the parcel depth.

Planning Review

During the review, the Development Authority considered the Land Use Bylaw rules and the appropriateness of the proposed development in the context of the neighbourhood.

A relaxation is required for a building depth of 32.5 metres, exceeding the permitted maximum of 23.8 metres. This increased depth is due to a rear-attached garage and breezeway, which extend the building footprint. However, the massing of these rear elements is minimal and will not adversely affect adjacent properties or the surrounding neighbourhood. Importantly, the main two-storey portion of the building maintains a rear setback that is consistent with comparable developments on the block, ensuring compatibility with the existing streetscape. The relaxation is supported by the Development Authority.

The Development Authority has determined that the proposal is in keeping with the character of the surrounding area. Since the relaxation will have minimal impact upon



The City of Calgary
Planning and Development
Development and Subdivision Application Services

the adjacent properties, the proposed development respects the intent of the Low Density Residential Housing Guidelines, the North Hill Communities Local Area Plan, and Land Use Bylaw 1P2007.



Development Permit - Approved Plans (Approved)

Application Number: DP2024-08233
Description: Single Detached Dwelling, Secondary Suite (basement)
Land Use District: R-CG - Residential - Grade-Oriented Infill
Site Address: 114 7 AV NW
Applicant: John Trinh (JOHN TRINH & ASSOCIATES)
Senior Planning Technician: DANIEL BRONSON

List Of Plans Reviewed				
Approved Files	Doc ID	Document Type	Submitted Date	Approved Date
DP - ARCH - 362-24 - Har Sandhu - 114 7 Ave NW - East - APR 23 2025_20250424_103636.pdf	1777850	RESIDENTIAL DRAWINGS	2025/04/24 10:36:36 AM	2025/04/28 12:00:00 AM
DP - SITE - 362-24 - Har Sandhu - 114 7 Ave NW - East - APR 23 2025_20250424_103650.pdf	1777851	SITE/BLOCK PLAN	2025/04/24 10:36:50 AM	2025/04/28 12:00:00 AM

Legend
 * Doc ID is specific identification associated to a document located within Livelink.
 * Date plans submitted is the date which the plans when uploaded into the Request Manager system.



APPLICATION FOR A DEVELOPMENT PERMIT
LAND USE BYLAW NO 1P2007

549198409-001
Taken By:

Application Date **Nov 20, 2024**

APPLICATION NO DP2024-08233

I/We hereby make application for a Development Permit under the provisions of the Land Use Bylaw in accordance with these plans and supporting information submitted herewith and which form part of this application.

Total Fees: \$0.00

Cart #:

Applicant: **JOHN TRINH & ASSOCIATES**

Address:
City:
Phone:

Parcel Address: **114 7 AV NW**
Legal: **4456R;30;25,26**

L.U.D.: **R-CG**

Community: **CRESCENT HEIGHTS**
Sec. Number: **22C** Ward: **07**

Description: **New: Single Detached Dwelling, Secondary Suite (basement)**

Gross Floor Area: 2780 feet - squared
Dwelling Units: 1

Proposed Development is: **Discretionary**
Proposed Use: **Single Detached Dwelling
Secondary Suite**

I agree to receive correspondence via electronic message related to this application.

By signing below, I confirm that the contact information provided above is accurate and further, acknowledge the ability of the General Manager - Planning and Development to inactivate and cancel incomplete applications.

Applicant / Agent Signature: _____ Date: _____

The personal information on this form is being collected under the authority of The Municipal Government Act, Section 640, and The City of Calgary Land Use Bylaw 1P2007 (Part 2) and amendments thereto. It will be used for the permit review and inspection processes. It may also be used to conduct ongoing evaluations of services received from Planning, Development & Assessment. The name of the applicant and the nature of the permit will be available to the public. Please send inquiries by mail to the FOIP Program Administrator, Planning, Development & Assessment, PO Box 2100, Station M, Calgary, AB T2P 2M5 or contact us by phone at 311.



LAND TITLE CERTIFICATE

S			
LINC	SHORT LEGAL	TITLE NUMBER	
0014 285 656	4456R;30;25,26	911 089 601	

LEGAL DESCRIPTION
 PLAN 4456R
 BLOCK 30
 LOTS 25 AND 26
 EXCEPTING THEREOUT ALL MINES AND MINERALS

ESTATE: FEE SIMPLE
 ATS REFERENCE: 5;1;24;22;SW

MUNICIPALITY: CITY OF CALGARY

REFERENCE NUMBER: 871 216 954

REGISTERED OWNER(S)				
REGISTRATION	DATE (DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
911 089 601	02/05/1991	TRANSFER OF LAND	\$172,000	\$172,000

OWNERS

MIRKO JANIC

AND

MARICA JANIC

BOTH OF:

114-7 AVE NW

CALGARY

ALBERTA

AS JOINT TENANTS

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION NUMBER	DATE (D/M/Y)	PARTICULARS
101 253 257	25/08/2010	MORTGAGE MORTGAGEE - ROYAL BANK OF CANADA. 180 WELLINGTON STREET WEST TORONTO

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2
911 089 601

REGISTRATION
NUMBER DATE (D/M/Y) PARTICULARS

ONTARIO M5J1J1
ORIGINAL PRINCIPAL AMOUNT: \$500,000

TOTAL INSTRUMENTS: 001

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 10 DAY OF
SEPTEMBER, 2024 AT 03:46 P.M.

ORDER NUMBER: 51578471

CUSTOMER FILE NUMBER: 241248



END OF CERTIFICATE

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED
FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER,
SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM
INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION,
APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS
PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING
OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).

Date 2024-11-01

The City of Calgary
Development & Building Approvals
PO Box 2100, Station M (#8108)
Calgary AB T2P 2M5

Subject: 114 7 Ave NW (property address)
362-24/ 363-24 (project name, if applicable)
MIRKO JANIC/MARICA JANIC (registered owner(s) as on land title)

Please be advised that, as owner(s) of the above mentioned property, I/we authorize

JOHN TRINH (agent name) and/or it's

JOHN TRINH & ASSOCIATES INC (applicant, consultant, contractor)

to apply for any and all DEVELOPMENT AND BUILDING, DEMO PERMITS (permit type) for the above mentioned property.

I/We further agree to immediately notify The City of Calgary, in writing, of any changes regarding the above information.

Date signed November 13, 2024 | 12:44 AM MST (yyyy/mm/dd)

Contact name MIRKO JANIC
Contact address _____
Contact phone number(s) _____
Contact email _____

Authorized signature of owner (print) MIRKO AND MARICA JANIC

(sign) DocuSigned by: Mike Janic Signed by: Marica Janic
563FF9A19FFA48F... 60F3BFC31F704DE...

Photos – 114 7 Ave NW, Calgary, AB T2M 0A2

Front View



Rear View



Left Parcel



Right Parcel





Site Contamination Statement

Application # _____
for office use only

Site Address: 114 7 Ave NW, Calgary, AB T2M 0A2

Legal Description: Plan:4456R;Block:30;Lot:25-26

The information provided in this disclosure statement will assist the Development, Land Use and Subdivision Authorities in processing planning applications. The Authorities rely on the information provided in this statement to assist in determining the potential for site contamination, which may have been caused by current or historic activities.

You are responsible for the accuracy of the information provided in this statement. The questions must be answered to the best of your knowledge based upon diligent inquiry and the thorough inspection and review of all documents and other information pertaining to the subject property. **Please be aware that further site assessments may be required as part of the review of your application.**

1. Are you aware of any environmental investigations (audits, assessments, tests, surveys or studies) for this site? Yes No

If yes, please provide copy(s).

2. Are you aware of any environmental requirements associated with any previous planning applications on this site? (i.e. development permit, land use redesign or subdivision) Yes No

If yes please provided a brief description and the associated development application number(s):

3. Has there been site remediation or a request for such on the site? Yes No

If yes, please provide a brief description:

4. Are you aware of any regulatory actions, past or current, which have been applied to this site?

Yes No

Examples include (but are not limited to):

- Environmental Protection Orders
- Reclamation Orders or Certificates
- Control / Stop Orders, fines, tickets or prosecutions
- Violations of environmental statutes, regulations and bylaws
- Administrative penalties and warning letters

If yes, please describe and provide copies of relevant documents:

5. Have any permits been issued or are you currently operating under a license or approval issued by federal or provincial authorities or the Calgary Fire Department for activities which may impact the property? (e.g. certificates of approval, storage tank regulations, plant operating permits)

Yes No

If yes, please describe:

6. Has there been contact with Alberta Environment or Calgary Regional Health Authority regarding possible contamination on the site?

Yes No

If yes, please provided a brief description:

NOTE: This form is to be signed by the titled owner(s) of the property or their authorized agents or consultants.

I, the owner, authorized agent, authorized consultant, state that, to the best of my knowledge, the information provided in this statement is accurate, complete and is based on diligent inquiry and thorough inspection and review of all the documents and other information reasonably available pertaining to the subject property. I am not aware of any other information that may indicate that the subject property is potentially contaminated.

2024-11-01

Date



Applicant Signature

FOIP DISCLAIMER: The personal information on this form is being collected under the authority of The Freedom of Information and Protection of Privacy (FOIP) Act, Section 33(c). It will be used to provide operating programs, account services and to process payments received for said services. It may also be used to conduct ongoing evaluations of services received from Planning, Development & Assessment. Please send inquiries by mail to the FOIP Program Administrator, Planning, Development & Assessment, PO Box 2100, Station M, Calgary, AB T2P 2M5 or contact us by phone at 311.

Applicant Name (Please Print)

Company Name (Please Print)



Public Tree Disclosure Statement

The City of Calgary Street Bylaw (20M88) and the Tree Protection Bylaw (23M2002) protect trees growing on City (public) land. An approved Tree Protection Plan is required when construction activities occur within 6m of a public tree. More information regarding protecting trees during construction and development is found here. Public trees are required to be shown on plans submitted for this application.

- 1. Are there public trees on the City lands within six meters of and/or overhanging the development site? Yes No

If you answered yes, ensure all trees identified are shown on the submitted plans.

Note: if you are not sure how to determine which trees are yours and which are public, you can:

- a. Use the City's tree map (may not be up to date for your property)
b. Contact 3-1-1 to put in a "development tree inquiry" to get confirmation from an Urban Forester
c. Send inquiries to tree.protection@calgary.ca

- 2. Who will be submitting the Tree Protection Plan for this development?

Applicant Owner Builder Other:

If Other: Name: Phone: Email:

The Tree Protection Plan must be submitted directly to Urban Forestry at tree.protection@Calgary.ca following the Tree Protection Plan Guidelines.

FOIP DISCLAIMER: The personal information on this form is being collected under the authority of The Freedom of Information and Protection of Privacy (FOIP) Act, Section 33(c). It will be used to provide operating programs, account services and to process payments received for said services. It may also be used to conduct ongoing evaluations of services received from Planning, Development & Assessment. Please send inquiries by mail to the FOIP Program Administrator, Planning, Development & Assessment, PO Box 2100, Station M, Calgary, AB T2P 2M5 or contact us by phone at 311.



Abandoned Well Declaration

Application # _____
for office use only

Site Address: 114 7 Ave NW, Calgary, AB T2M 0A2

Legal Description: Plan:4456R;Block:30;Lot:25-26

The *Municipal Government Act's Subdivision and Development Regulations (Alberta Regulation 160/2012)* requires developers to identify abandoned oil and gas wells and, where present, to comply with setback requirements as identified in the Energy Resources Conservation Board (ERCB) [Directive 079: Surface Development in Proximity to Abandoned Wells](#).

You are responsible for the accuracy of the information provided in this statement. The questions must be answered to the best of your knowledge based upon diligent inquiries and a thorough inspection and review.

- Provide a map of the subject parcel showing the presence or absence of abandoned wells.
 - [User Guide to Finding Abandoned Wells on GeoDiscover Alberta's Map Viewer](#)
 - [Abandoned Well Locations on GeoDiscover Alberta's Map Viewer](#)

NOTE: The map must show the actual well location, as identified in the field, including the surface coordinates (available on the Abandoned Well Map Viewer or by contacting the ERCB Customer Contact Centre at 1-855-297-8311) and the 5 metre setback established in [ERCB Directive 079](#) in relation to existing or proposed building sites.

- Are there abandoned Oil/Gas wells located within 5 m of the site? Yes No
If you answered 'yes', please answer question 3 and include the well location(s) on the site plan.
- Have you contacted the licensee of the well(s) to confirm the exact location? Yes No
If you answered 'yes', you must have written confirmation included with your application.

Licensee Company Name _____ Licensee Contact _____

NOTE: Where a well is identified, the Development Authority must refer a copy of the application to the Licensee(s) of Record. The referral will include the applicant's contact information.

- Who is submitting the Abandoned Well Declaration for this development?
 Applicant Owner Builder Other _____

Company Name _____ Contact Person _____

Address _____

Phone _____

5. Will the development result in construction activity within the setback area? Yes No
If you answered 'yes':

- Provide a statement confirming that the abandoned wells will be temporarily marked with on-site identification to prevent contact during construction; and
- Describe what measures will be taken to prevent contact during construction.

NOTE: This form is to be signed by the titled owner(s) of the property or their authorized agents or consultants.

I, the owner, authorized agent, authorized consultant, state that, to the best of my knowledge, the information provided in this statement is accurate, complete and is based on diligent inquiry and thorough inspection and review of all the documents and other information reasonably available pertaining to the subject property.

2024-11-01
Date

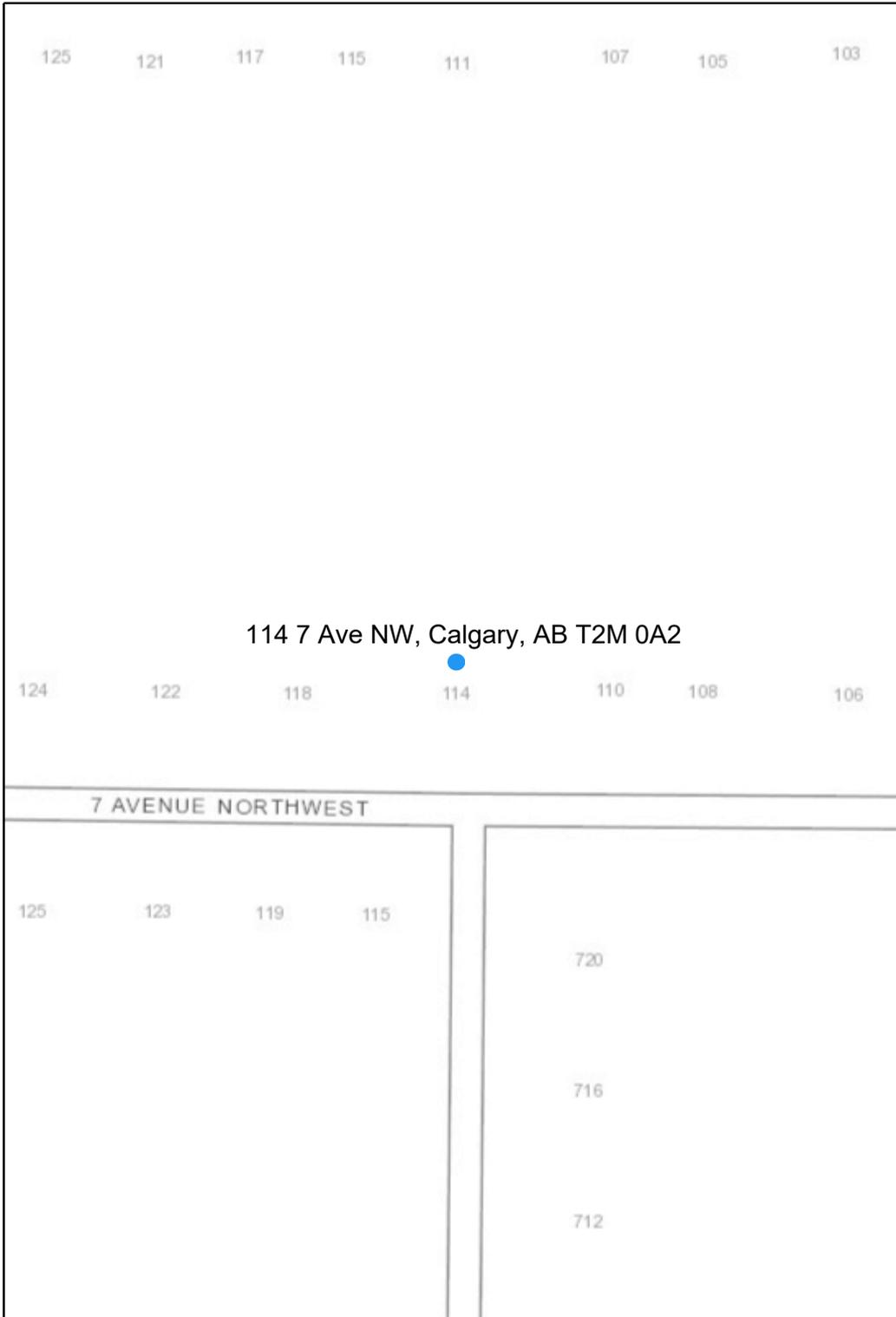

Applicant Signature

Applicant Name (Please Print)

Company Name (Please Print)

FOIP DISCLAIMER: The personal information on this form is being collected under the authority of The Freedom of Information and Protection of Privacy (FOIP) Act, Section 33(c). It will be used to provide operating programs, account services and to process payments received for said services. It may also be used to conduct ongoing evaluations of services received from Planning & Development. Please send inquiries by mail to the FOIP Program Administrator, Planning & Development, PO Box 2100, Station M, Calgary, AB T2P 2M5 or contact us by phone at 311.

Map Results



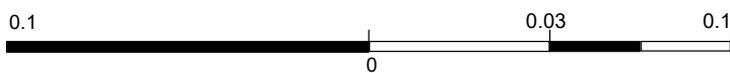
Legend

- ◇ Abandoned Wells (Large Scale)
- Abandoned_Well_Revised (Large Scale)
- Abandoned_Well_Loc_Pointer
- ATS v4_1 Alberta Provincial Boundaries

© Government of Alberta

While every effort is made to ensure data from this site is accurate and current, the Government of Alberta is not liable for any loss or damage arising from the possession, publication, or use of, that data. This information is provided "as is" without warranty.

Friday, November 01, 2024 14:46:12 -06:00



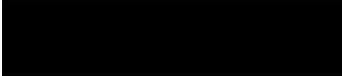
Map Scale: 1: 1,128





January 30, 2025

JOHN TRINH & ASSOCIATES



Dear Applicant:

RE: Detailed Review (DR)

Development Permit Number: DP2024-08233

Based on the plans received, your application has been reviewed in order to determine compliance with the Land Use Bylaw and applicable City policies. Any variance from the Land Use Bylaw or City policies may require further discussion or revision prior to a decision being rendered.

The City endeavors to render decisions on applications within specific service standards. Please assist us in meeting these targets by ensuring your resubmission is complete and made in a timely manner. Please submit a digital set of the amended plan, in PDF format, along with a detailed response letter on how each of the Prior to Decision and/or Prior to Release conditions have been addressed and/or resolved.

This information must be received, in its entirety, no later than March 1, 2025. If a complete submission is not received by this date, the development permit may be inactivated and subject to a reactivation fee. If the development permit application is not reactivated, it may be cancelled by Administration as per Land Use Bylaw 1P2007, Section 41.1. If you require additional time to respond to the conditions outlined in this Detailed Review document, please let me know by contacting me.

Should you have any questions or concerns, please contact me at 403-333-5407 or by email at daniel.bronson@calgary.ca.

Sincerely,

DANIEL BRONSON
Senior Planning Technician



Detailed Review 1 – Development Permit

Application Number:	DP2024-08233
Application Description:	New: Single Detached Dwelling (east lot), Secondary Suite (basement)
Land Use District:	Residential - Grade-Oriented Infill
Use Type:	Discretionary
Site Address:	114 7 AV NW
Community:	CRESCENT HEIGHTS
Applicant:	JOHN TRINH & ASSOCIATES
Date DR Sent:	January 30, 2025
Response Due Date:	March 1, 2025
Planning:	DANIEL BRONSON 403-333-5407 daniel.bronson@calgary.ca

General Comments

The proposed development is generally supported; however, several revisions will be necessary to secure approval. Notably, the Enmax conflict will likely require a significant redesign. Please contact Enmax directly for further details if necessary (see below).

The application was posted for public notice, and the following feedback was received from the Community Association and nearby residents:

- “Overall exterior colour scheme is boring. The two houses should be staggered at the front, to allow for some variability. It would be nice to break up the monotony of the entire east, west and north walls.”
- The site is located within a heritage district and does not fully comply with all relevant policies.

Please revise the design to ensure greater alignment with the applicable heritage guidelines and bylaws (see details below).

Comments on Relevant City Policies

North Hill Communities Local Area Plan

Guidelines

Track your application on-line with VISTA. Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

General

2. Development should draw design reference from nearby heritage assets within the applicable Heritage Guideline Area.

Site and Landscape Design

3. Notwithstanding the minimum Land Use Bylaw setback, front yard setbacks should be informed by the existing heritage assets on the block.

Complies with policy.

4. Development should provide well-defined and direct pathway connections from front doors to the sidewalk and public realm.

Complies with policy.

5. Where a public boulevard with canopy trees is not present, landscaping should include at least one deciduous tree in the front setback area or within the boulevard, where feasible, that will contribute to a mature tree canopy.

