

**REPORT TO THE SUBDIVISION AND
DEVELOPMENT APPEAL BOARD**

DATE: June 26, 2025	APPEAL NO.: SDAB2025-0066 FILE NO.: DP2024-07897
APPEAL BY: Mike Antonius with Superior Exterior Inc.	
FROM A DECISION OF THE DEVELOPMENT AUTHORITY where a NEW: Semi-detached Dwelling (2 buildings), Secondary Suite (4 suites), Accessory Residential Building (garage) was approved at <u>1614 16A Street SE.</u>	LAND USE DESIGNATION: R-CG Discretionary
COMMUNITY OF: Inglewood	DATE OF DECISION: April 30, 2025
APPLICANT: Suburbia Designs Co., represented by Rick Grol	OWNER: Citrine Homes Inc., represented by Rick Grol

Notes:

- Notice has been given of the hearing pursuant to the *Municipal Government Act* and Land Use Bylaw, including notices to parties who may be affected by the appeal. The final determination of whether a party is an “affected person” will be made by the Board if required.
- This Report is provided as a courtesy only. The Board’s record may include additional materials, including notifications to affected parties and correspondence of a procedural or administrative nature. The Board’s record may be viewed at the Appeal Board office at: 4th Floor, 1212 31 Avenue NE, Calgary, Alberta during regular office hours.

In accordance with Sections 678 and 686 of the Municipal Government Act and The City of Calgary Bylaw 25P95, as amended, an appeal to the Subdivision and Development Appeal Board must be filed within the legislated time frame and each Notice of Appeal must be accompanied by the legislated fee.

Municipal Address of Site Under Appeal [required]	1614 16A Street SE
Development Permit/Subdivision Application/File Number [required]	DP2024-07897
Name of Appellant [required]	Mike Antonius (Superior Exterior Inc)
Agent Name (if applicable)	Carol McClary
Street Address [required]	1428 16A Street SE and 1612 16A Street SE
hdnFullAddress	1428 16A Street SE and 1612 16A Street SE Calgary AB T2G 3S4
City [required]	Calgary
Province [required]	Alberta
Postal Code [required]	T2G 3S4
Residential Phone # [required]	(403) 619-5807
Business Phone #	(647) 835-7994
Email Address [required]	superiorexteriorinfo@gmail.com

APPEAL AGAINST

Required field. Check one item only: for multiple appeals you must submit another Notice of Appeal.

Development Permit Approval

I do hereby appeal the decision of the Subdivision/Development Authority for the following reasons [required]

Please see attached document.

In order to assist the Board in scheduling, please answer the following questions to the best of your ability:

Estimated Presentation Time 90 minutes

Will you be using an agent/legal counsel? [required] No

Do you anticipate any preliminary issues with your appeal? (i.e. jurisdiction, parties status as affected persons, adjournment, etc.)? [required] No

If yes, what are the issues?

Do you anticipate bringing any witnesses/experts to your hearing? [required] No

If yes, how many will you be bringing?

I confirm and acknowledge that

- *I have read and understood this form;*
- *The information I have provided is accurate to the best of my knowledge; and*
- *I am responsible for paying the appeal fee and my notice of appeal will not be considered filed until my appeal fee has been received.*

Submission Date 2025-05-27 13:31:14 MST

This personal information is collected under the authority of the Freedom of Information and Protection of Privacy Act, section 33(c) and the Municipal Government Act, Sections 678 and 686. THIS INFORMATION WILL BE USED FOR PROCESSING YOUR APPEAL AND WILL BECOME PART OF A PUBLIC AGENDA. If you have any questions regarding the collection of this information, contact the Tribunal Coordinator, City Appeal Boards at 403-268-5312 or PO Box 2100, Stn "M", #8110, Calgary, AB, T2P 2M5.

If you require further information regarding appeal deadlines and procedures, please contact the SDAB office at:

Website: calgary.ca/sdab

Phone: (403) 268-5312

Email: info@calgarysdab.ca

Reasons for Appeal

DP2024-07897

Address: 1614 – 16A Street SE