Not required to be shown on development permit drawings.

Roofs and Massing

6. Roof styles should be informed by and complement the heritage assets in the area.

Complies with policy.

7. Flat roofs are strongly discouraged where visible from the street.

Complies with policy.

8. The primary roofline visible from the street should have a minimum pitch of 6:12.

Complies with policy.

9. Where new development is larger than nearby heritage assets, the visual impact of upper storeys of buildings should be reduced by employing design measures such as:

- a. The use of compound roofs (e.g., cross-gabled) to hide the upper storey;
- b. Shifting massing away from smaller-scale buildings; or
- c. Reduced building massing on upper storeys

Complies with policy.

Front Facades

12. Development should provide a front projection on the main floor that may be covered or enclosed and that comprises at least a third of the width of the front main floor façade for each unit visible from the street. This front projection could include elements such as:

- a. porches;
- b. patios;
- c. verandas; or
- d. sunrooms.

A façade projection is provided; however, the policy could be better met with inclusion of a porch, veranda, or sunroom.

13. Front facades should reference the vertical and horizontal pattern of the streetscape, specifically existing heritage assets on the block.

Complies with policy.

Windows, Materials and Details

14. Large uninterrupted floor-to-ceiling windows are discouraged.

Floor-to-ceiling windows are included in the design; however they are not excessive. They do not span the entire façade.

15. Horizontal window openings are encouraged to be divided into groupings of smaller vertically oriented windows.

Complies with policy.

16. Windows are encouraged to include wide casings or frames.

Windows do not include wide casings or frames. Recommended to add these elements to better match the heritage assets in the neighbourhood.

17. The use of natural or natural-looking building materials is encouraged.

The materials themselves comply, but the colour scheme of the materials is not natural (black and white). Please modify the colour scheme to better match the heritage assets in the neighbourhood.

18. Where multiple building materials are used, heavier looking materials (e.g., masonry or masonry veneer) should be used on the base of the building.

It is recommended to concentrate the heavier brick elements around the main floor/base of the building rather than extending them to the second storey.

Bylaw Discrepancies		
Regulation	Standard	Provided
535 Building Depth and Separation	(1) Unless otherwise referenced in subsections (2) and (3) the maximum building depth is 65.0% of the parcel depth for a building containing a unit.	Plans indicate a building depth of 32.62m (+8.82m) or 89.21% (+24.21%) of the parcel depth. Relaxation supported.
534 Parcel Coverage	(2) Unless otherwise referenced in subsection (3), the maximum cumulative building coverage over all the parcels subject to a single development permit containing a Contextual Semi-Detached Dwelling, Contextual Single Detached Dwelling, Cottage Housing Cluster, Rowhouse Building, Semi-	Plans indicate a parcel coverage of 45.18% (+0.18%) or 150.99m ² (+0.60m ²). Please reduce to comply.

Track your application on-line with VISTA. Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

	Detached Dwelling, Single Detached Dwelling or Townhouse is: (a) 45.0% of the area of the parcels subject to a single development permit for a development with a density of less than 40 units per hectare;	
--	---	--

Prior to Decision Requirements

The following issues must be addressed by the Applicant through a written submission and amended plans prior to a decision by the Approving Authority:

Planning

1. Upload a complete set of the amended plans in PDF format, into the ePermit system. The submitted plans must address the requirements listed in this document. Ensure that all plans affected by the revisions are amended accordingly, including all issues outlined in the Bylaw Discrepancies and Relevant City Policies.
2. Submit a letter from ENMAX Corporation, and any associated plans, indicating that the conflicts, noted above/attached, have been addressed. If you have questions regarding the conflicts, please contact the ENMAX Representative indicated in the letter above/attached.



ENMAX Power Corporation
141 – 50 Avenue SE
Calgary, AB T2G 4S7
Tel (403) 514-3000
enmax.com

December 12, 2024

File No: DP2024-08233

Development Circulation (#8201)

Location: 114 7 AV NW

We would like to advise you that the proposed development does not meet "Alberta Electrical Utility Code" under the Alberta Safety Codes Act and/or ENMAX Power Corporation requirements.

We have identified the following conflict:

The proposed development conflicts with the existing ENMAX power line on the east side of the property. Please see attached "ELEVATIONS – FRONT & REAR" for detailed clearance violations.

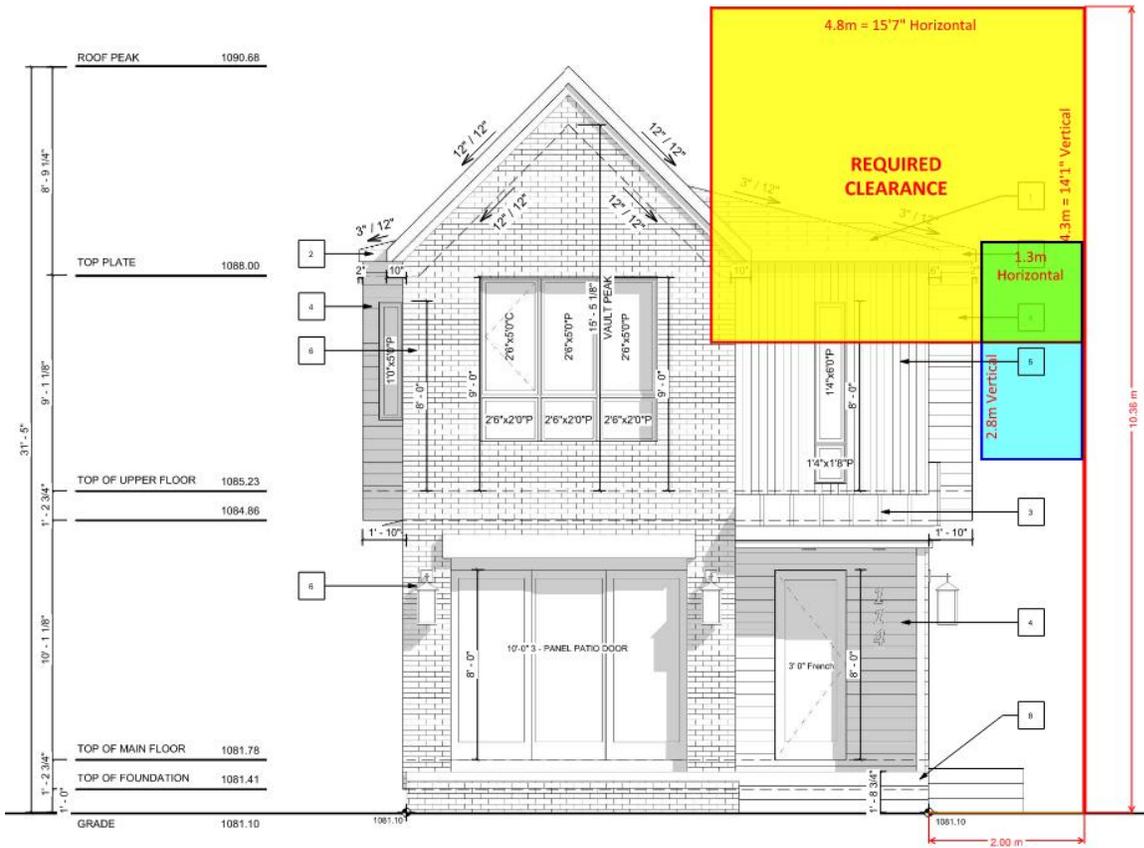
Please contact Will Du at wdu@enmax.com at (403) 689 - 4736 to further discuss resolution options for this conflict.

Until the above noted safety concerns are adequately addressed, this Development permit is not acceptable to ENMAX Power Corporation. Please contact the Project administrator at EPC_Permits@enmax.com if you have any further concerns, or require additional information regarding this Development Permit.

Sincerely,

A handwritten signature in black ink, appearing to be "W Du", written in a cursive style.

Will Du, P.Eng
Distribution Engineering

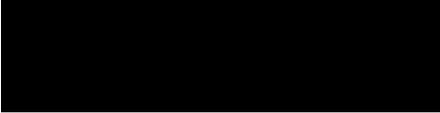


Track your application on-line with VISTA. Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.



January 30, 2025

JOHN TRINH & ASSOCIATES



Dear Applicant:

RE: Detailed Review (DR)

Development Permit Number: DP2024-08233

Based on the plans received, your application has been reviewed in order to determine compliance with the Land Use Bylaw and applicable City policies. Any variance from the Land Use Bylaw or City policies may require further discussion or revision prior to a decision being rendered.

The City endeavors to render decisions on applications within specific service standards. Please assist us in meeting these targets by ensuring your resubmission is complete and made in a timely manner. Please submit a digital set of the amended plan, in PDF format, along with a detailed response letter on how each of the Prior to Decision and/or Prior to Release conditions have been addressed and/or resolved.

This information must be received, in its entirety, no later than March 1, 2025. If a complete submission is not received by this date, the development permit may be inactivated and subject to a reactivation fee. If the development permit application is not reactivated, it may be cancelled by Administration as per Land Use Bylaw 1P2007, Section 41.1. If you require additional time to respond to the conditions outlined in this Detailed Review document, please let me know by contacting me.

Should you have any questions or concerns, please contact me at 403-333-5407 or by email at daniel.bronson@calgary.ca.

Sincerely,

DANIEL BRONSON
Senior Planning Technician



Detailed Review 1 – Development Permit

Application Number:	DP2024-08233
Application Description:	New: Single Detached Dwelling (east lot), Secondary Suite (basement)
Land Use District:	Residential - Grade-Oriented Infill
Use Type:	Discretionary
Site Address:	114 7 AV NW
Community:	CRESCENT HEIGHTS
Applicant:	JOHN TRINH & ASSOCIATES
Date DR Sent:	January 30, 2025
Response Due Date:	March 1, 2025
Planning:	DANIEL BRONSON 403-333-5407 daniel.bronson@calgary.ca

General Comments

The proposed development is generally supported; however, several revisions will be necessary to secure approval. Notably, the Enmax conflict will likely require a significant redesign. Please contact Enmax directly for further details if necessary (see below).

The application was posted for public notice, and the following feedback was received from the Community Association and nearby residents:

- “Overall exterior colour scheme is boring. The two houses should be staggered at the front, to allow for some variability. It would be nice to break up the monotony of the entire east, west and north walls.”
- The site is located within a heritage district and does not fully comply with all relevant policies.

Please revise the design to ensure greater alignment with the applicable heritage guidelines and bylaws (see details below).

Comments on Relevant City Policies

North Hill Communities Local Area Plan

Guidelines

Track your application on-line with VISTA. Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

General

2. Development should draw design reference from nearby heritage assets within the applicable Heritage Guideline Area.

Site and Landscape Design

3. Notwithstanding the minimum Land Use Bylaw setback, front yard setbacks should be informed by the existing heritage assets on the block.

Complies with policy.

4. Development should provide well-defined and direct pathway connections from front doors to the sidewalk and public realm.

Complies with policy.

5. Where a public boulevard with canopy trees is not present, landscaping should include at least one deciduous tree in the front setback area or within the boulevard, where feasible, that will contribute to a mature tree canopy.

Not required to be shown on development permit drawings.

Roofs and Massing

6. Roof styles should be informed by and complement the heritage assets in the area.

Complies with policy.

7. Flat roofs are strongly discouraged where visible from the street.

Complies with policy.

8. The primary roofline visible from the street should have a minimum pitch of 6:12.

Complies with policy.

9. Where new development is larger than nearby heritage assets, the visual impact of upper storeys of buildings should be reduced by employing design measures such as:

- a. The use of compound roofs (e.g., cross-gabled) to hide the upper storey;
- b. Shifting massing away from smaller-scale buildings; or
- c. Reduced building massing on upper storeys

Complies with policy.

Front Facades

12. Development should provide a front projection on the main floor that may be covered or enclosed and that comprises at least a third of the width of the front main floor façade for each unit visible from the street. This front projection could include elements such as:

- a. porches;
- b. patios;
- c. verandas; or
- d. sunrooms.

A façade projection is provided; however, the policy could be better met with inclusion of a porch, veranda, or sunroom.

13. Front facades should reference the vertical and horizontal pattern of the streetscape, specifically existing heritage assets on the block.

Complies with policy.

Windows, Materials and Details

14. Large uninterrupted floor-to-ceiling windows are discouraged.

Floor-to-ceiling windows are included in the design; however they are not excessive. They do not span the entire façade.

15. Horizontal window openings are encouraged to be divided into groupings of smaller vertically oriented windows.

Complies with policy.

16. Windows are encouraged to include wide casings or frames.

Windows do not include wide casings or frames. Recommended to add these elements to better match the heritage assets in the neighbourhood. We have wide trim on top of the patio doors. We like a cleaner look so the brick can shine.

17. The use of natural or natural-looking building materials is encouraged.

The materials themselves comply, but the colour scheme of the materials is not natural (black and white). Please modify the colour scheme to better match the heritage assets in the neighbourhood. We have changed the white brick to a more natural red/brown color.

18. Where multiple building materials are used, heavier looking materials (e.g., masonry or masonry veneer) should be used on the base of the building.

It is recommended to concentrate the heavier brick elements around the main floor/base of the building rather than extending them to the second storey. We have met a lot of heritage policies although not all we feel as if this design fits the context of the neighborhood. Thank you for taking the time to comment and provide suggestions. We hope the changes we made can satisfy the requirements of North Hill LAP.

Bylaw Discrepancies		
Regulation	Standard	Provided
535 Building Depth and Separation	(1) Unless otherwise referenced in subsections (2) and (3) the maximum building depth is 65.0% of the parcel depth for a building containing a unit.	Plans indicate a building depth of 32.62m (+8.82m) or 89.21% (+24.21%) of the parcel depth. Relaxation supported.

<p>534 Parcel Coverage</p>	<p>(2) Unless otherwise referenced in subsection (3), the maximum cumulative building coverage over all the parcels subject to a single development permit containing a Contextual Semi-Detached Dwelling, Contextual Single Detached Dwelling, Cottage Housing Cluster, Rowhouse Building, Semi-</p>	<p>Plans indicate a parcel coverage of 45.18% (+0.18%) or 150.99m² (+0.60m²).</p> <p>Please reduce to comply.</p> <p>Amended by reducing garage by 11 sq.ft.</p>
----------------------------	---	--

	Detached Dwelling, Single Detached Dwelling or Townhouse is: (a) 45.0% of the area of the parcels subject to a single development permit for a development with a density of less than 40 units per hectare;	
--	---	--

Prior to Decision Requirements

The following issues must be addressed by the Applicant through a written submission and amended plans prior to a decision by the Approving Authority:

Planning

1. Upload a complete set of the amended plans in PDF format, into the ePermit system. The submitted plans must address the requirements listed in this document. Ensure that all plans affected by the revisions are amended accordingly, including all issues outlined in the Bylaw Discrepancies and Relevant City Policies.
2. Submit a letter from ENMAX Corporation, and any associated plans, indicating that the conflicts, noted above/attached, have been addressed. If you have questions regarding the conflicts, please contact the ENMAX Representative indicated in the letter above/attached. **Submitted.**



ENMAX Power Corporation
141 – 50 Avenue SE
Calgary, AB T2G 4S7
Tel: (403) 514-3000
enmax.com

December 12, 2024

File No: DP2024-08233

Development Circulation (#8201)

Location: **114 7 AV NW**

We would like to advise you that the proposed development does not meet "Alberta Electrical Utility Code" under the Alberta Safety Codes Act and/or ENMAX Power Corporation requirements.

We have identified the following conflict:

The proposed development conflicts with the existing ENMAX power line on the east side of the property. Please see attached "ELEVATIONS – FRONT & REAR" for detailed clearance violations.

Please contact Will Du at wdu@enmax.com at (403) 689 - 4736 to further discuss resolution options for this conflict.

Until the above noted safety concerns are adequately addressed, this Development permit is not acceptable to ENMAX Power Corporation. Please contact the Project administrator at EPC_Permits@enmax.com if you have any further concerns, or require additional information regarding this Development Permit.

Sincerely,

A handwritten signature in black ink, appearing to be the initials "W.D." or similar, written in a cursive style.

Will Du, P.Eng
Distribution Engineering



Track your application on-line with VISTA. Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

Communities

0.5 Parking Rate

- | | | | | |
|--|--|--|---|---|
| <p>Other Areas of the City</p> <p>A</p> <ul style="list-style-type: none"> <input type="checkbox"/> Acadia <input type="checkbox"/> Albert Park / Ridsson Heights <input type="checkbox"/> Altadore <p>B</p> <ul style="list-style-type: none"> <input type="checkbox"/> Banff Trail <input type="checkbox"/> Bankview <input type="checkbox"/> Bayview <input type="checkbox"/> Bel-air <input type="checkbox"/> Beltline <input type="checkbox"/> Bonavista Downs <input type="checkbox"/> Bowness <input type="checkbox"/> Braeside <input type="checkbox"/> Brentwood <input type="checkbox"/> Bridgeland / Riverside <input type="checkbox"/> Britannia <p>C</p> <ul style="list-style-type: none"> <input type="checkbox"/> Cambrian Heights <input type="checkbox"/> Canyon Meadows <input type="checkbox"/> Capitol Hill <input type="checkbox"/> Charleswood <input type="checkbox"/> Chinatown <input type="checkbox"/> Chinook Park <input type="checkbox"/> Cliff Bungalow <input type="checkbox"/> Collingwood <input checked="" type="checkbox"/> Crescent Heights <input type="checkbox"/> Currie Barracks | <p>Within 600.0m of Existing LRT or BRT Bus Stop</p> <p>D</p> <ul style="list-style-type: none"> <input type="checkbox"/> Dalhousie <input type="checkbox"/> Downtown Commercial Core <input type="checkbox"/> Downtown Commercial Core <input type="checkbox"/> Downtown East Village <input type="checkbox"/> Downtown West End <p>E</p> <ul style="list-style-type: none"> <input type="checkbox"/> Eagle Ridge <input type="checkbox"/> Eau Claire <input type="checkbox"/> Elbow Park <input type="checkbox"/> Elboya <input type="checkbox"/> Ertlon <p>F</p> <ul style="list-style-type: none"> <input type="checkbox"/> Fairview <input type="checkbox"/> Forest Heights <input type="checkbox"/> Forest Lawn <p>G</p> <ul style="list-style-type: none"> <input type="checkbox"/> Garrison Green <input type="checkbox"/> Garrison Woods <input type="checkbox"/> Glamorgan <input type="checkbox"/> Glenbrook <input type="checkbox"/> Glendale <input type="checkbox"/> Greenviue <p>H</p> <ul style="list-style-type: none"> <input type="checkbox"/> Haysboro <input type="checkbox"/> Highland Park <input type="checkbox"/> Highwood | <p>I</p> <ul style="list-style-type: none"> <input type="checkbox"/> Hillhurst <input type="checkbox"/> Hounsfield Heights / Briar Hill <input type="checkbox"/> Huntington Hills <p>J</p> <ul style="list-style-type: none"> <input type="checkbox"/> Inglewood <p>K</p> <ul style="list-style-type: none"> <input type="checkbox"/> Kelvin Grove <input type="checkbox"/> Killarney / Glengarry <input type="checkbox"/> Kingsland <p>L</p> <ul style="list-style-type: none"> <input type="checkbox"/> Lake Bonavista <input type="checkbox"/> Lakeview <input type="checkbox"/> Lincoln Park <input type="checkbox"/> Lower Mount Royal <p>M</p> <ul style="list-style-type: none"> <input type="checkbox"/> Manchester <input type="checkbox"/> Maple Ridge <input type="checkbox"/> Marlborough <input type="checkbox"/> Mayfair <input type="checkbox"/> Mayland Heights <input type="checkbox"/> Meadowlark Park <input type="checkbox"/> Mission <input type="checkbox"/> Montgomery <input type="checkbox"/> Mount Pleasant | <p>N</p> <ul style="list-style-type: none"> <input type="checkbox"/> North Glenmore Park <input type="checkbox"/> North Haven <input type="checkbox"/> North Haven Upper <p>O</p> <ul style="list-style-type: none"> <input type="checkbox"/> Oakridge <input type="checkbox"/> Ogden <p>P</p> <ul style="list-style-type: none"> <input type="checkbox"/> Palliser <input type="checkbox"/> Parkdale <input type="checkbox"/> Parkhill <input type="checkbox"/> Point McKay <input type="checkbox"/> Pump Hill <p>Q</p> <ul style="list-style-type: none"> <input type="checkbox"/> Queens Park Village <p>R</p> <ul style="list-style-type: none"> <input type="checkbox"/> Ramsay <input type="checkbox"/> Renfrew <input type="checkbox"/> Richmond <input type="checkbox"/> Rideau Park <input type="checkbox"/> Rosedale <input type="checkbox"/> Rosemont <input type="checkbox"/> Rosscarrock <input type="checkbox"/> Roxboro <input type="checkbox"/> Rutland Park | <p>S</p> <ul style="list-style-type: none"> <input type="checkbox"/> Scarboro <input type="checkbox"/> Shaganappi <input type="checkbox"/> South Calgary <input type="checkbox"/> Southview <input type="checkbox"/> Southwood <input type="checkbox"/> Spruce Cliff <input type="checkbox"/> St. Andrews Heights <input type="checkbox"/> Sunalta <input type="checkbox"/> Sunalta West <input type="checkbox"/> Sunnyside <p>T</p> <ul style="list-style-type: none"> <input type="checkbox"/> Thorncliffe <input type="checkbox"/> Tuxedo Park <p>U</p> <ul style="list-style-type: none"> <input type="checkbox"/> University District <input type="checkbox"/> University Heights <input type="checkbox"/> Upper Mount Royal <p>V</p> <ul style="list-style-type: none"> <input type="checkbox"/> Varsity <input type="checkbox"/> Vista Heights <p>W</p> <ul style="list-style-type: none"> <input type="checkbox"/> West Hillhurst <input type="checkbox"/> Westgate <input type="checkbox"/> Wildwood <input type="checkbox"/> Willow Park <input type="checkbox"/> Windsor Park <input type="checkbox"/> Winston Heights / Mountview |
|--|--|--|---|---|

Part 4 A to Z Use and Use Rules			D.P. # 2024-08233			
Section / Use	Type	Requirements	Evaluation			
153.1 Backyard Suite	Compulsory	(iii) is located in a detached building located behind the front façade of the main residential building;	C	N/C	N/A	N/I
		(vi) Must not be located on the same parcel or bare land unit as either a Rowhouse Building or a Townhouse use;	C	N/C	N/A	N/I
170.2 Contextual Semi-detached Dwelling	Compulsory	(i) contains two Dwelling Units located side by side and separated by a common party wall extending from foundation to roof;	C	N/C	N/A	N/I
187 Duplex Dwelling	Compulsory	(a) means a building which contains two Dwelling Units, one located above the other, with each having a separate entrance;	C	N/C	N/A	N/I
287 Rowhouse	Compulsory	(i) contains three or more Dwelling Units, located side by side and separated by common party walls extending from foundation to roof;	C	N/C	N/A	N/I
		(ii) where one façade of each Dwelling Unit directly faces a public street;	C	N/C	N/A	N/I
		(iii) where no intervening building is located between the street facing façade of each Dwelling Unit and the adjacent public street;	C	N/C	N/A	N/I
		(iv) where each Dwelling Unit has a separate direct entry from grade to an adjacent public sidewalk or an adjacent public street;	C	N/C	N/A	N/I
		(v) where no Dwelling Unit is located wholly or partially above another Dwelling Unit; and	C	N/C	N/A	N/I
		(vi) may contain a Secondary Suite within a Dwelling Unit in a district where a Secondary Suite is a listed use and conforms with the rules of the district;	C	N/C	N/A	N/I
295 Secondary Suite	Compulsory	(i) contains two or more rooms used or designed to be used as a residence by one or more persons;	C	N/C	N/A	N/I
		(ii) contains a kitchen, living, sleeping and sanitary facilities;	C	N/C	N/A	N/I
		(iii) is self-contained and located within a Dwelling Unit;	C	N/C	N/A	N/I
		(iv) must not be located in a Dwelling Unit where another Dwelling Unit is located wholly or partially above or below the Dwelling Unit containing the Secondary Suite; and	C	N/C	N/A	N/I
		(v) is considered part of and secondary to a Dwelling Unit;	C	N/C	N/A	N/I
297 Semi-Detached Dwelling	Compulsory	(a) means a use where a building contains two Dwelling Units located side by side and separated by a common party wall extending from foundation to roof;	C	N/C	N/A	N/I
319 Townhouse	Compulsory	(i) comprising three or more Dwelling Units;	C	N/C	N/A	N/I
		(ii) where each Dwelling Unit has a separate direct entry from grade;	C	N/C	N/A	N/I
		(iii) where no Dwelling Unit is located wholly or partially above another Dwelling Unit; and	C	N/C	N/A	N/I
		(iv) that does not include a Rowhouse Building;	C	N/C	N/C	N/I

Residential - Grade-Oriented Infill (R-CG) District

D.P. # 2024-08233

Rule	Requirements		Evaluation		
		Notes	Provided/Variance		
37 Contextual Building Depth Average	A) Contextual Building Depth Average for 2 Contextual Adjacent Buildings				
	(Adj. building 1	28.26	+ Adj. building 2	19.02) / 2 + 4.6 = A	28.24
	OR B) Contextual Building Depth Average for 1 Contextual Adjacent Building				
	Adjacent Building	0.00	+ 4.6 = B	4.6	
347 Contextual Single Detached Dwelling	OR C) Contextual Building Depth Average with no Contextual Adjacent Buildings				
	65% X		= C	0	
	Parcel Depth				
347 Contextual Single Detached Dwelling	(3) Where a contextual Single Detached Dwelling is located on a parcel with a parcel width less than or equal to 10.0m the maximum building depth is the greater of:	(a) 65.0 per cent of the parcel depth; or			
		65% x	36.57	=	23.8
		Parcel Depth		Max Building Depth	
		(b) the contextual building depth average			
	Contextual Building Depth Avg. =		28.2	(3)(b) applies	
(4) Where a Contextual Single Detached Dwelling is located on a parcel with a parcel width greater than 10.0m the maximum building depth is the contextual building depth average				32.47	
	Contextual Building Depth Average =		28.2	4.27	
535 Building Depth and Separation	(1) Unless otherwise referenced in subsections (2) and (3) the maximum building depth is 65.0% of the parcel depth for a building containing a unit.			Percentage (%)	
				88.80%	
				23.80%	
				Building Depth (m)	
	65%	x	36.57	=	23.80
		Parcel Depth		Max Bldg Depth	
	(2) On a laned parcel, there is no maximum building depth for a main residential building wholly contained to the rear of 40.0% parcel depth where: <i>Note: The Main Residential Building exempt from Building Depth must be WHOLLY contained within rear 60.0%; otherwise see subsection (1).</i>	(a) there is more than one main residential building on the parcel;		N/A MRB is not wholly located in rear of 40% parcel depth	
		(b) 50.0% or more of the units on the parcel are contained in main residential buildings located within the first 60.0% of the parcel depth; and			
		Parcel Depth (m)			
		40% / 60.0% Parcel Depth (m)			
		Total Number of Units			
		Required Number of Units in Front 60.0%			
(3) For a main residential building that is located on a corner parcel there is no maximum building depth where the minimum building setback from the side property line shared with another parcel is 3.0m for any portion of the building located between the rear property line and:	(a) 50.0 per cent parcel depth; or		N/A Interior Lot		
		Parcel Depth			
	(b) the building depth of the main residential building on the adjoining parcel;				
		C.A.B. Building Depth			
	whichever is closer to the rear property line.				
	3.0m Building Side Setback Required beyond				
	0.00	m	and the rear		
	property line				

339.1 Porches <i>(must meet all requirements to be exempt)</i>	In a Developed Area, a porch is exempt from parcel coverage where:	(a) the porch is located between the façade of the main residential building and:	(i) the front property line, or		C	N/C	N/A	N/I	
			(ii) the side property line on the street side of a corner parcel;		C	N/C	N/A	N/I	
		(b) the porch is unenclosed on a minimum of two sides, other than by a railing, balustrade, or privacy walls located on porches between attached units when the porch is at or exceeds the contextual front setback; and			C	N/C	N/A	N/I	
		(c) there is no enclosed floor area or balcony located directly above the roof of the porch.			C	N/C	N/A	N/I	
534 Parcel Coverage	(2) Unless otherwise referenced in subsection (3), the maximum cumulative building coverage over all the parcels subject to a single development permit containing a Contextual Semi-Detached Dwelling, Contextual Single Detached Dwelling, Cottage Housing Cluster, Rowhouse Building, Semi-Detached Dwelling, Single Detached Dwelling or Townhouse is:	(a) 45.0% of the area of the parcels subject to a single development permit for a development with a density of less than 40 units per hectare;			Applies		Does Not Apply		
		(b) 50.0% of the area of the parcels subject to a single development permit for a development with a density 40 units per hectare or greater and less than 50 units per hectare;			Applies		Does Not Apply		
		(c) 55.0% of the area of the parcels subject to a single development permit for a development with a density of 50 units per hectare or greater and less than 60 units per hectare; or			Applies		Does Not Apply		
		(d) 60.0% of the area of the parcels subject to a single development permit for a development with a density of 60 units per hectare or greater.			Applies		Does Not Apply		
	(3) The maximum parcel coverage referenced in subsections (1) and (2), must be reduced by:	(a) 21.0m ² where one motor vehicle parking stall is required on a parcel that is not located in a private garage; and			Applies		Does Not Apply		
		(b) 19.0m ² for each required motor vehicle parking stall that is not located in a private garage where more than one motor vehicle parking stall is required on a parcel.			Applies		Does Not Apply		
	(4) For all other uses, the maximum parcel coverage is 45.0%			Applies		Does Not Apply			
	Determine correct percentage of parcel coverage and input values below					%	%		
	45.0%	1 334.20 Parcel Area (m ²)	Number of Units	Required Stalls	150.39 Max. Coverage	44.74%	-0.26%		
	Parcel Coverage Totals					m ²	m ²		
House	Proj. > 1.0m	Garage(s)	Other	Total					
146.85	2.66			149.51	149.51	-0.88			
347 Contextual Single Detached Dwelling	(6) Where a private garage is attached to a Contextual Single-Detached Dwelling the maximum building coverage is the maximum parcel coverage which must be reduced by 21m ² for each required parking stall				m ²	m ²			
	150.39 Max. Coverage	1 Required Stalls	X 21m ²	129.39 Max. Coverage	149.51	20.12			
(5) Where a Contextual Single Detached Dwelling is located on a parcel with a parcel width greater than 10.0m, the maximum area of a horizontal cross section through each storey above the first storey must not exceed the building coverage					Complies				

Communities

0.5 Parking Rate

<input type="checkbox"/> Other Areas of the City	<input type="checkbox"/> Within 600.0m of Existing LRT or BRT Bus Stop			
A	D	I	N	S
<input type="checkbox"/> Acadia	<input type="checkbox"/> Dalhousie	<input type="checkbox"/> Hillhurst	<input type="checkbox"/> North Glenmore Park	<input type="checkbox"/> Scarboro
<input type="checkbox"/> Albert Park / Ridsdon Heights	<input type="checkbox"/> Downtown Commercial Core	<input type="checkbox"/> Hounsfield Heights / Briar Hill	<input type="checkbox"/> North Haven	<input type="checkbox"/> Shaganappi
<input type="checkbox"/> Altadore	<input type="checkbox"/> Downtown Commercial Core	<input type="checkbox"/> Huntington Hills	<input type="checkbox"/> North Haven Upper	<input type="checkbox"/> South Calgary
B	<input type="checkbox"/> Downtown East Village	J	O	<input type="checkbox"/> Southview
<input type="checkbox"/> Banff Trail	<input type="checkbox"/> Downtown West End	<input type="checkbox"/> Inglewood	<input type="checkbox"/> Oakridge	<input type="checkbox"/> Southwood
<input type="checkbox"/> Bankview	E	K	<input type="checkbox"/> Ogden	<input type="checkbox"/> Spruce Cliff
<input type="checkbox"/> Bayview	<input type="checkbox"/> Eagle Ridge	<input type="checkbox"/> Kelvin Grove	P	<input type="checkbox"/> St. Andrews Heights
<input type="checkbox"/> Bel-air	<input type="checkbox"/> Eau Claire	<input type="checkbox"/> Killarney / Glengarry	<input type="checkbox"/> Palliser	<input type="checkbox"/> Sunalta
<input type="checkbox"/> Beltline	<input type="checkbox"/> Elbow Park	<input type="checkbox"/> Kingsland	<input type="checkbox"/> Parkdale	<input type="checkbox"/> Sunalta West
<input type="checkbox"/> Bonavista Downs	<input type="checkbox"/> Elboya	L	<input type="checkbox"/> Parkhill	<input type="checkbox"/> Sunnyside
<input type="checkbox"/> Bowness	<input type="checkbox"/> Ertlon	<input type="checkbox"/> Lake Bonavista	<input type="checkbox"/> Point McKay	T
<input type="checkbox"/> Braeside	F	<input type="checkbox"/> Lakeview	<input type="checkbox"/> Pump Hill	<input type="checkbox"/> Thorncliffe
<input type="checkbox"/> Brentwood	<input type="checkbox"/> Fairview	<input type="checkbox"/> Lincoln Park	Q	<input type="checkbox"/> Tuxedo Park
<input type="checkbox"/> Bridgeland / Riverside	<input type="checkbox"/> Forest Heights	<input type="checkbox"/> Lower Mount Royal	<input type="checkbox"/> Queens Park Village	U
<input type="checkbox"/> Britannia	<input type="checkbox"/> Forest Lawn	M	R	<input type="checkbox"/> University District
C	G	<input type="checkbox"/> Manchester	<input type="checkbox"/> Ramsay	<input type="checkbox"/> University Heights
<input type="checkbox"/> Cambrian Heights	<input type="checkbox"/> Garrison Green	<input type="checkbox"/> Maple Ridge	<input type="checkbox"/> Renfrew	<input type="checkbox"/> Upper Mount Royal
<input type="checkbox"/> Canyon Meadows	<input type="checkbox"/> Garrison Woods	<input type="checkbox"/> Marlborough	<input type="checkbox"/> Richmond	V
<input type="checkbox"/> Capitol Hill	<input type="checkbox"/> Glamorgan	<input type="checkbox"/> Mayfair	<input type="checkbox"/> Rideau Park	<input type="checkbox"/> Varsity
<input type="checkbox"/> Charleswood	<input type="checkbox"/> Glenbrook	<input type="checkbox"/> Mayland Heights	<input type="checkbox"/> Rosedale	<input type="checkbox"/> Vista Heights
<input type="checkbox"/> Chinatown	<input type="checkbox"/> Glendale	<input type="checkbox"/> Meadowlark Park	<input type="checkbox"/> Rosemont	<input type="checkbox"/> West Hillhurst
<input type="checkbox"/> Chinook Park	<input type="checkbox"/> Greenviue	<input type="checkbox"/> Mission	<input type="checkbox"/> Rosscarrock	<input type="checkbox"/> Westgate
<input type="checkbox"/> Cliff Bungalow	H	<input type="checkbox"/> Montgomery	<input type="checkbox"/> Roxboro	<input type="checkbox"/> Wildwood
<input type="checkbox"/> Collingwood	<input type="checkbox"/> Haysboro	<input type="checkbox"/> Mount Pleasant	<input type="checkbox"/> Rutland Park	<input type="checkbox"/> Willow Park
<input checked="" type="checkbox"/> Crescent Heights	<input type="checkbox"/> Highland Park			<input type="checkbox"/> Windsor Park
<input type="checkbox"/> Currie Barracks	<input type="checkbox"/> Highwood			<input type="checkbox"/> Winston Heights / Mountview

Part 4 A to Z Use and Use Rules			D.P. # 2024-08233			
Section / Use	Type	Requirements	Evaluation			
153.1 Backyard Suite	Compulsory	(iii) is located in a detached building located behind the front façade of the main residential building;	C	N/C	N/A	N/I
		(vi) Must not be located on the same parcel or bare land unit as either a Rowhouse Building or a Townhouse use;	C	N/C	N/A	N/I
170.2 Contextual Semi-detached Dwelling	Compulsory	(i) contains two Dwelling Units located side by side and separated by a common party wall extending from foundation to roof;	C	N/C	N/A	N/I
187 Duplex Dwelling	Compulsory	(a) means a building which contains two Dwelling Units, one located above the other, with each having a separate entrance;	C	N/C	N/A	N/I
287 Rowhouse	Compulsory	(i) contains three or more Dwelling Units, located side by side and separated by common party walls extending from foundation to roof;	C	N/C	N/A	N/I
		(ii) where one façade of each Dwelling Unit directly faces a public street;	C	N/C	N/A	N/I
		(iii) where no intervening building is located between the street facing façade of each Dwelling Unit and the adjacent public street;	C	N/C	N/A	N/I
		(iv) where each Dwelling Unit has a separate direct entry from grade to an adjacent public sidewalk or an adjacent public street;	C	N/C	N/A	N/I
		(v) where no Dwelling Unit is located wholly or partially above another Dwelling Unit; and	C	N/C	N/A	N/I
		(vi) may contain a Secondary Suite within a Dwelling Unit in a district where a Secondary Suite is a listed use and conforms with the rules of the district;	C	N/C	N/A	N/I
295 Secondary Suite	Compulsory	(i) contains two or more rooms used or designed to be used as a residence by one or more persons;	C	N/C	N/A	N/I
		(ii) contains a kitchen, living, sleeping and sanitary facilities;	C	N/C	N/A	N/I
		(iii) is self-contained and located within a Dwelling Unit;	C	N/C	N/A	N/I
		(iv) must not be located in a Dwelling Unit where another Dwelling Unit is located wholly or partially above or below the Dwelling Unit containing the Secondary Suite; and	C	N/C	N/A	N/I
		(v) is considered part of and secondary to a Dwelling Unit;	C	N/C	N/A	N/I
297 Semi-Detached Dwelling	Compulsory	(a) means a use where a building contains two Dwelling Units located side by side and separated by a common party wall extending from foundation to roof;	C	N/C	N/A	N/I
319 Townhouse	Compulsory	(i) comprising three or more Dwelling Units;	C	N/C	N/A	N/I
		(ii) where each Dwelling Unit has a separate direct entry from grade;	C	N/C	N/A	N/I
		(iii) where no Dwelling Unit is located wholly or partially above another Dwelling Unit; and	C	N/C	N/A	N/I
		(iv) that does not include a Rowhouse Building;	C	N/C	N/C	N/I

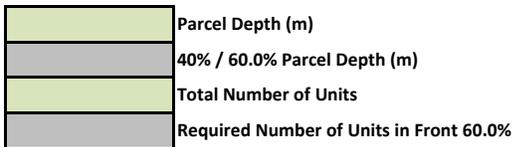
Page 5		Residential - Grade-Oriented Infill (R-CG) District			D.P. #		2024-08233			
Rule	Requirements				Evaluation					
					Notes					
Secondary Suites		If applicable please refer to Secondary Suites Form				See Attached		N/A N/I		
347 Contextual Single Detached Dwelling	(Front A 80.99 + Front B 80.80) / 2 = Front Average Building Reference Point				80.9					
	(Rear A 80.97 + Rear B 80.85) / 2 = Rear Average Building Reference Point				80.91					
	(1) A Contextual Single Detached Dwelling: (e) must not be located on a parcel where the difference between the average building reference points is greater than 2.4m; and Difference between Front & Rear Average Building Reference Points =				0.01		C		N/C N/A N/I	
537 Building Setback from Front Property line	The minimum building setback from a front property line is 3.0m				South		7.33		4.33	
347 Contextual Single Detached Dwelling	(1) A contextual Single Detached Dwelling	(a) must have:	(i) a portion of the front façade with an area less than or equal to 50% of the area of all front facades, recessed or projecting forward from the remaining façade that has a minimum dimension of: (A) 2.0m in width; (B) 0.6m in depth; and; (C) 2.4m in height; or		C		N/C		N/A N/I	
			(ii) a porch projecting from the front façade with a minimum dimension of: (A) 2.0m in width; and (B) 1.2m in depth		C		N/C		N/A N/I	
334 Projections into Setback Areas	(3) Portions of a building below the surface of the ground may extend without any limits into a setback area, with the exception of the required front setback area.				C		N/C		N/A N/I	
336 Projections Into Front Setback Area	(1) Unless otherwise referenced in subsection (6), bay windows and eaves may project a max. of 0.6 m into the front setback area.				N/A					
	(2) Landings, ramps other than wheelchair ramps and stairs may project into a front setback area provided:		(a) they provide access to the main floor or lower level of the building; and							
			(b) the area of a landing does not exceed 2.5m ²							
	(5) In a Developed Area, a porch may project a maximum of 1.8m into a front setback area where:									
		(a) it forms an entry to the main floor of a Dwelling Unit of a main residential building;		N/A						
		(b) the setback of the porch from the front property line is not less than the minimum setback in the district;								
		(c) the maximum height of the porch platform is 1.2m measured from grade, excluding stairs and a landing area not exceeding 2.5m ² ; and								
		(d) the portion of the porch that projects into a front setback area is unenclosed, other than by a railing, balustrade or privacy walls located on porches between attached units.								

	(6) Eaves may project an additional 0.6m from a porch into the front setback area, as described in subsection (5).						
335 Length of Portions of a Building in Setback Areas (Front)	(1) On each storey, the total combined length of all projections into any setback area must not exceed 40% of the length of the façade <i>(Does not apply to decks, eaves, porches, ramps, and stairs)</i>	PROVIDE LENGTH AND % VALUES	%	Length	%	Length	
	1st st		X 40% =		N/A		
	2nd st		X 40% =				
	(2) The max. length of an individual projection into any setback area is 3.1m						
539 Building Setback from Side Property Line	(1) Subject to subsections (3) through (9), the minimum building setback from any side property line is 1.2m	West	1.22	0.02			
		East	1.22	0.02			
	(2) Subject to subsections (3) through (7), for a laneless parcel, the minimum building setback from any side property line is:	(a) 1.2m; or					N/A
		(b) 3.0m on one side of the parcel when no provision is made for a private garage on the front or side of a building.					
	(3) There is no requirement for a building setback from a property line upon which a party wall is located.						
	(4) The minimum building setback from a side property line may be reduced to a zero setback where:	(a) the owner of the parcel proposed for development and the owner of the adjacent parcel register, against both titles, a 1.2m private maintenance easement.					
	(5) The minimum building setback from a side property line may be reduced to a zero setback where the main residential building on the adjoining parcel has a zero setback.						
	(6) For a corner parcel, the minimum building setback from a side property line shared with a street is 0.6m						
	(7) The building setback from a side property line of 3.0m required in subsection 2(b) may be reduced to zero metres where the owner of the parcel proposed for development and the owner of the adjacent parcel registers, against both titles, a private access easement:	(a) where the width of the easement, in combination with the reduced building setback, must be at least 3.0 metres;					
		(b) that provides unrestricted vehicle access to the rear of the parcel.					
(8) Unless otherwise referenced in subsection (9), on a laned parcel the minimum building setback from a side property line for a private garage attached to a main residential building is 0.6m							
(9) On a laned parcel, the minimum building setback for a private garage attached to a main residential building that does not share a side or rear property line with a street may be reduced to zero metres where the wall of the portion of the building that contains the private garage is constructed of maintenance-free materials and there is no overhang of eaves onto an adjacent parcel.							
	(1.1) Portions of a building greater than or equal to 2.4m above grade may project a max of 0.6m into any side setback area.	West - 2F Cant x 2	0.54	-0.06			
		East - 2F Cant x 2	0.54	-0.06			
	(1.2) Portions of a building less than 2.4m above grade may project a maximum of 0.6m,						

337 Projections Into Side Setback Area	(1.2) (b) for all other uses:		(i) when located on a corner parcel;		N/A				
			(ii) where at least one side setback area is clear of all portions of the building measured from grade to a height of 2.4m; or						
			(iii) where the side setback area contains a private maintenance easement required by this Bylaw and no portion of the building projects into the required private maintenance easement.						
	(1.3) Window wells may project a maximum of 0.8m into any side setback area.			West - WW x 2	0.74	-0.06			
				East - WW x 1	0.74	-0.06			
	(2) Window wells and portions of a building, other than eaves, must not project into a 3.0 metre setback required on a laneless parcel.			C	N/C	N/A	N/I		
	(3) Eaves may project a max. of 0.6m into any side setback area.			West	0.59	-0.01			
				East	0.59	-0.01			
	(5) Landings, ramps other than wheelchair ramps and stairs may project in a side setback area provided:		(a) they provide access to the main floor or lower level of the building;		N/A				
(b) the area of a landing does not exceed 2.5m ²									
(c) the area of any portion of a landing that projects into the side setback area does not exceed 1.8m ²									
(d) they are not located in a 3.0m side setback area required on a laneless parcel; and									
(e) they are not located in a side setback area required to be clear of projections, unless pedestrian access from the front to the rear									
(10) Central air conditioning equipment may project a maximum of 1.0m into a side setback area:									
(8) Any portion of a building that projects into a side setback area, other than eaves, landings, window wells, ramps and stairs, must not be located closer than 0.9m from the nearest front façade.			Closest Portion	1.52	0.62				
(9) Balconies and decks must not project into any side setback area;			C	N/C	N/A	N/I			
335 Length of Portions of a Building in Setback Areas (Side)	(1) On each storey, the total combined length of all projections into any setback area must not exceed 40% of the length of the façade <i>(Does not apply to decks, eaves, porches, ramps, and stairs)</i>		PROVIDE LENGTH AND % VALUES		%	Length	%	Length	
	2nd st	West	15.70	X 40% =	6.28	30.06	4.72	-9.94	-1.56
	2nd st	East	15.70	X 40% =	6.28	29.04	4.56	-10.96	-1.72
	__st			X 40% =					
	__st			X 40% =					
(2) The max. length of an individual projection into any setback area is 3.1m <i>(Includes Window Wells)</i>			Longest Projection	2.74	-0.36				
540 Building Setback from Rear Property Line	(1) Unless otherwise referenced in subsection (2) the minimum building setback from a rear property line is 7.5m		N/A						
	(2) On a laned or corner parcel, the minimum building setback from a rear property line is 1.2m			North	3.96	2.76			
(2) Awnings, balconies, bay windows, canopies, chimneys, decks, eaves, fireplaces, fire escapes, landings, porches, and ramps other than wheelchair ramps may project a max of 1.5m into any rear setback area.									
(3) A private garage attached to a building		(a) does not exceed 4.6m in height, measured from the finished floor of the private garage;							
		(b) does not exceed 75.0m ² in gross floor area for each							

338 Projections Into Rear Setback Area	may project without limits into a rear setback area provided it:		Dwelling Unit located on the parcel.		N/A				
	(c) has no part that is located closer than 0.60m to the rear property line; and								
	(d) has no eave closer than 0.6m to a side property line.								
	(4) When an attached private garage has a balcony or deck, the balcony or deck must not be located within 6.0 m of a rear property line or 1.2m of a side property line.			Rear Side Side					
347 Contextual Single Detached Dwelling	(1) A contextual Single Detached Dwelling	(b) must not have vehicular access from the lane to an attached private garage			C	N/C	N/A	N/I	
		(c) must not have windows that are located beyond the rear façade of a main residential building on an adjoining parcel unless:	(i) the window is located below the second storey;			Applies		N/A	N/I
			(ii) the window is located on the rear façade;			Applies		N/A	N/I
			(iii) the glass in the window is entirely obscured; or			C	N/C	N/A	N/I
			(iv) there is a minimum distance of 1.5m between the finished floor and the bottom of the window sill			C	N/C	N/A	N/I
335 Length of Portions of a Building in Setback Areas (Rear)	(1) On each storey, the total combined length of all projections into any setback area must not exceed 40% of the length of the façade <i>(Does not apply to decks, eaves, porches, ramps, and stairs)</i>			PROVIDE LENGTH AND % VALUES	%	Length	%	Length	
	1st st		X 40% =		N/A				
	2nd st		X 40% =						
(2) The max. length of an individual projection into any setback area is 3.1m									
339 Decks	(2) The height of a deck in the Developed Area must not exceed:	(a) 1.5m above grade at any point, except where the deck is located on the same façade as the at-grade entrance to a walkout basement; and			N/A				
		(b) 0.3m above the main floor level of the closest main residential building on the parcel.							
(2.1) Unless otherwise referenced in subsection (3), a privacy wall located on a deck:	(a) must not exceed 2.0m in height when measured from the surface of the deck; and								
	(b) must not be located between the foremost front façade of the main residential building and the front property line.								
340 Balconies	(1) Unless otherwise referenced in this Part, an open balcony must not project more than 1.85m from the building façade to which it is attached.				N/A				
	(2) Unless otherwise referenced in this Part, the floor area of a recessed balcony must not exceed 10.0m ²								
	(2.1) Unless otherwise referenced in this Part, a privacy wall located on a balcony:	(a) must not exceed 3.0m in height when measured from the surface of the balcony; and							
(b) must not be located between the foremost front façade of the main residential building and front property line.									
	(a) may have a balcony located on a side façade:	(i) where it forms part of the front façade and is not recessed back more than 4.5m from the front façade; or							
		(ii) where it is on the street side of a corner parcel							

347 Contextual Single Detached Dwelling	(2) Unless otherwise referenced in this Part, a Contextual Single Detached Dwelling:	(b) may have a balcony located on a rear façade where:	(i) it does not form part of the side façade unless the side façade is on the street side of a corner parcel		N/A			
			(ii) a privacy wall is provided where the balcony is facing a side property line shared with a parcel; and					
			(iii) the privacy wall is a minimum of 2.0m in height and a maximum of 3.0m in height					
		(c) must not have a balcony with a height greater than 6.0m, measured vertically at any point from grade to the platform of the balcony						
544 Balconies	(2) A balcony attached to a Contextual Single Detached Dwelling, Contextual Semi-detached Dwelling, or Rowhouse Building that is a permitted use:	(a) may be located on a side façade of a building:	(i) where it forms part of the front façade and is not recessed back more than 4.5m from the front façade; or		N/A			
			(ii) where it is on the street side of a corner parcel;					
		(b) may be located on a rear façade of a building where:	(i) it does not form part of the side façade unless the side façade is on the street side of a corner parcel;					
			(ii) a privacy wall is provided where the balcony is facing a side property line shared with a contextually adjacent building; and	Minimum				
			(iii) the privacy wall is a minimum of 2.0m in height and a maximum of 3.0m in height; and	Maximum				
		(c) must not have a balcony on the rear façade with a height greater than 6.0m, when measured vertically at any point from grade to the platform of the balcony.						
		541 Building Height	(1) Unless otherwise referenced in subsections (2), (3) and (4), the maximum building height is 11.0m measured from grade.			Front	9.59	-1.41
						Left	9.59	-1.41
						Right	9.59	-1.41
						Rear	9.56	-1.44
(2) Where a building setback is required from a property line shared with another parcel designated with a low density residential district, the M-CG District or H-GO District, the maximum building height:	(a) is the greater of:		(i) the highest geodetic elevation of a main residential building on the adjoining parcel; or		C	N/C	N/A	N/I
			(ii) 7.0m from grade; measured at the shared property line; and					
	(b) increases at a 45 degree angle to a max of 11.0m measured from grade.							
(3) On a corner parcel, the max area of a horizontal cross section through a building at 9.5m above average grade must not be greater than 75.0% of the max area of a horizontal cross section through the building between average grade and 8.6m						N/A Interior Lot		
	Prim. Bldg. Cnr 1		Prim. Bldg. Cnr 2	Geo 9.5m Abve Avrge Grade				
	Prim. Bldg. Cnr 3		Prim. Bldg. Cnr 4	Geo 8.6m Abve Avrge Grade				
		X 75% =						

	Max. Area	Max. Area allowed at 9.5m above avg. grade				
	(4) Where not located on a corner parcel, the maximum building height is 8.6m for any portion of a main residential building located between the rear property line and 60.0% parcel depth or the contextual building depth average, whichever is greater.		N/A Subject building depth is less than contextual building depth average			
	Height Required Beyond 28.24 m and Rear Property Line					
	28.26	19.02			36.57	
	C.A.B. #1	C.A.B. #2			Parcel Depth	
349 Roof Equipment Projection	(2) Mechanical equipment may project a maximum of 0.3m from the surface of a roof on a building.		N/A			
532 Façade Width	The minimum width of a street facing façade of a unit is 4.2m		6.71	2.51		
37 Contextual Building Depth Average	A) Contextual Building Depth Average for 2 Contextual Adjacent Buildings					
	(Adj. building 1	28.26	+ Adj. building 2	19.02) / 2 + 4.6 = A	28.24
	OR B) Contextual Building Depth Average for 1 Contextual Adjacent Building					
		Adjacent Building	0.00	+ 4.6 = B	4.6	
347 Contextual Single Detached Dwelling	OR C) Contextual Building Depth Average with no Contextual Adjacent Buildings					
		65% X	Parcel Depth	= C	0	
	(3) Where a contextual Single Detached Dwelling is located on a parcel with a parcel width less than or equal to 10.0m the maximum building depth is the greater of:		(a) 65.0 per cent of the parcel depth; or 65% x 36.57 = 23.8 Parcel Depth Max Building Depth	32.62	4.42	
		(b) the contextual building depth average Contextual Building Depth Avg. = 28.2	(3)(b) applies			
	(4) Where a Contextual Single Detached Dwelling is located on a parcel with a parcel width greater than 10.0m the maximum building depth is the contextual building depth average Contextual Building Depth Average = 28.2		32.62	4.42		
535 Building Depth and Separation	(1) Unless otherwise referenced in subsections (2) and (3) the maximum building depth is 65.0% of the parcel depth for a building containing a unit.		Percentage (%)			
			89.21%	24.21%		
			Building Depth (m)			
	65%	x 36.57 = 23.80	32.62	8.82		
			Parcel Depth Max Bldg Depth			
	(2) On a laned parcel, there is no maximum building depth for a main residential building wholly contained to the rear of 40.0% parcel depth where: <i>Note: The Main Residential Building exempt from Building Depth must be WHOLLY contained within rear 60.0%; otherwise see subsection (1).</i>	(a) there is more than one main residential building on the parcel; (b) 50.0% or more of the units on the parcel are contained in main residential buildings located within the first 60.0% of the parcel depth; and 	N/A MRB is not wholly located in rear of 40% parcel depth			
	(c) where the minimum separation distance of the main residential buildings on the front portion of the parcel and the main residential buildings contained on the rear portion of the parcel is 6.5m					
	(a) 50.0 per cent parcel depth; or					

(3) For a main residential building that is located on a corner parcel there is no maximum building depth where the minimum building setback from the side property line shared with another parcel is 3.0m for any portion of the building located between the rear property line and:	Parcel Depth		N/A Interior Lot
	(b) the building depth of the main residential building on the adjoining parcel;		
	C.A.B. Building Depth		
	whichever is closer to the rear property line.		
	3.0m Building Side Setback Required beyond		
	0.00 m and the rear		
	property line		

For parcels designated R-CG use this calculation:					
The maximum density for parcels designated R-CG District is 75 units per hectare.			Units	1	-1
75	334.20	(m ²)	2.00		
	0.0334204	(ha)	=	Units	
U.P.H				U.P.H	29.92 -45.08
For multi-residential parcels reverting to low density uses in section 573, use the density maximum for that multi-residential district:					
Enter UPH of MDR district below: <i>The max density for parcels designated multi-residential is the density requirement of that district.</i>			Units	N/A	
		(m ²)			
	Enter m ² Above	(ha)	=		
U.P.H				U.P.H	

365 Exempt Addition	In order for the exemption in section 25(2)(a) to apply to an exterior alteration or addition to an existing Duplex Dwelling, Semi-detached Dwelling or Single Detached Dwelling: (b) the addition may be a maximum of:				N/A			
	(i) 40.0m ² in floor area for any portion at a height less than or equal to:	(A) 7.5m measured from grade where the existing building has a walkout basement; or (B) 6.0m measured from grade where the existing building does not have a walkout basement; and						
	(ii) 10.0m ² in floor area for any portion not exceeding the highest point of the existing roof;							

339.1 Porches <i>(must meet all requirements to be exempt)</i>	In a Developed Area, a porch is exempt from parcel coverage where:	(a) the porch is located between the façade of the main residential building and:	(i) the front property line; or	C	N/C	N/A	N/I
			(ii) the side property line on the street side of a corner parcel;	C	N/C	N/A	N/I
		(b) the porch is unenclosed on a minimum of two sides, other than by a railing, balustrade, or privacy walls located on porches between attached units when the porch is at or exceeds the contextual front setback; and		C	N/C	N/A	N/I
			(c) there is no enclosed floor area or balcony located directly above the roof of the porch.	C	N/C	N/A	N/I

(2) Unless otherwise referenced in subsection (3), the maximum cumulative building coverage over all the parcels subject to a single development permit containing a Contextual Semi-Detached Dwelling, Contextual Single Detached Dwelling, Cottage Housing Cluster, Rowhouse Building, Semi-Detached Dwelling, Single	(a) 45.0% of the area of the parcels subject to a single development permit for a development with a density of less than 40 units per hectare;		Applies	Does Not Apply
	(b) 50.0% of the area of the parcels subject to a single development permit for a development with a density 40 units per hectare or greater and less than 50 units per hectare;		Applies	Does Not Apply
	(c) 55.0% of the area of the parcels subject to a single development permit for a development with a density of 50 units per hectare or greater and less than 60 units per hectare; or		Applies	Does Not Apply

534 Parcel Coverage	Detached Dwelling or Townhouse is:	(d) 60.0% of the area of the parcels subject to a single development permit for a development with a density of 60 units per hectare or greater.		Applies	Does Not Apply												
	(3) The maximum parcel coverage referenced in subsections (1) and (2), must be reduced by:	(a) 21.0m ² where one motor vehicle parking stall is required on a parcel that is not located in a private garage; and		Applies	Does Not Apply												
		(b) 19.0m ² for each required motor vehicle parking stall that is not located in a private garage where more than one motor vehicle parking stall is required on a parcel.		Applies	Does Not Apply												
	(4) For all other uses, the maximum parcel coverage is 45.0%			Applies	Does Not Apply												
	Determine correct percentage of parcel coverage and input values below			%	%												
	<table border="1"> <tr> <td>1</td> <td>Number of Units</td> </tr> <tr> <td>334.20</td> <td></td> </tr> </table>	1	Number of Units	334.20		<table border="1"> <tr> <td>45.0%</td> <td>Parcel Area (m²)</td> </tr> </table>	45.0%	Parcel Area (m ²)	minus <table border="1"> <tr> <td></td> <td>Required Stalls</td> </tr> </table>		Required Stalls	=	<table border="1"> <tr> <td>150.39</td> <td>Max. Coverage</td> </tr> </table>	150.39	Max. Coverage	45.18%	0.18%
1	Number of Units																
334.20																	
45.0%	Parcel Area (m ²)																
	Required Stalls																
150.39	Max. Coverage																
Parcel Coverage Totals			m ²	m ²													
	<table border="1"> <tr> <td>House</td> <td>Proj. > 1.0m</td> <td>Garage(s)</td> <td>Other</td> <td>Total</td> </tr> <tr> <td>148.33</td> <td>2.66</td> <td></td> <td></td> <td>150.99</td> </tr> </table>	House	Proj. > 1.0m	Garage(s)	Other	Total	148.33	2.66			150.99				150.99	0.60	
House	Proj. > 1.0m	Garage(s)	Other	Total													
148.33	2.66			150.99													
347 Contextual Single Detached Dwelling	(6) Where a private garage is attached to a Contextual Single-Detached Dwelling the maximum building coverage is the maximum parcel coverage which must be reduced by 21m ² for each required parking stall			m ²	m ²												
	<table border="1"> <tr> <td>150.39</td> <td>Max. Coverage</td> </tr> </table>	150.39	Max. Coverage	minus <table border="1"> <tr> <td>1</td> <td>Required Stalls</td> </tr> </table>	1	Required Stalls	x 21m ²	=	<table border="1"> <tr> <td>129.39</td> <td>Max. Coverage</td> </tr> </table>	129.39	Max. Coverage	150.99	21.60				
150.39	Max. Coverage																
1	Required Stalls																
129.39	Max. Coverage																
(5) Where a Contextual Single Detached Dwelling is located on a parcel with a parcel width greater than 10.0m, the maximum area of a horizontal cross section through each storey above the first storey must not exceed the building coverage			Complies														
Accessory Building	If applicable please refer to Accessory Residential Building Form			See Attached	N/A N/I												
542 Landscaping Requirements <i>Applies with 3 or more units</i>	(3) All areas of a parcel, except for those portions specifically required for motor vehicle access, motor vehicle parking stalls, loading stalls, garbage facilities, or any purpose allowed by the Development Authority, must be a landscaped area.																
	(4) All setback areas adjacent to a street, except for those portions specifically required for motor vehicle access, must be a landscaped area.																
	(5) Amenity space provided outdoors at grade must be included in the calculation of a landscaped area.																
	(6) Any part of the parcel used for motor vehicle access, motor vehicle parking stalls, loading stalls and garbage or recycling facilities must not be included in the calculation of a landscaped area.																
	(7) A minimum of 30.0% of the landscaped area must be covered with soft surfaced landscaping.		<table border="1"> <tr> <td></td> <td>Landscaped Area (m²)</td> </tr> </table>		Landscaped Area (m ²)												
		Landscaped Area (m ²)															
	(8) All soft surfaced landscaped area must be irrigated by an underground irrigation system, unless otherwise provided by a low water irrigation system.																
(9) Mechanical systems or equipment that are located outside of a building must be screened.																	
(4) The requirement for the provision of 1.0 tree is met where:	(a) a deciduous tree has a minimum calliper of 60mm;	<table border="1"> <tr> <td></td> <td># Provided</td> </tr> </table>		# Provided													
		# Provided															
(b) a coniferous tree has a minimum height of 2.0m																	

542.2 Planting Requirements <i>Applies with 3 or more units</i>	(5) The requirement for the provision of 2.0 trees is met where:		(a) a deciduous tree has a minimum calliper of 85mm;	# Provided	N/A	
			(b) a coniferous tree has a minimum height of 4.0m	# Provided		
	(6) The requirement for the provision of 3.0 trees is met where an existing deciduous tree with a calliper greater than 100mm is preserved.		# Provided			
	(2) A minimum of 1.0 tree and 3.0 shrubs must be provided for each 110.0m ² of parcel area.		Required Trees	Required Shrubs		Parcel Area (m ²)
	(3) Shrubs must be a minimum height or spread of 0.6m at the time of planting.					
	(7) For landscaped areas with a building below, planting areas must have the following minimum soil depths:		(a) 1.2m for trees;			
			(b) 0.6m for shrubs; an			
			(c) 0.3m for all other planting areas.			
	(8) The soil depths referenced in (7) must cover an area equal to the mature spread of the planting material.					
	341 Driveways	(1) A driveway must not have direct access to a major street unless:		(a) there is no practical alternative method of vehicular access to the parcel; and (b) a turning space is provided on the parcel to allow all vehicles exiting to face the major street.		N/A
(2) A driveway connecting a street to a private garage must:		(a) be a min of 6.0m in length along the intended direction of travel for vehicles measured from:				
		(b) contain a rectangular area measuring 6.0m in length and 3.0m in width.				
(3) A driveway connecting a lane to a private garage must be a min of 0.60m in length along the intended direction of travel for vehicles, measured from the property line shared with the lane to the door of a private garage.		East	1.22	0.62		
(5) That portion of a driveway including a motor vehicle parking stall within 6.0m of a public sidewalk, or a curb on a street where there is no public sidewalk, must not exceed a width of:		(a) 6.0m where the parcel width is 9.0m or less; or				
		(b) 7.0m for parcel width > than 9.0m and < than 15.0m				
(6) In the developed area a driveway accessing a street must not be constructed, altered or replaced except where:		(a) located on a laneless parcel; (b) located on a laned parcel and 50.0% or more parcels on same block face have an existing driveway accessing a street; or (c) legally existing driveway not being relocated or widened.		# Provided	N/A	

<p>342 Retaining Walls</p>	<p>(1) A retaining wall must be less than 1.2m in height when measured from the lowest grade at any point adjacent to the retaining wall to the highest grade retained by the retaining wall.</p> <p>(2) A min horizontal separation of 1.0m must be maintained between retaining walls on the same parcel.</p>		C	N/C	N/A	N/I					
<p>338.1 Patios</p>	<p>(1) Unless otherwise referenced in subsections (2) and (3), a privacy wall may be located on a patio, provided it does not exceed a height of 2.0m from the surface of the patio.</p> <p>(2) A privacy wall located on a patio must not exceed 2.0m in height, when measured from grade and when the privacy wall is located within: (a) a side setback area; or (b) 6.0m of a rear property line.</p> <p>(3) A privacy wall located on a patio must not exceed 1.2m in height when measured from grade when the privacy wall is located between the foremost front façade of the main residential building and the front property line.</p>		C	N/C	N/A	N/I					
<p>540.1 Fences <i>Note: Only apply fence rules to proposed fences</i></p>	<p>The height of a fence above grade at any point along a fence line must not exceed 1.2m for any portion of a fence extending between the foremost front façade of the immediately adjacent main residential building and the front property line.</p>		C	N/C	N/A	N/I					
<p>343 Fences <i>Note: Only apply fence rules to proposed fences</i></p>	<table border="1"> <tr> <td data-bbox="269 831 448 898">The height of a fence above grade at any point along a fence line must not exceed:</td> <td data-bbox="448 831 956 898">(b) 2.0m in all other cases, and</td> </tr> <tr> <td></td> <td data-bbox="448 898 956 968">(c) 2.5m at the highest point of a gate that is not more than 2.5m in length.</td> </tr> </table>	The height of a fence above grade at any point along a fence line must not exceed:	(b) 2.0m in all other cases, and		(c) 2.5m at the highest point of a gate that is not more than 2.5m in length.		C	N/C	N/A	N/I	
The height of a fence above grade at any point along a fence line must not exceed:	(b) 2.0m in all other cases, and										
	(c) 2.5m at the highest point of a gate that is not more than 2.5m in length.										
<p>348 Visibility Setback</p>	<p>Within a corner visibility triangle, buildings, fences, finished grade of a parcel and vegetation must not exceed the lowest elevation of the street by more than 0.75m above lowest elevation of the street.</p>		C	N/C	N/A	N/I					
<p>546.3 Waste, Recycling and Organics</p>	<p>For developments of three or more units, garbage, recycling, and organics must be stored in a screened location approved by the Development Authority</p> <p><i>*Note: Applies when there are 3 or more Units</i></p>		C	N/C	N/A	N/I					
<p>171 Contextual Single Detached Dwelling</p>	<p>(c) requires a minimum of 1.0 motor vehicle parking stalls per Dwelling Unit; and</p>		2		1						
<p>546 Motor Vehicle Parking Stalls</p>	<p>(1) The minimum number of motor vehicle parking stalls is calculated based on the sum of all units and suites at a rate of 1.0 stalls per unit or suite.</p> <p>(2) Notwithstanding subsection (1), the minimum number of motor vehicle parking stalls is calculated based on the sum of all units and suites at a rate of 0.5 stalls per unit or suite for the area listed in Table 2.1 below.</p> <table border="1" data-bbox="358 1570 956 1682"> <tr> <td data-bbox="358 1570 537 1612">2</td> <td data-bbox="537 1570 789 1612">Number of Units</td> </tr> <tr> <td data-bbox="358 1612 789 1654">2</td> <td data-bbox="789 1612 956 1654">Stalls Within a Private Garage</td> </tr> <tr> <td data-bbox="358 1654 789 1682">0</td> <td data-bbox="789 1654 956 1682">Stalls provided on Parking Pad</td> </tr> </table>	2			Number of Units	2	Stalls Within a Private Garage	0	Stalls provided on Parking Pad	<p><i>*See Communities Tab to Adjust Parking Rate</i></p> <p>Parking Rate: <input type="text" value="0.50"/> Stall per Unit & Suite</p>	
2	Number of Units										
2	Stalls Within a Private Garage										
0	Stalls provided on Parking Pad										
<p>546.1 Mobility Storage</p>	<p>(2) Notwithstanding subsection (1), there is no requirement for mobility storage lockers for parcels with two or less Dwelling Units.</p> <p>The minimum number of mobility storage lockers is calculated based on the sum of all units and suites at a rate of 0.5 lockers per unit or suite where a unit or suite is not provided a motor vehicle parking stall located in a private garage.</p> <table border="1" data-bbox="358 1860 956 1934"> <tr> <td data-bbox="358 1860 537 1902">0</td> <td data-bbox="537 1860 956 1902">Number of Units</td> </tr> </table>	0	Number of Units		Applies		N/A	N/I			
0	Number of Units										
	<p>(2) Notwithstanding subsection (1), there is no requirement for a bicycle parking stall – class 1 for parcels with two or less Dwelling Units.</p>		Applies		N/A	N/I					

<p>546.2 Bicycle Parking Stalls</p>	<p>(1) The minimum number of bicycle parking stalls – class 1 is calculated based on the sum of all units and suites at a rate of 1.0 stall per unit or suite where a unit or suite is not provided a motor vehicle parking stall located in a private garage or mobility storage locker.</p> <p style="text-align: center;">#VALUE! Number of Units</p>		N/A			
<p>13(90.3) Mobility Storage Locker</p>	<p>(a) has a door with a minimum width of 0.9m that has direct access to grade;</p> <p>(b) has a minimum length of 2.8m;</p> <p>(c) has a minimum width of 1.2m;</p> <p>(d) has a minimum height of 1.8m</p>		N/A			
<p>122 Standards for Motor Vehicle Parking Stalls</p>	<p>(3) The minimum depth of a motor vehicle parking stall is 5.9m where it is required for: (a) a Contextual Single Detached Dwelling, Duplex Dwelling, Secondary Suite, Semi-detached Dwelling or Single Detached Dwelling</p> <p>(4) The minimum width of a motor vehicle parking stall required for a Dwelling Unit is: (a) 3.0m where both sides of a stall abut a physical barrier; (b) 2.85m where one side of a stall abuts a physical barrier; and (c) 2.5m in all other</p> <p>(15) Motor vehicle parking stalls for a Backyard Suite, Contextual Semi-detached Dwelling, Contextual Single Detached Dwelling, Duplex Dwelling, Secondary Suite, Semi-detached Dwelling and Single Detached Dwelling must be: (a) hard surfaced; and (b) located wholly on the subject parcel.</p>		C	N/C	N/A	N/I
			C	N/C	N/A	N/I
			C	N/C	N/A	N/I

Page 18		Secondary Suite - R-CG		D.P. # 2024-08233			
Rule	Requirements			Evaluation			
				Notes			
Provided/Variance							
Note: Remember to check any applicable district rules							
351 Secondary Suite	(1) For a Secondary Suite the minimum building setback from a property line, must be equal to or greater than the minimum building setback from a property line for the main residential building.			C	N/C	N/A	N/I
	(2) Except as otherwise stated in subsection (2.1) and (3), the maximum floor area of a Secondary Suite, excluding any area covered by stairways and landings, is 100.0m ² :		(a) in the R-C1L, R-C1Ls, R-C1, R-C1s, R-C1N, R-1, R-1s and R-1N District; or	N/A			
			(b) when located on a parcel with a parcel width less than 13.0m.				
(2.1) There is no maximum floor area for a Secondary Suite wholly located in a basement. Internal landings and stairways providing access to the basement may be located above grade.			Applies		N/A	N/I	
295 Secondary Suite	(c) has a maximum floor area of 100.0 square metres, excluding any area covered by stairways and landings;			N/A Sec 351(2.1) Applies			
354 Accessory Suite - Density	(1) There must not be more than one Backyard Suite located on a parcel, except in the R-CG and R-2M Districts where one Backyard Suite may be located on any bare land unit.			C	N/C	N/A	N/I
	(1.1) There must not be more than one Secondary Suite contained within a Dwelling Unit.			C	N/C	N/A	N/I
	(3) A Secondary Suite or a Backyard Suite must not be separated from the main residential use on a parcel by the registration of a condominium or subdivision plan.			C	N/C	N/A	N/I
Additional Notes							

Rounded

Rounded

FILE: DP2024-08233

DATE RECEIVED: November 23, 2024

Bylaw Discrepancies		
Regulation	Standard	Provided
535 Building Depth and Separation	(1) Unless otherwise referenced in subsections (2) and (3) the maximum building depth is 65.0% of the parcel depth for a building containing a unit.	Plans indicate a building depth of 32.62m (+8.82m) or 89.21% (+24.21%) of the parcel depth.
534 Parcel Coverage	(2) Unless otherwise referenced in subsection (3), the maximum cumulative building coverage over all the parcels subject to a single development permit containing a Contextual Semi-Detached Dwelling, Contextual Single Detached Dwelling, Cottage Housing Cluster, Rowhouse Building, Semi-Detached Dwelling, Single Detached Dwelling or Townhouse is: (a) 45.0% of the area of the parcels subject to a single development permit for a development with a density of less than 40 units per hectare;	Plans indicate a parcel coverage of 45.18% (+0.18%) or 150.99m ² (+0.60m ²).
Permitted Contextual Use Rules		
Regulation	Standard	Provided
347 Contextual Single Detached Dwelling	(3) Where a contextual Single Detached Dwelling is located on a parcel with a parcel width less than or equal to 10.0m the maximum building depth is the greater of: (b) the contextual building depth average	Plans indicate a building depth of 32.62m (+4.42m).
	(6) Where a private garage is attached to a Contextual Single-Detached Dwelling the maximum building coverage is the maximum parcel coverage which must be reduced by 21m ² for each required parking stall	Plans indicate a building coverage of 150.99m ² (+21.60m ²) after reducing the maximum allowable parcel coverage by 21m ² .

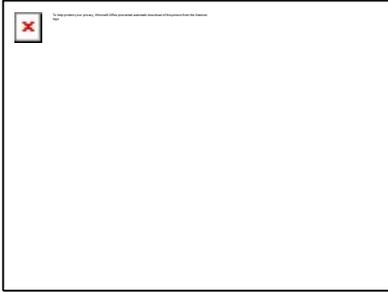
FILE: DP2024-08233

DATE RECEIVED: April 04, 2025

Bylaw Discrepancies		
Regulation	Standard	Provided
535 Building Depth and Separation	(1) Unless otherwise referenced in subsections (2) and (3) the maximum building depth is 65.0% of the parcel depth for a building containing a unit.	Plans indicate a building depth of 32.47m (+8.67m) or 88.80% (+23.80%) of the parcel depth.
Permitted Contextual Use Rules		
Regulation	Standard	Provided
347 Contextual Single Detached Dwelling	(3) Where a contextual Single Detached Dwelling is located on a parcel with a parcel width less than or equal to 10.0m the maximum building depth is the greater of: (b) the contextual building depth average	Plans indicate a building depth of 32.47m (+4.27m).
	(6) Where a private garage is attached to a Contextual Single-Detached Dwelling the maximum building coverage is the maximum parcel coverage which must be reduced by 21m ² for each required parking stall	Plans indicate a building coverage of 149.51m ² (+20.12m ²) after reducing the maximum allowable parcel coverage by 21m ² .

Knee, Judy

From: daniel.bronson@calgary.ca
Sent: Wednesday, November 27, 2024 8:03 AM
To: [REDACTED]
Cc: daniel.bronson@calgary.ca
Subject: DP2024-08233 COMPLETE APPLICATION 114 7 AV NW



Re: DP2024-08233 COMPLETENESS REVIEW - 114 7 AV NW

I am the file manager who will be reviewing your development permit application. The application has been accepted and is now under review. The review process will take approximately 3-6 weeks depending on the complexity of the application and need for notice posting and circulation.

For more information about the development permit process please visit www.calgary.ca/dpprocess.

Please track your application, using your Job Access Code (JAC [REDACTED]), at www.calgary.ca/vista.

Should you have any questions or concerns, please contact me at your convenience.

Regards,

Daniel Bronson
Senior Planning Technician
daniel.bronson@calgary.ca
403-333-5407
www.calgary.ca/PDMap

95

Comment Summary



Permit #: DP2024-08233
Address: 114 7 AV NW
Job Description: New: Single Detached Dwelling (east lot)

Name:	Crescent Heights Community Association Planning Committee	Created Date:	December 12, 2024
Phone:		Circulation Referee:	N
Email:	planning@crescentheightssyc.ca	Number:	557608305
Address:	1101 2 Street NW		
Overall:	In opposition of this application		

Area of Concern

Building (massing, façade, height, shadowing, etc.)
Landscaping plans
Environmental preservation
Site layout

General Comment

Reject, due to the following:

No Permeable surfaces: concern due to storm run-off.

Attached Garage: not consistent with the neighbourhood, and have not been allowed, so we question why it would be allowed for this DP. If the garage is detached there could at least be some space for greenery in the amenity area.

No Landscaping: These two DPs for 114 7 Ave NW are among the worst we've seen in terms of habitat destruction. No effort to provide a landscaping plan, all existing trees to be removed, including a city-owned tree, with no room for new plantings.

- We request that more be done to retain mature canopy trees and shrubs/hedges as they provide significant benefits in combating the City's declared climate emergency: natural cooling and shade, habitat and biodiversity, CO2 absorption. They also provide privacy which is of benefit to the current house and adjacent property owners.

- Due to the large building footprint and multiple paved pathways, there is limited space for permeable landscaping. We request that more be done to increase permeable landscaping and decrease concrete and building footprint to allow for greater draining area on-site to avoid potential ground saturation issues that could lead to flooding in neighbouring homes and increased pressure on storm water systems.

- We encourage any new development to meet and exceed the planting requirements and maintain mature trees wherever possible. As a community we are eager to save as much of our mature tree canopy as possible, especially considering relatively rapid redevelopment.

- In the case that mature boulevard trees may be impaired because of utility installation methods requiring excavation within 2.5m or more of the canopy drip line, and it is required that either of two methods be used to the approval of the City Urban Forester:

1. Horizontal drilling

2. Root pruning and canopy pruning in the prior dormant season to excavation.

*tree removal with financial compensation is not acceptable.

Parking: will be an issue with basement suites and attached garage.

Design: Overall exterior colour scheme is boring. The two houses should be staggered at the front, to allow for some variability. It would be nice to break up the monotony of the entire east, west and north walls.

The site is in the heritage district and attached is the Heritage Committee review and assessment of the project.

The CHCA Heritage Committee assessed the development plans for alignment with the Heritage Guidelines and found that 7 of the guidelines have not been met. Specifically, the guidelines that address tree planting, front projection, window arrangement and design, and building materials require modification to align with the Heritage Guidelines and Heritage Assets in Crescent Heights.

The overall project design does not meet the spirit of the guidelines and could be vastly improved.

Attachments



ENMAX Power Corporation
141 – 50 Avenue SE
Calgary, AB T2G 4S7
Tel (403) 514-3000
enmax.com

December 12, 2024

File No: DP2024-08233

Development Circulation (#8201)

Location: **114 7 AV NW**

We would like to advise you that the proposed development does not meet “Alberta Electrical Utility Code” under the Alberta Safety Codes Act and/or ENMAX Power Corporation requirements.

We have identified the following conflict:

The proposed development conflicts with the existing ENMAX power line on the east side of the property. Please see attached “ELEVATIONS – FRONT & REAR” for detailed clearance violations.

Please contact Will Du at wdu@enmax.com at (403) 689 - 4736 to further discuss resolution options for this conflict.

Until the above noted safety concerns are adequately addressed, this Development permit is not acceptable to ENMAX Power Corporation. Please contact the Project administrator at EPC_Permits@enmax.com if you have any further concerns, or require additional information regarding this Development Permit.

Sincerely,

A handwritten signature in black ink, appearing to be "W Du".

Will Du, P.Eng
Distribution Engineering

Name:	ENMAX	Created Date:	December 12, 2024
Phone:		Circulation Referee:	Y
Email:	EPC_PERMITS@ENMAX.COM	Number:	558082985
Address:	Circulation Referee No Address		
Overall:	In opposition of this application		

Area of Concern

Other

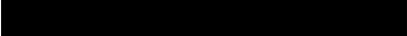
General Comment

The applicant is required to review and follow the conditions mentioned in attached letter.

Attachments

[SUPPORTING DOCUMENT - CIRCULATION COMMENTS - DP2024-08233_Conflict December 2024.pdf](#)

[SUPPORTING DOCUMENT - CIRCULATION COMMENTS - ELEVATIONS - FRONT & REAR.pdf](#)

Name:	Vanessa Vizer	Created Date:	January 22, 2025
Phone:		Circulation Referee:	N
Email:		Number:	565110988
Address:	121 8th Avenue NW		
Overall:	In opposition of this application		

Area of Concern

- Building (massing, façade, height, shadowing, etc.)
- Landscaping plans
- Environmental preservation
- Site layout

General Comment

The new proposed development is in a Heritage Guideline area and does not meet several of the guidelines:

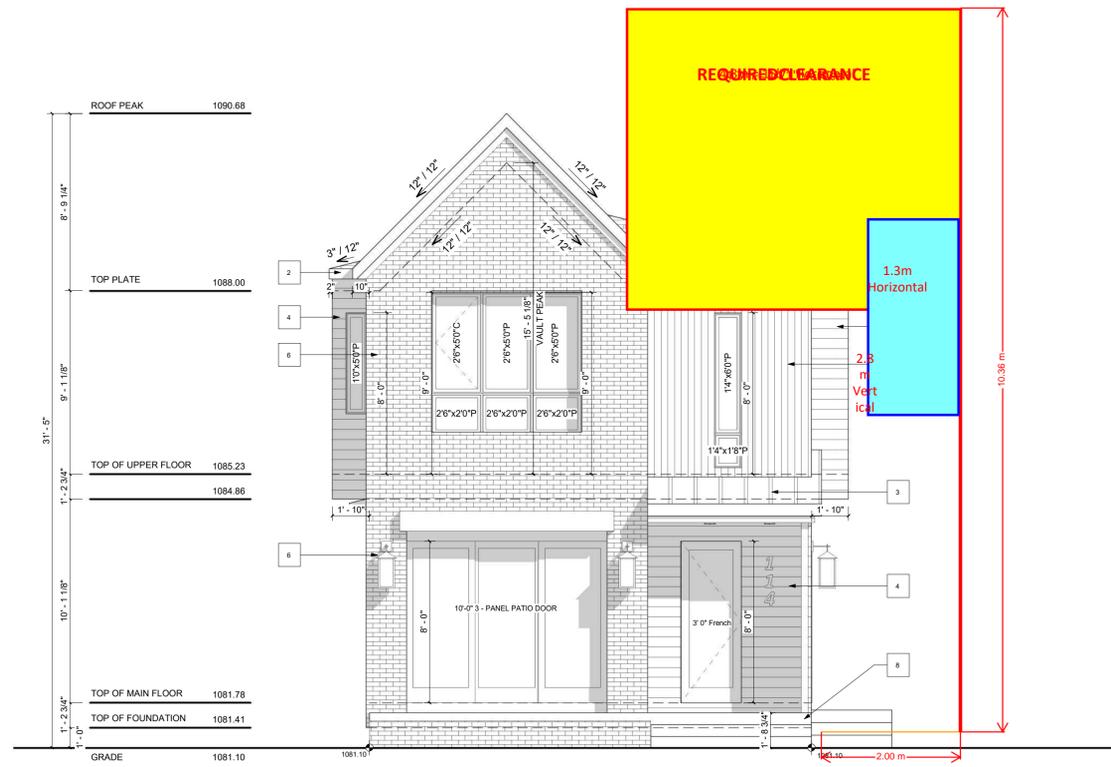
- ∩ There is no design reference to the adjoining heritage assets. The new building stands out and clashes with the houses it is facing, and those houses it is directly beside
- ∩ The lack of a Proposed Streetscape Drawing hides that fact that this house overpowers the neighboring houses in its height. It towers over the adjacent properties by at least 2 meters
- ∩ The visual impact of the upper story is exacerbated by the chosen building materials and the full front wall of masonry. The flat horizontal trim features do not visually reduce the size the front façade, and actually appear to make the house look larger and more modern
- ∩ The window directly above the front doorway has no casings or awnings and is directly under a flat roof. This gives it a much more modern look than suggested by the Heritage Guidelines
- ∩ The setback indicated is 4.99 meters, which makes it jut out in front of the adjacent properties. The adjoining properties setbacks are much deeper at 8.68 meters and 7.69 meters
- The submitted plans do not conform to Heritage Landscape Design requirements: Where a public boulevard with canopy trees is not present, landscaping should include at least one deciduous tree in the front setback area or within the boulevard, where feasible, that will contribute to a mature tree canopy.
- ∩ There is no Landscape Design diagram
- ∩ There is no city tree on the boulevard in front of this property
- ∩ There are 4 existing trees on this property. The lot coverage of this new building would require the removal

North Hill Communities Heritage Guideline Alignment Assessment				
	Heritage Guideline Area:	Crescent Heights		
	DP File Number:	DP2024-08233		
	Street Address:	114 - 7 Ave NW		
	Applicant/Design Firm:	John Trinh & Associates		
	File Manager:	Daniel Bronson		
	Date Reviewed:	December 11, 2024		
Guideline	Requirement	Notes	Evaluation	Remedy
General				
	<i>Development should draw design reference from nearby heritage assets within the applicable Heritage Guideline Area.</i>	See comments below.	Does Not Comply	
Site and Landscape Design				
	<i>Notwithstanding the minimum Land Use Bylaw setback, front yard setbacks should be informed by the existing heritage assets on the block.</i>		Complies with Guideline	
	<i>Development should provide well-defined and direct pathway connections from front doors to the sidewalk and public realm.</i>		Complies with Guideline	
	<i>Where a public boulevard with canopy trees is not present, landscaping should include at least one deciduous tree in the front setback area or within the boulevard, where feasible, that will contribute to a mature tree canopy.</i>	There is a boulevard present with one tree on the property line with the lot to the west. This tree, T8, is slated to be removed. Trees T11 and T12, in the front setback are also slated to be removed.	Does Not Comply	Add at least one deciduous canopy tree planting to the front setback area.
Roofs and Massing				
	<i>Roof styles should be informed by and complement the heritage assets in the area.</i>		Complies with Guideline	
	<i>Flat roofs are strongly discouraged where visible from the street.</i>		Complies with Guideline	
	<i>The primary roofline visible from the street should have a minimum pitch of 6:12.</i>		Complies with Guideline	
	<i>Where new development is larger than nearby heritage assets, the visual impact of upper storeys of buildings should be reduced by employing design measures such as: compound roofs (eg. cross-gabled) to hide the upper story, shifting massing away from smaller scale buildings, or reducing building massing on upper storeys.</i>		Complies with Guideline	
	<i>Developments with more than one unit should have distinct rooflines that accentuate individual units.</i>		Does Not Apply	
	<i>Buildings with a front facade width exceeding 12 metres or a height exceeding two storeys are encouraged to mitigate their visual impact through variations in massing, rooflines, or materials.</i>		Does Not Apply	
Front Facades				
	<i>Development should provide a front projection on the main floor that may be covered or enclosed and that comprises at least a third of the width of the front main floor façade for each unit visible from the street. This front projection could include elements such as: porches, patios, verandas, or sunrooms.</i>	The development does not have a front projection, only a front step that is in line with the front of the building.	Does Not Comply	Add a covered or enclosed front projection/porch.
	<i>Front facades should reference the vertical and horizontal pattern of the streetscape, specifically existing heritage assets on the block</i>		Complies with Guideline	
Windows, Materials and Details				
	<i>Large uninterrupted floor to ceiling windows are discouraged.</i>	The main floor window at the front of the development is essentially floor-to-ceiling and not subdivided horizontally.	Does Not Comply	Add a horizontal subdivision to the front main floor window, similar to that above on the second floor.

	<i>Horizontal window openings are encouraged to be divided into groupings of smaller vertically oriented windows.</i>		Complies with Guideline	
	<i>Windows are encouraged to include wide casings or frames.</i>		Does Not Comply	Add wide casings to the street-facing windows.
	<i>Use of natural or natural looking building materials is encouraged.</i>	The materials themselves comply, but the the colour scheme of the materials is not natural (white and black).	Does Not Comply	Modify the colour scheme.
	<i>Where multiple building materials are used, heavier-looking materials (eg. masonry or masonry veneer) should be used on the base of the building.</i>	Brick is used from the ground to the top of the second storey.	Does Not Comply	Reconfigure the exterior building materials to concentrate the brick at the base and the siding above.

EXTERIOR FINISHES:

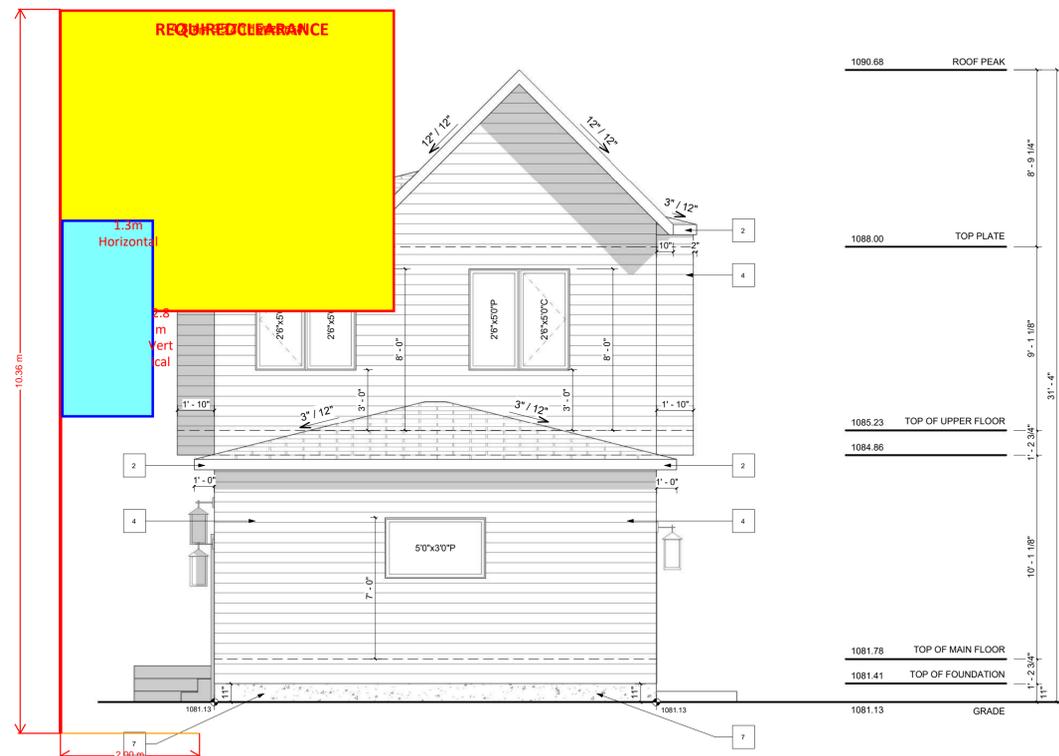
- 1 ASPHALT SHINGLE 3 METAL CORRUGATED ROOFING 5 HARDIE FINISH - DARK GRAY/BLACK (VERTICAL) 7 CONCRETE PARGING
- 2 6" ALUMINUM FASCIA 4 HARDIE FINISH - DARK GRAY/BLACK (HORIZONTAL) 6 BRICK CLADDING - WHITE 8 CAST-IN-PLACE CONCRETE



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR FINISHES:

- 1 ASPHALT SHINGLE 3 METAL CORRUGATED ROOFING 5 HARDIE FINISH - DARK GRAY/BLACK (VERTICAL) 7 CONCRETE PARGING
- 2 6" ALUMINUM FASCIA 4 HARDIE FINISH - DARK GRAY/BLACK (HORIZONTAL) 6 BRICK CLADDING - WHITE 8 CAST-IN-PLACE CONCRETE



REAR ELEVATION
SCALE: 1/4" = 1'-0"



GENERAL NOTES:
VENTED SOFFIT NOTES:
 -VENTED SOFFIT (FRONT AND BACK)
 -VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
 -NON-VENTED SIDES SOFFIT IF WITHIN 1.2m
 (SOFFIT ARE PRE-FIN ALUM)

MUNICIPAL ADDRESS:
114 - 7 Ave NW (EAST)
CALGARY, ALBERTA

PROJECT:
NEW HOME

PROJECT NUMBER:
362-24

STATUS:
DP

DO NOT SCALE DRAWINGS.
 DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION.
 JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL.

NO.	DATE(D/M/Y)	DETAIL	BY
01.	31/10/2024	DP PLANS	W.N
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--
06.	--	--	--

COPYRIGHT:
 ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT.

NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION.

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING.

DRAWING SET:
 SHEET NAME:
Front & Rear Elevation

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

PRINTED: 2024-11-06 9:20:23 AM

SCALE: 1/4" = 1'-0"

PAGE: **A-2.0**

101

of all of those trees

¿ There is no city tree on the boulevard in front of this property.

¿ No tree is shown in the front setback area on any of the included drawings

This property in conjunction with DP2024-08234 do not conform to the Heritage Guidelines, and together will change the fabric of the entire block.

Attachments

Name:	ENMAX	Created Date:	March 28, 2025
Phone:		Circulation Referee:	Y
Email:	EPC_PERMITS@ENMAX.COM	Number:	578520491
Address:	Circulation Referee No Address		
Overall:	Neither in support nor in opposition of this application		

Area of Concern

Other

General Comment

The applicant is required to review and follow the conditions mentioned in attached letter.

Attachments

[SUPPORTING DOCUMENT - CIRCULATION COMMENTS - DP2024-08233_Conditional Release Mar 2025.pdf](#)



ENMAX Power Corporation
141 – 50 Avenue SE
Calgary, AB T2G 4S7
Tel (403) 514-3000
enmax.com

March 28, 2025

File No: DP2024-08233

Location: 114 7 AV NW

ENMAX Power Corporation (EPC) has reviewed the above permit application dated [application date] and based on the information provided and as of the above noted date the proposed development does not conflict with ENMAX facilities in respect of the requirements set forth in 10-002 Overhead System (Table 7) and 12-002 Underground Systems of the Alberta Electrical Utility Code (AEUC) under the Safety Codes Act (Alberta). This non-conflict letter does not reduce or limit responsibility to comply with all laws and regulations regarding utility facilities and all requirements under the Alberta Occupational Health & Safety Act (OHS) (including any code or regulations thereunder)(OHS) and the applicant shall observe all such laws and regulations when commencing any work related to the permit application. If a situation arises where there is a discrepancy between ENMAX required setbacks and the AEUC or the OHS, the stricter set of requirements shall govern. Please refer to ENMAX Ground Disturbance Guidelines while working near ENMAX Facilities.

Pursuant to Section 225(1) of Part 17 of the OHS Code, anyone working near overhead powerlines must maintain safe limits of approach as provided in Schedule 4, Table 1 of the OHS Code or Table 1 in the AEUC. Anyone excavating must contact Utilities Safety Partners for locations of all buried facilities. All contractors, prime or sub (excavating company) must contact hotdigs@enmax.com to obtain a permission letter prior to disturbing the ground within 2 metres of any ENMAX underground facility. As a condition of this no-conflict letter, and despite any existence of a permit, the applicant must contact EPC Lineinspection@enmax.com or call (403) 514-3117 prior to the commencement of any construction where any workers or equipment will be within 7.0m of existing overhead EPC facilities. If EPC is contacted in accordance with the above, no construction work shall be commenced thereafter unless and until EPC determines the minimum safe limit of approach distance in relation to the overhead facilities present at the project site.

CONFLICT RESOLVED – CONDITIONAL RELEASE/PRIOR TO RELEASE:

ENMAX agrees to release the applicant from previously noted conflict(s) dated December 12th, 2024, if the following conditions are fully satisfied under PWO# 21795813:

- **Direct replacement of STR#1, STR#2, STR#3 and STR#4.**
- **Install taller poles to resolve overhead clearance issue.**

****NOTE:** This letter provided by ENMAX Power Corporation is intended for information purposes only and is not in any manner intended to nor shall be construed to derogate from applicant's obligations to follow any applicable law. The provision of this no-conflict letter is not a representation that work will meet any legislative or regulatory obligations. This no-conflict letter is provided as of the date first note above – the applicant is still

SDAB2025-0060

required to perform their own due diligence prior to any development activities and resolve any conflicts (new or existing) at the Developer's sole expense. ENMAX expressly disclaims any liability related to applicant's responsibility to comply with such laws and regulations and ENMAX's required setbacks.

If you require any additional information regarding this Development Permit, please contact the Project Administrator at EPC_Permits@enmax.com.

Sincerely,



Will Du, P.Eng
Distribution Engineering



Development Authority Appeal Response

Appeal Number: SDAB2025-0060

Development Permit Number: DP2024-08233

Address: 114 7 AV NW

Description: New: Single Detached Dwelling (east lot)

Land Use: Residential – Grade-Oriented Infill (R-CG)

Community: Crescent Heights

Identified Appeal Body:

Subdivision and Development Appeal Board (SDAB)

Development Authority Attendance: No

Use: Discretionary

Notice Posted: Completed as per Bylaw

Public Response(s) Received? Yes, responses included in the Board Report

Applicable Planning Policies:

- North Hill Communities Local Area Plan (the Plan)
- The Low Density Residential Guidelines for Established Communities (Infill Guidelines)

Bylaw Relaxations:

The development requires the following Land Use Bylaw relaxations:

Regulation	Standard	Provided
535 Building Depth and Separation	(1) Unless otherwise referenced in subsections (2) and (3) the maximum building depth is 65.0% of the parcel depth for a building containing a unit.	Plans indicate a building depth of 32.47m (+8.67m) or 88.80% (+23.80%) of the parcel depth.

Additional Factors, Considerations, and/or Rationale:

1. Please see the Reasons for Approval.
2. The Development Authority may provide additional materials prior to the merits hearing.

SDAB2025-0060

From: [Travis Trieu](#)
To: [Calgary SDAB Info](#)
Cc: [john; rgrol](#)
Subject: [External] DP2024-08233 - SDAB2025-0060 (114 7 Avenue NW)
Date: Thursday, May 29, 2025 9:46:40 AM
Attachments: [Outlook_20250529094640.png](#)

This Message Is From an External Sender

This message came from outside your organization.

ATTENTION: Do not click links or open attachments from external senders unless you are certain it is safe to do so. Please forward suspicious/concerning email to spam@calgary.ca

To whom it may concern,

Our firm is the Applicant of development permit DP2024-08233, which is the subject of appeal SDAB2025-0060 (114 7 Avenue NW) The appeal is scheduled for a Procedural and Jurisdictional hearing on June 12. Please be advised that Mr. Rick Grol (cc-ed) has been retained as our agent/representative respect to the appeal and application. Mr. Grol (cc-ed) and I will attend the Procedural and Jurisdictional hearing.

Good day,

Travis



Email: travis.trieu@johntrinh.ca

Phone: 403-390-2690

Web: www.johntrinh.ca

Office: 222 - 17 Ave SE

Calgary, AB T2G 1H4

Your Referrals Are Greatly Appreciated!

From: [Amit Punn](#)
To: [Calgary SDAB Info](#)
Cc: [Sumit Sandhu](#); har.sandhu@topg.ca
Subject: [External] SDAB2025-0060 (DP2024-08233 114 7Avenue NW - east lot); P&J June 12
Date: Monday, June 2, 2025 3:19:19 PM

This Message Is From an Untrusted Sender

You have not previously corresponded with this sender.

ATTENTION: Do not click links or open attachments from external senders unless you are certain it is safe to do so. Please forward suspicious/concerning email to spam@calgary.ca

To whom it may concern,

Our company, 2640794 ALBERTA LTD., the registered owner of the property 114 7 Avenue NW, which is the subject of appeal SDAB2025-0060 and development permit DP2025-08233 (east lot). The appeal is scheduled for a Procedural and Jurisdictional hearing on June 12, 2025. Please be advised that Mr. Rick Grol (cc-ed) has been retained as our agent/representative with respect to the appeal and DP application.

Kind regards,

Amit Punn
Director 2640794 ALBERTA LTD.



Photo



Amit Punn

REALTOR® | Century 21 Bamber Realty

(403) 889-7067 | www.amitpunn.ca | amit.punn@apsold.ca

[1612 17 Ave SW, Calgary, AB T2T 0E3](#)



Create your own [email signature](#)



From: [Rick Grol](#)
To: [Calgary SDAB Info](#)
Cc: krista@crescentheightsyyc.ca; [Har Sandhu](#); [Sumit Sandhu](#); [Amit punn](#); [Belvedere, Shannon](#); [Planning Advisory & Coordination](#); [Fandrich, Jamie](#)
Subject: [External] SDAB2025-0060 (DP2024-08233 114 7 Avenue NW - east lot); P&J Hearing June 12
Date: Tuesday, June 3, 2025 3:53:15 PM

This Message Is From an External Sender

This message came from outside your organization.

ATTENTION: Do not click links or open attachments from external senders unless you are certain it is safe to do so. Please forward suspicious/concerning email to spam@calgary.ca

Hello All,

With respect to appeal SDAB2025-0060, scheduled for a Procedural & Jurisdictional Hearing on [June 12, 2025](#), please find our submission to the Board on behalf of the Applicant and Property Owner via dropbox

link: <https://www.dropbox.com/t/bl3Es7XKU21F7Nch>

Kindly bring our submission to the attention of the Board Chair and Presenting Officer. We raising a preliminary issue regarding the appeal.

Kindly confirm receipt of our submission.

Thank you,

R

Rick Grol
T 403-922-8269
E rgrol@shaw.ca

This email (including attachments) is confidential and may contain privileged information. If you are not an intended recipient, please delete this email and notify us immediately. Any unauthorized use or disclosure is prohibited.

June 3, 2025

Via Email

Subdivision and Development Appeal Board
P.O. Box 2100, Station M, #8110
Calgary, AB T2P 2M5

Dear Mr. Chair and Board Members,

**RE: Appeal SDAB2025-0060 / DP2024-08233; New: Single Detached Dwelling (east lot);
Property 114 7 Avenue NW.
Procedural & Jurisdictional Hearing June 12, 2025**

With respect to abovementioned matter, I represent the development permit Applicant and the Property Owner/Developer, who are the Respondents to the appeal.

The Respondents respectfully request that at the Procedural and Jurisdictional Hearing on June 12, 2025 the Board deal with the preliminary issue of “affected person” status regarding Ms. Krista Beavis, the Appellant.

In this regard the Respondents submit the following:

1. The Appellant, Ms. Krista Beavis, resides at 305 7 Avenue NE. The subject development site is located at 114 7 Avenue NW. The Appellant’s residence is on the east side of Centre N, while the subject development site is on the west side of Centre N. According to measurements from Google Maps, the Appellant lives more than **430 metres** from the development (radial distance). [See Map in Appendix A]
2. It is the Respondents’ position that the Appellant is not an affected person as contemplated in section 685(2) of the *Municipal Government Act*, RSA 2000, c M-26, as amended (MGA or Act).
3. Section 685(2) of the MGA states that “[...] any **person affected** by an order, decision, or development permit made or issued by a development authority may appeal in accordance with section 2.1. [Emphasis added]
4. The Respondents submit that section 685(2) is a threshold provision. If an appellant is not an affected person as contemplated in the Act, the appellant has no right to an appeal. This is a jurisdictional matter, which needs to be decided before the Board can determine the appeal pursuant to section 687(3) of the MGA.

5. Under the MGA the test of affected party status for an appellant is well settled in law. Several decisions of the Alberta Court of Appeal indicate that an “affected person” in terms of the MGA is someone who is:

(a) “injuriously” affected, some affect which is greater than the average person (*Re Clarendon Development Ltd.* (1965), [1965 CanLII 619 \(NS CA\)](#), 51 M.P.R. 108, 50 D.L.R. (2d) 521 (N.S.C.A.)

(b) “genuinely and relevantly affected” (*Bowen v. Edmonton* (1977), [1977 CanLII 1642 \(AB CA\)](#), 2 Alta. L.R. (2d) 112, 3 A.R. 63, 75 D.L.R. (3d) 131 (C.A.);

(c) “not an apparent busy body” (*Re Actus Management Ltd. v. Calgary (City)*, [1975 CanLII 982 \(ABCA\)](#), [1975] 6 W.W.R. 739, 62 D.L.R. (3d) 421 (Alta. C.A.); and

(d) “not someone who lives miles away and only occasionally visits, walks or drives by the subject development” (*Pension Fund Properties Ltd. v. Calgary (City)*, (1981), M.P.L.R. 193, 127 D.L.R. (3), 477, [1981 ABCA 195 \(CanLII\)](#), 31 A.R. 66 (C.A).

6. The onus is on an appellant to establish or demonstrate that they are materially affected and “affected” must be interpreted in a reasonable fashion so as not to make the MGA unworkable (*Pension Fund Properties*).
7. The Board has accepted the case law in many of its decisions where affected person status was an issue.
8. Applying the plain and ordinary meaning of the words in section 685 of the Act, the scheme of the MGA, and a purposive and contextual approach to the interpretation of the MGA, it is clear that the legislature intended that section 685 of the MGA only gives a right to appeal to those affected persons that can demonstrate a material affect from the proposed development.
9. Whether a person is affected sufficiently to be given status to appeal to the Board is a jurisdictional matter. If the Board determines the appellant is not an affected person, then there is no valid appeal and the Board has no jurisdiction to hear the appeal (*Pension Fund Properties Ltd.*, at paras [15 and 16](#)). In decision 2021-0048 ([2021 CGYSDAB 48 \(CanLII\)](#)), at para 40 the Board ruled that:

40. Not everyone is an “affected person”. The appellant is only an “affected person” if his business is in close proximity to the proposed development and if the use, enjoyment or value of such property could be affected by the proposed development itself. The affected person must satisfy the Board that there will be an impact from the proposed development which is significant. The Board heard no such persuasive evidence from the appellant. The Alberta courts have

interpreted [section 685](#) of the [MGA](#) to dismiss appeals where persons are unable to demonstrate either injurious affection or a relevant nexus greater than that of other members of the public.

10. Past decisions of the Board are useful to analyze the affected person status of an appellant. The Board in numerous decisions over the years has determined who is an affected person. While the Board is not bound by its previous decisions, the Board has been consistent in applying the case law.
11. In decision SDAB2016-0118, ([2016 CGYSDAB 118 \(CanLII\)](#)), the Board determined that an appellant residing at a distance of 175 metres from a proposed development was not an affected person. Likewise, in decision SDAB2018-0177, ([2018 CGYSDAB 177 \(CanLII\)](#)), at paras 30 – 35, the Board found that an appellant living fourteen properties away from a proposed development was not an affected person. While the Board is not bound by precedent, previous Board decisions are important for the analysis of the applicable legislation.
12. In accordance with the case law, the Board has ruled in the aforementioned SDAB decisions that only when an appellant or affected person overcomes the hurdle of affected person status, they are entitled to a full hearing and are able to challenge and argue the merits of any potential concerns regarding the approval of a development or issuance of a development permit. The Board has the right to make a determination of affected person status as a preliminary jurisdictional matter prior to hear the merits of the appeal. The Court of Appeal confirmed this in *Dimant v Calgary (City)*, [2021 ABCA 396 \(CanLII\)](#). The Court held at paras 15 – 16:

[15] This argument attempts to frame the question as one of law by narrowly interpreting the Board’s reasons to allege that the Board restricted the criteria solely to proximity. The Board had regard to *Pension Fund Properties Limited v Calgary (Development Appeal Board)*, [1981 ABCA 195](#), the leading authority on “a person affected” by a development permit. The Board correctly stated the legal test for determining whether someone is an “affected person” when it stated at paragraph 21 of its reasons:

The test for determining whether an individual is an “affected person” is enumerated under section 685 of the MGA and has been interpreted by the Courts in various cases. That a person believes he is affected is not enough; an “affected person” must demonstrate that he is genuinely and relevantly or seriously affected by the proposed development. The Board, in many of its decisions, has stated that the further away a person is from a development, the less likely or significantly affected the person would be and the less likely he would avail himself of an appeal.

[Emphasis added]

[16] Proximity is an important factor. But as the Board correctly noted, to be affected, the business must be in close proximity and there must be a possibility that the proposed development will affect the use, enjoyment or value of the property. An affected person must satisfy the Board that there will be a significant impact from the proposed development. The Board concluded that there was no sufficiently persuasive evidence from the applicant to demonstrate that he met the test. The applicant's concerns with increased traffic would be similarly shared by other businesses, some of which would be closer to the proposed site.

13. Therefore, the SDAB must examine the facts and planning context of this appeal to determine if an Appellant is "affected" by the approval of the subject development permit. Proximity is a significant factor in determining affectation.
14. It is significant that the Appellant resides at **439.61 metres (1442 ft)** from the proposed development. [Appendix A] This is a substantial distance. There is insignificant affectation in this case.
15. The Respondents submit that the Appellant has not demonstrated (a) how she is injuriously, genuinely and relevantly or seriously affected by the proposed development and (b) how the proposed development will affect the use, enjoyment or value of her property or residence.
16. The Board's Procedural Guidelines provide that the Board "may dedicate a time at the beginning of the hearing to determined jurisdictional issues" (section 67) and "may decide jurisdictional issues at any time during the appeal" (section 68). The Alberta Court of Appeal has held in [Dimant v Calgary \(City\), 2021 ABCA 396](#) (CanLII), at para 22: "By hearing jurisdictional matters before a full merits hearing, the Board may avoid delay and save time. Further, the MGA requires the Board to handle the appeal process expeditiously and sets tight timelines for the appeal process." Furthermore, the Court of Appeal has often held that the Subdivision and Development Appeal Board appeals are urgent, as they hold in limbo the right to use land: [Tymchak v. Edmonton \(Subdivision and Development Appeal Board\), 2012 ABCA 22](#) (CanLII), at para 48.
17. The Respondents submit that this appeal case is one of the instances where there are sufficient grounds for the Board to decide the jurisdictional issue at the Procedural & Jurisdiction Hearing. We submit that the process of a Procedural & Jurisdictional hearing was established for situations as this case, among others.

- 18. The Respondents respectfully request that the Board make a jurisdictional determination regarding the appeal at the Procedural & Jurisdictional Hearing.
- 19. Therefore, in accordance with section 685(2) of the MGA, in this case the Appellant has no right to an appeal. Consequently, the Board has no jurisdiction with respect to the appeal.
- 20. We have copied the Appellant regarding our submission. In advance of the hearing the Appellant has adequate notice of our request contained herein.

Remedy Sought

21. The Applicant and the property owner seek to have the Appeal struck.

Estimated time of presentation by the Respondents' team: 10 minutes.

Respectfully submitted,



Rick Grol, Agent for the Respondents

Encl.: Appendix A – Distance to Appellant's Residence

Cc: Clients
Kristra Beavis, Appellant (krista@crescentheightsyyc.ca)
Development Authority
Shannon Belvedere, Counsel for the Development Authority

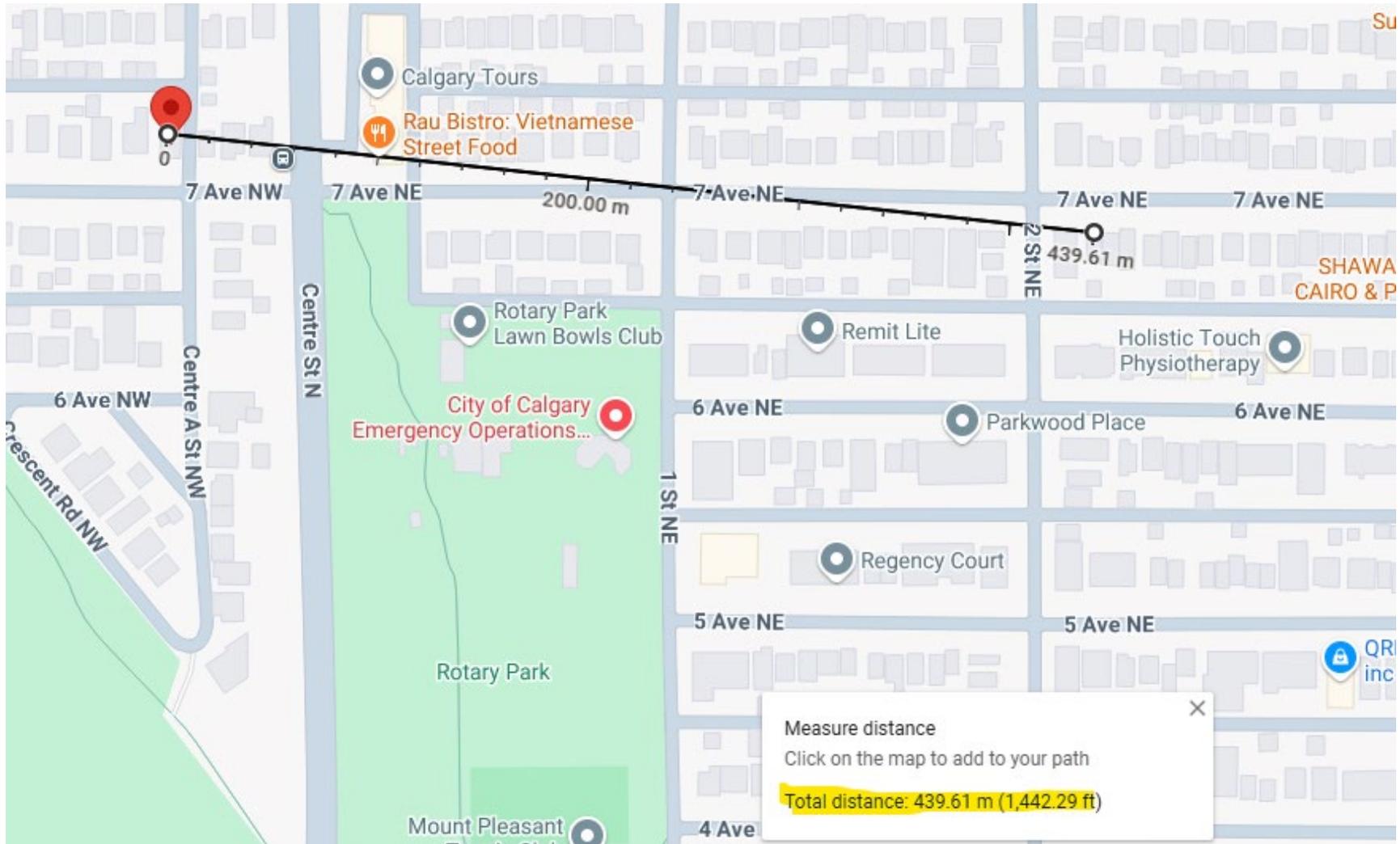
APPENDIX A

Maps



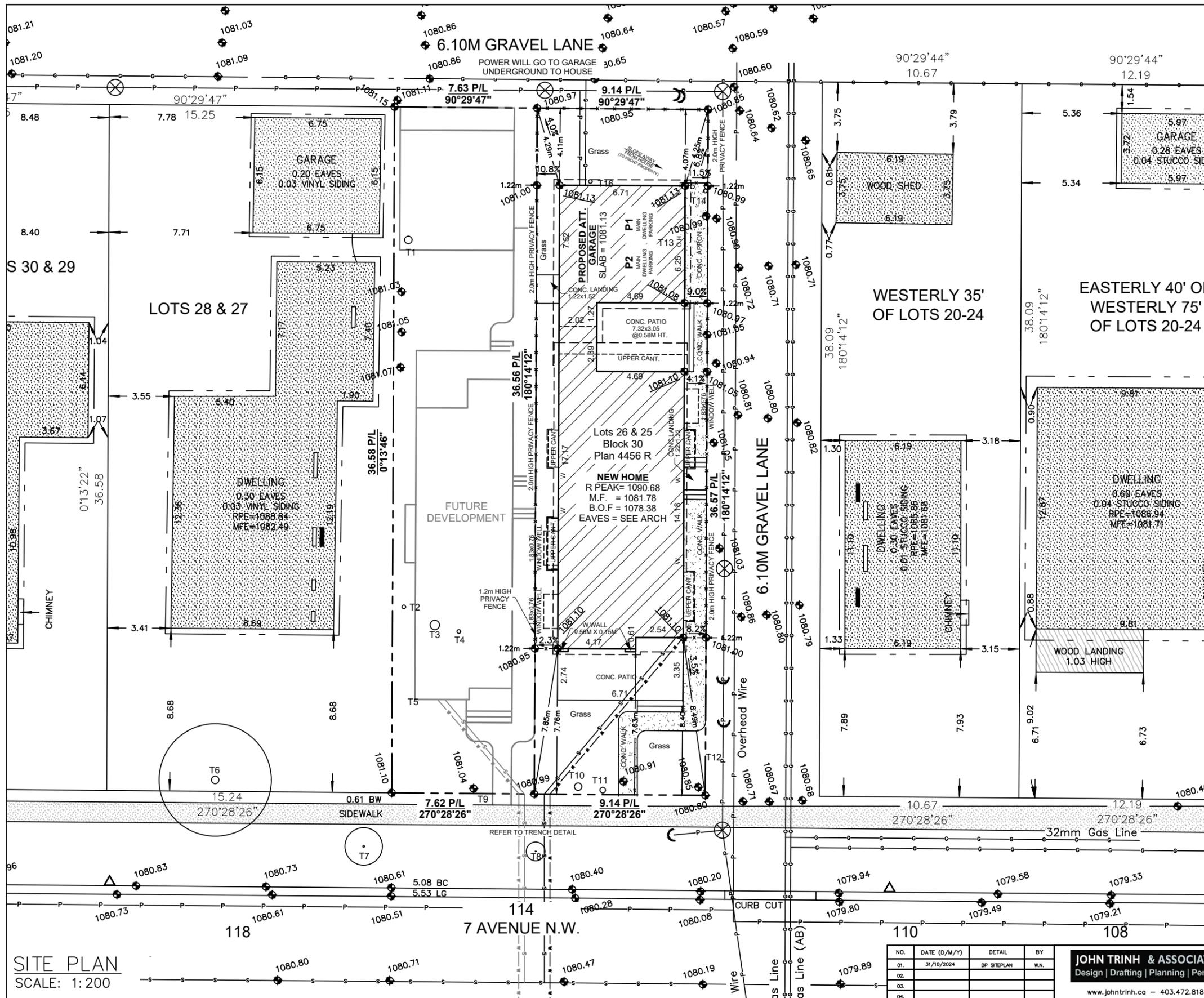
▲ Appellant Beavis' residence - 305 7 Ave NE

★ Subject development site



Distance 439. 61 metres (1,442 ft)

SITE PLAN



LEGEND

ELEVATIONS ARE SHOWN THUS: \bullet = 1000.00 METRES. (GEODETIC)
 DISTANCES ARE IN METRES AND DECIMALS THEREOF.
 ELEVATIONS ARE REFERRED TO GEODETIC DATUM
 AND ARE DERIVED FROM ASCMS 55269 AND 179085
 ASCM 55269 IS HELD FOR HORIZONTAL AND VERTICAL POSITIONING.
 WINDOWS AND DOORS ARE DESCRIBED AS WIDTH x HEIGHT.
 THE FOLLOWING ABBREVIATIONS MAY APPEAR ON THIS PLAN:

- \bullet denotes Calculation points
- ∇ denotes Water Valve
- \diamond denotes Gas Valve
- \odot denotes Manhole
- \odot denotes Tree
- \bullet denotes Power Pole
- \triangle denotes Sign
- \odot denotes Light Standard
- X-X- denotes Fence
- S-S- denotes Sanitary Line
- ST-ST- denotes Storm Line
- W-W- denotes Water Line
- G-G- denotes Gas Line
- E-E- denotes Electrical Line
- A.G.T-A.G.T- denotes A.G.T Line
- - - - denotes Utility Right of Way Line
- - - - denotes Property Line
- denotes Door
- denotes Main Floor Windows
- denotes Second Floor Windows
- denotes Basement Floor Windows
- ▨ denotes Shed Hatch
- ▨ denotes Detached Garage Hatch
- ▨ denotes Main Building Hatch
- ▨ denotes Concrete and Asphalt Hatch
- ▨ denotes Wood Hatch

'Cant.' denotes Cantilevers
 'Enc.' denotes Encroach(es)
 'BW' denotes Back of Walkway
 'BOW' denotes Bottom of Wall
 'Conc.' denotes Concrete
 'Ret.' denotes Retaining
 'BC' denotes Back of Curb
 'TOW' denotes Top of Wall

Disclaimer
 The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: R-CG

SCALE 1:200

LEGAL DESCRIPTION:

Lots 26 & 25
 Block 30
 Plan 4456 R
 MUNICIPAL ADDRESS:
 114 - 7 AVENUE N.W. (EAST)
 Calgary, Alberta

LOT COVERAGE DETAIL:

(SINGLE LOT AND HOUSE)
 LOT SIZE: 334,179 SQ M
 HOUSE SIZE: 102,417 SQ M
 COVERED PORCH: 1,548 SQ M
 CANT.: 0.000 SQ M
 ATT. GARAGE: 45,486 SQ M
 WING WALL: 0.170 SQ M
 = 149,621/334,179
 44.77%

SITE PLAN
 SCALE: 1:200

SDAB2025-0060

NO.	DATE (D/M/Y)	DETAIL	BY
01	31/10/2024	DP SITEPLAN	W.N.
02			
03			
04			

JOHN TRINH & ASSOCIATES
 Design | Drafting | Planning | Permits
 www.johntrinh.ca - 403.472.8184

PROJECT NAME AND ADDRESS:	PROJECT:	SCALE:
114 - 7 AVENUE N.W. (EAST) Calgary, Alberta Lots 26 & 25 Block 30 Plan 4456 R	SINGLE DETACHED	1: 200
DATE:	DIVISION:	NUMBER:
OCT 31, 2024	S	01



TREE SCHEDULE:

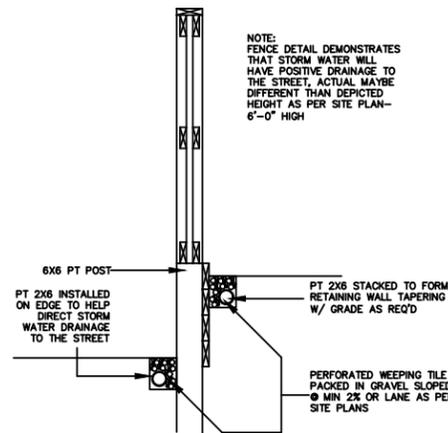
Tree No.	Variety	Trunk (ø±)	Canopy (ø±)	Height (±)	Location	Disposition
T1	Deciduous	0.40	6.00	10.00	In Subject Property	To Be Removed
T2	Deciduous	0.20	5.00	6.00	In Subject Property	To Be Removed
T3	Deciduous	0.50	4.00	10.00	In Subject Property	To Be Removed
T4	Deciduous	0.20	4.00	10.00	In Subject Property	To Be Removed
T5	Bush	-	4.00	5.00	On Property Line	To Be Removed
T6	Deciduous	0.40	6.00	8.00	In Adjacent Property	To Stay
T7	Deciduous	0.10	2.00	8.00	In City Property	To Stay
T8	Deciduous	0.05	2.00	8.00	In City Property	T.B.R
T9	Bush	-	1.00	2.00	On Property Line	To Be Removed
T10	Deciduous	0.40	5.00	8.00	In Subject Property	To Be Removed
T11	Deciduous	0.30	2.00	8.00	In Subject Property	To Be Removed
T12	Bush	-	1.50	4.00	On Property Line	To Be Removed
T13	Bush	-	3.00	3.00	In Subject Property	To Be Removed
T14	Deciduous	0.20	3.00	8.00	In Subject Property	To Be Removed
T15	Bush	-	2.00	3.00	In Subject Property	To Be Removed
T16	Deciduous	0.20	4.00	4.00	In Subject Property	To Be Removed

SINGLE DETACHED SQFT.

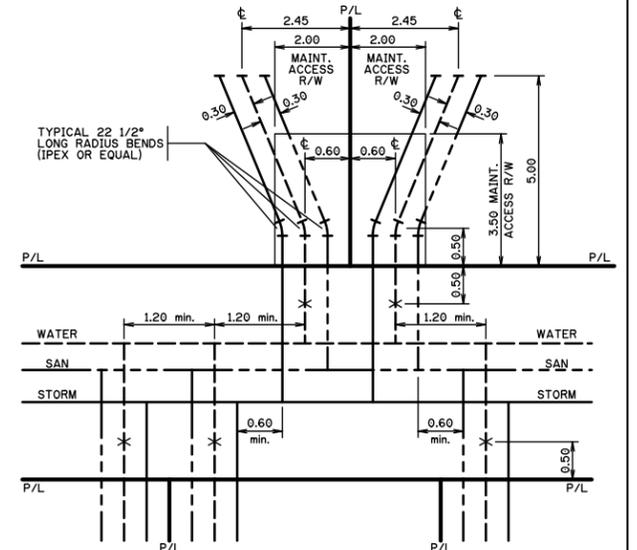
	NEW HOME
ATT. GARAGE	478.60 SQ FT
BASEMENT	1067.00 SQ FT
MAIN FLOOR	1102.23 SQ FT
UPPER FLOOR	1188.84 SQ FT
TOTAL AREA	2769.67 SQ FT

NOTES:

- A COMMON ACCESS AGREEMENT SHALL BE REGISTERED ON THE TITLE OF EACH LOT. THE EASEMENT SHALL BE 4.0m WIDE (2.0m PER LOT) AND EXTEND 3.5m INTO EACH LOT.
- DEEP SERVICES TO BE INSTALLED IN A COMMON TRENCH CENTRED ON P/L SEPARATING TWO FRONT SERVICED LOTS. SERVICE ENTRY SHALL BE ON THE FRONT OF THE DWELLING.
- SHALLOW UTILITY SERVICING IS TO BE INSTALLED FROM THE LANE OR ON THE OPPOSITE SIDE OF EACH LOT TO AVOID CONFLICT.
- THE VERTICAL SEPARATION BETWEEN WATER, SANITARY AND STORM MAINS IN THE STREET SHALL NOT EXCEED 1.5m.
- DEEP SERVICE LINES SHALL BE CONNECTED TO MAINS IN THE STREET AND INSTALLED IN A COMMON TRENCH WITH MINIMUM SEPARATION OF 300mm WITHOUT CROSSING.
- WATER SERVICE VALVES TO BE LOCATED ON STANDARD LINE ASSIGNMENT IN THE ROAD RIGHT OF WAY.
- THE DEEP SERVICE LINES ARE TO BE FLARED INTO SEPARATE TRENCHES INSIDE THE PROPERTY AND EXTENDED TO 3.5m INSIDE OF P/L OR 5.0m INSIDE OF P/L WHEN CROSSING THE SHALLOW UTILITY EASEMENT. A SINGLE LONG RADIUS 22½ DEGREE BEND IS PERMITTED ON THE STORM AND SANITARY SERVICES RESPECTIVELY, AND SHALL BE LOCATED ON PROPERTY AT THE P/L WITHIN THE MAINTENANCE RIGHT OF WAY.
- WATER SERVICES SHALL MAINTAIN A MIN. OF 1.2m SEPARATION BETWEEN OPPOSING SINGLE OR DUAL WATER SERVICES.



FENCE SECTION DETAIL
SCALE: NTS



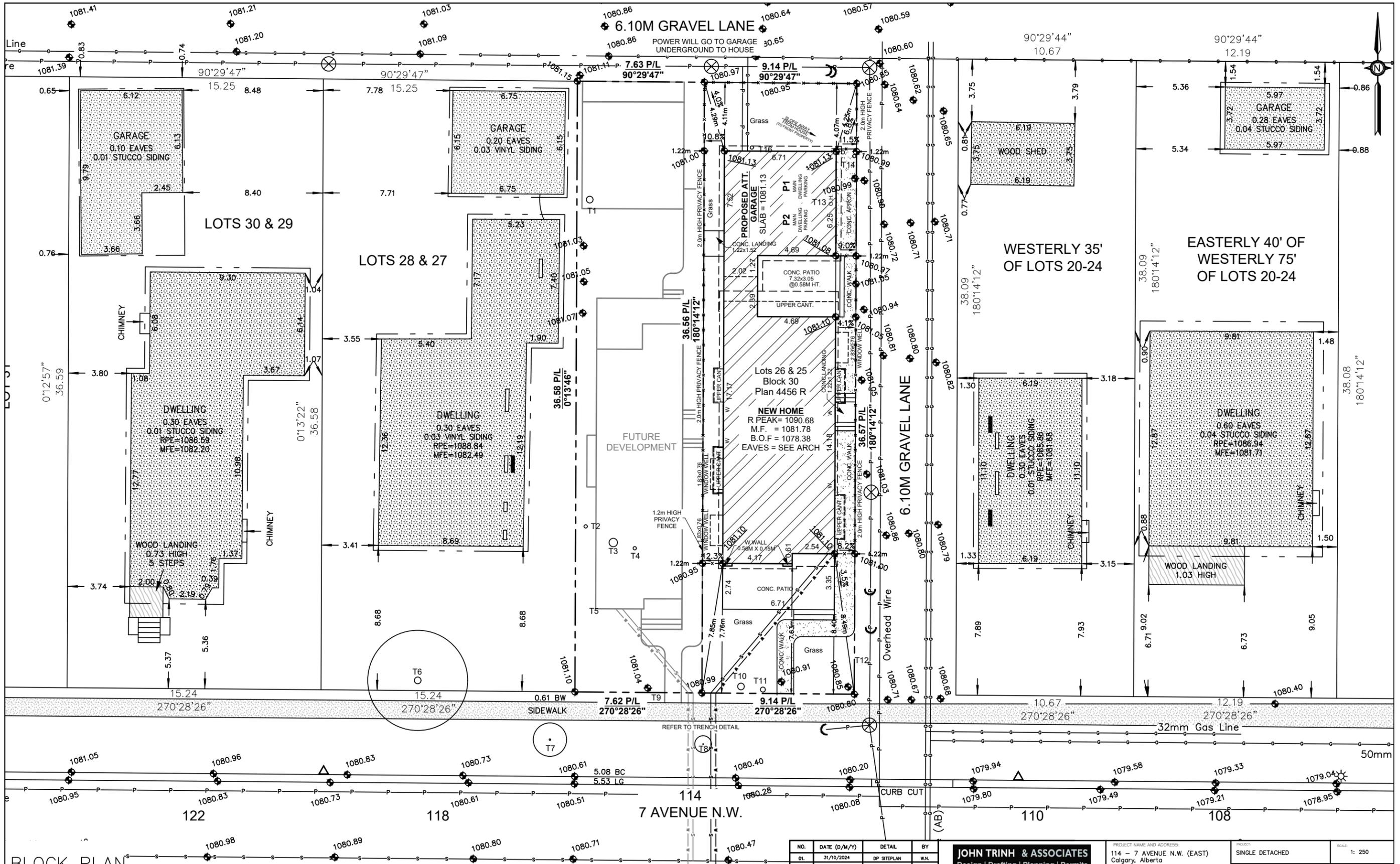
TRENCH DETAIL
SCALE: 1:200

NO.	DATE (D/M/Y)	DETAIL	BY
01.	31/10/2024	DP SITEPLAN	WN.
02.			
03.			
04.			

JOHN TRINH & ASSOCIATES
Design | Drafting | Planning | Permits
www.johntrinh.ca - 403.472.8184

PROJECT NAME AND ADDRESS:
114 - 7 AVENUE N.W. (EAST)
Calgary, Alberta
Lots 26 & 25
Block 30
Plan 4456 R

PROJECT:	SCALE:
SINGLE DETACHED	AS SHOWN
DATE: OCT 31, 2024	DIVISION NUMBER: S 02



BLOCK PLAN
SCALE: 1:250

SDAB2025-0060

NO.	DATE (D/M/Y)	DETAIL	BY
01.	31/10/2024	DP SITEPLAN	W.N.
02.			
03.			
04.			

JOHN TRINH & ASSOCIATES
Design | Drafting | Planning | Permits
www.johntrinh.ca - 403.472.8184

PROJECT NAME AND ADDRESS:
114 - 7 AVENUE N.W. (EAST)
Calgary, Alberta
Lots 26 & 25
Block 30
Plan 4456 R

PROJECT:	SCALE:
SINGLE DETACHED	1: 250
DATE:	DIVISION NUMBER:
OCT 31, 2024	S 03



LIST OF DRAWINGS	
A-0.0	Cover Page
A-1.1	Foundation Plan & Basement Floor Plan
A-1.2	Main Floor Plan & Upper Floor Plan
A-1.3	Roof Plan
A-2.0	Front & Rear Elevation
A-2.1	Right & Left Elevation

GENERAL NOTES:

FLOOR AREA	
BASEMENT	= 1067.00 SQ. FT.
MAIN	= 1102.23 SQ. FT.
UPPER	= 1188.84 SQ. FT.
ATT. GARAGE	= 478.60 SQ. FT.
TOTAL	= 2769.67 SQ. FT.

MUNICIPAL ADDRESS:
114 - 7 Ave NW (EAST)
CALGARY, ALBERTA

PROJECT:
NEW HOME

PROJECT NUMBER:
362-24

STATUS:
DP

DO NOT SCALE DRAWINGS.
 DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION.
 JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL.

NO.	DATE(D/M/Y)	DETAIL	BY
01.	31/10/2024	DP PLANS	W.N.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--
06.	--	--	--

COPYRIGHT:
 ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT.

NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION.

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING.

DRAWING SET:

SHEET NAME:
Cover Page

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

PRINTED: 4/23/2025 5:06:35 PM

SCALE:

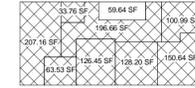
A-0.0

PAGE:





GENERAL NOTES:



FLOOR AREA
BASEMENT = 1057.00 SQ. FT.

MUNICIPAL ADDRESS:
**114 - 7 Ave NW (EAST)
CALGARY, ALBERTA**

PROJECT:
NEW HOME

PROJECT NUMBER:
362-24

STATUS:
DP



FLOOR AREA
MAIN = 1122.23 SQ. FT.
ATT. GARAGE = 489.60 SQ. FT.

DO NOT SCALE DRAWINGS.
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION.
JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL.

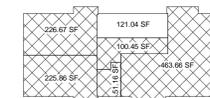
NO.	DATE(D/M/Y)	DETAIL	BY
01.	31/10/2024	DP PLANS	W.N.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--
06.	--	--	--

COPYRIGHT:
ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT.

NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION.

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING.



FLOOR AREA
UPPER = 1188.84 SQ. FT.

DRAWING SET:

SHEET NAME:
Roof Plan

DESIGN BY: JT

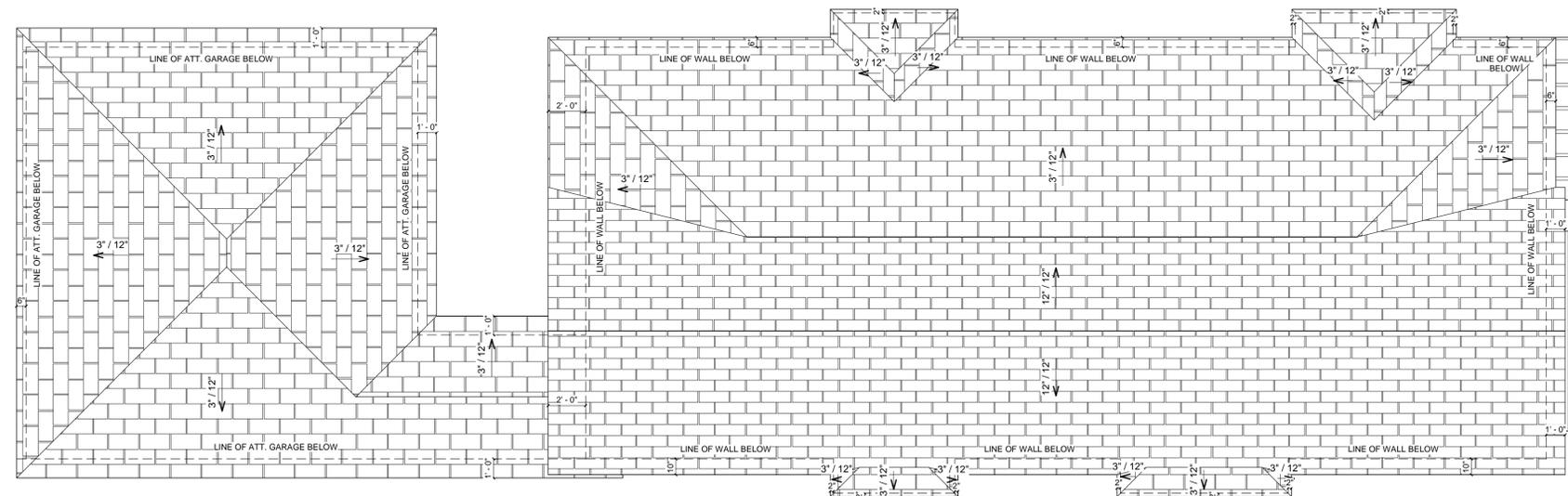
DRAWN BY: JT

LAST REVISION BY:

PRINTED: 4/23/2025 5:06:37 PM

SCALE: As indicated

PAGE: **A-1.3**



ROOF PLAN
SCALE: 1/4" = 1'-0"



GENERAL NOTES:
VENTED SOFFIT NOTES:
 - VENTED SOFFIT (FRONT AND BACK)
 - VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
 - NON VENTED SIDES SOFFIT IF WITHIN 1.2m
 (SOFFIT ARE PRE-FIN ALUM)

MUNICIPAL ADDRESS:
**114 - 7 Ave NW (EAST)
 CALGARY, ALBERTA**

PROJECT:
NEW HOME

PROJECT NUMBER:
362-24

STATUS:
DP

DO NOT SCALE DRAWINGS
 DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION
 JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL.

NO.	DATE(D/M/Y)	DETAIL	BY
01.	31/10/2024	DP PLANS	W.N.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--
06.	--	--	--

COPYRIGHT:
 ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT.

NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION.

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING.

DRAWING SET:

SHEET NAME:
Front & Rear Elevation

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

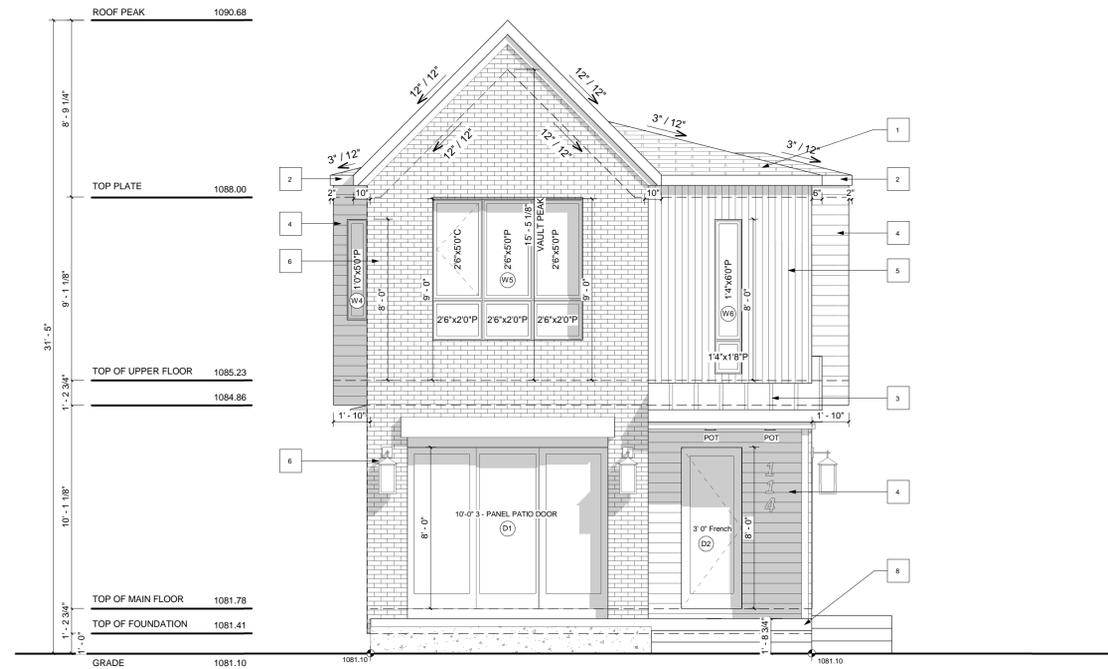
PRINTED: 4/23/2025 5:06:39 PM

SCALE: 1/4" = 1'-0"

PAGE: **A-2.0**

EXTERIOR FINISHES:

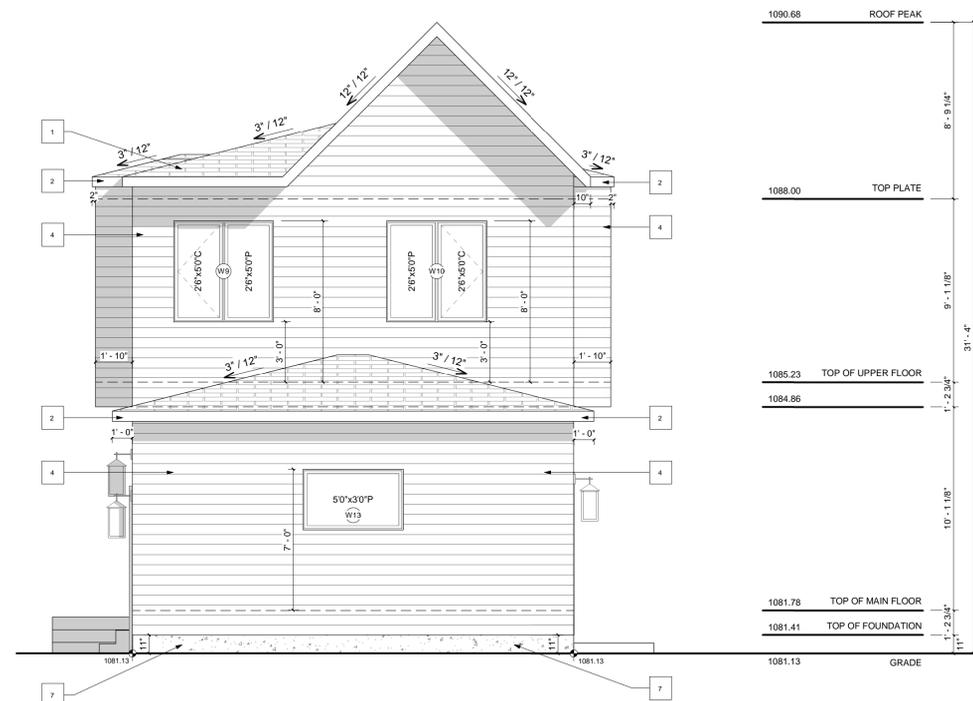
- 1 ASPHALT SHINGLE
- 2 6" ALUMINUM FASCIA
- 3 METAL CORRUGATED ROOFING
- 4 HARDIE FINISH - DARK GRAY/BLACK (HORIZONTAL)
- 5 HARDIE FINISH - DARK GRAY/BLACK (VERTICAL)
- 6 BRICK CLADDING - RED
- 7 CONCRETE PAVING
- 8 CAST-IN-PLACE CONCRETE



FRONT ELEVATION
 SCALE: 1/4" = 1'-0"

EXTERIOR FINISHES:

- 1 ASPHALT SHINGLE
- 2 6" ALUMINUM FASCIA
- 3 METAL CORRUGATED ROOFING
- 4 HARDIE FINISH - DARK GRAY/BLACK (HORIZONTAL)
- 5 HARDIE FINISH - DARK GRAY/BLACK (VERTICAL)
- 6 BRICK CLADDING - RED
- 7 CONCRETE PAVING
- 8 CAST-IN-PLACE CONCRETE



REAR ELEVATION
 SCALE: 1/4" = 1'-0"

EXTERIOR FINISHES:

- 1 ASPHALT SHINGLE 3 METAL CORRUGATED ROOFING 5 HARDIE FINISH - DARK GRAY/BLACK (VERTICAL) 7 CONCRETE PAVING
- 2 6" ALUMINUM FASCIA 4 HARDIE FINISH - DARK GRAY/BLACK (HORIZONTAL) 6 BRICK CLADDING - RED 8 CAST-IN-PLACE CONCRETE

WINDOW CALCULATION:
 WALL AREA= 1084.53 SQ. FT.
 WINDOW AREA = 41.62 SQ. FT.
 TOTAL: 41.62/1084.53 = 3.84%



GENERAL NOTES:

MUNICIPAL ADDRESS:
114 - 7 Ave NW (EAST)
CALGARY, ALBERTA

PROJECT:
NEW HOME

PROJECT NUMBER:
362-24

STATUS:
DP

DO NOT SCALE DRAWINGS.
 DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION.
 JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL.

NO.	DATE(D/M/Y)	DETAIL	BY
01.	31/10/2024	DP PLANS	W.N.
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--
06.	--	--	--

COPYRIGHT:
 ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT.

NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION.

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING.

DRAWING SET:

SHEET NAME:
Right & Left Elevation

DESIGN BY: JT

DRAWN BY: JT

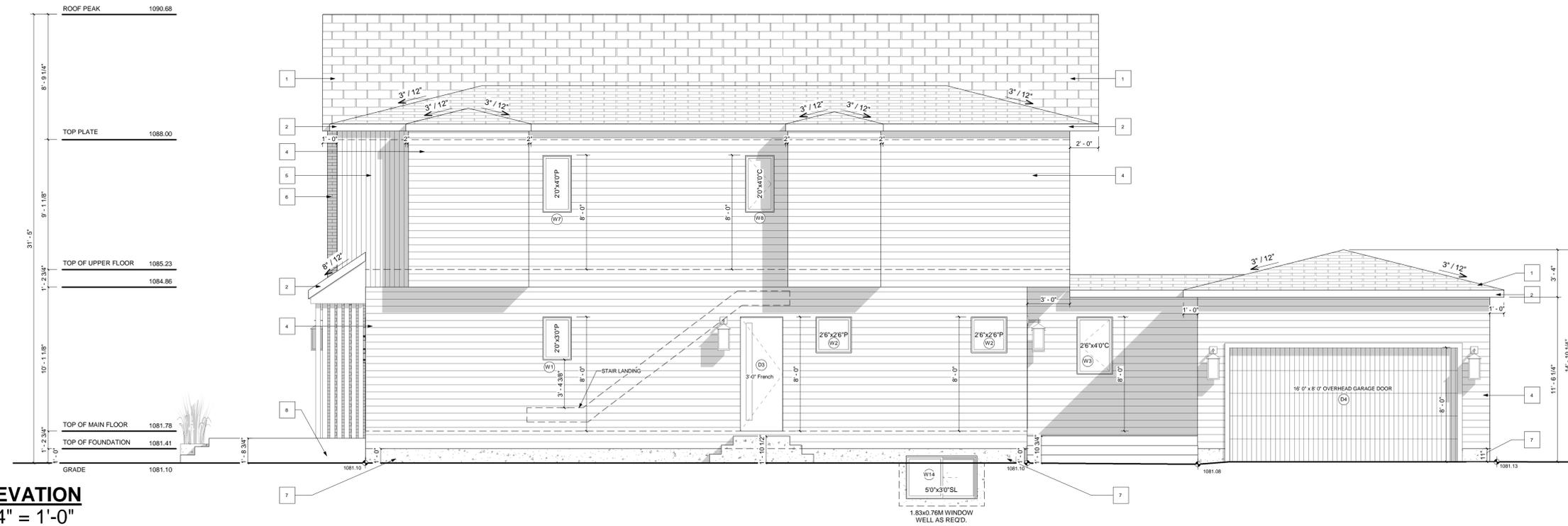
LAST REVISION BY:

PRINTED: 4/23/2025 5:06:41 PM

SCALE: 1/4" = 1'-0"

PAGE: **A-2.1**

RIGHT ELEVATION
 SCALE: 1/4" = 1'-0"



EXTERIOR FINISHES:

- 1 ASPHALT SHINGLE 3 METAL CORRUGATED ROOFING 5 HARDIE FINISH - DARK GRAY/BLACK (VERTICAL) 7 CONCRETE PAVING
- 2 6" ALUMINUM FASCIA 4 HARDIE FINISH - DARK GRAY/BLACK (HORIZONTAL) 6 BRICK CLADDING - RED 8 CAST-IN-PLACE CONCRETE

WINDOW CALCULATION:
 WALL AREA= 1448.27 SQ. FT.
 WINDOW AREA = 30.99 SQ. FT.
 TOTAL: 30.99/1448.27 = 2.14%

LEFT ELEVATION
 SCALE: 1/4" = 1'-0"

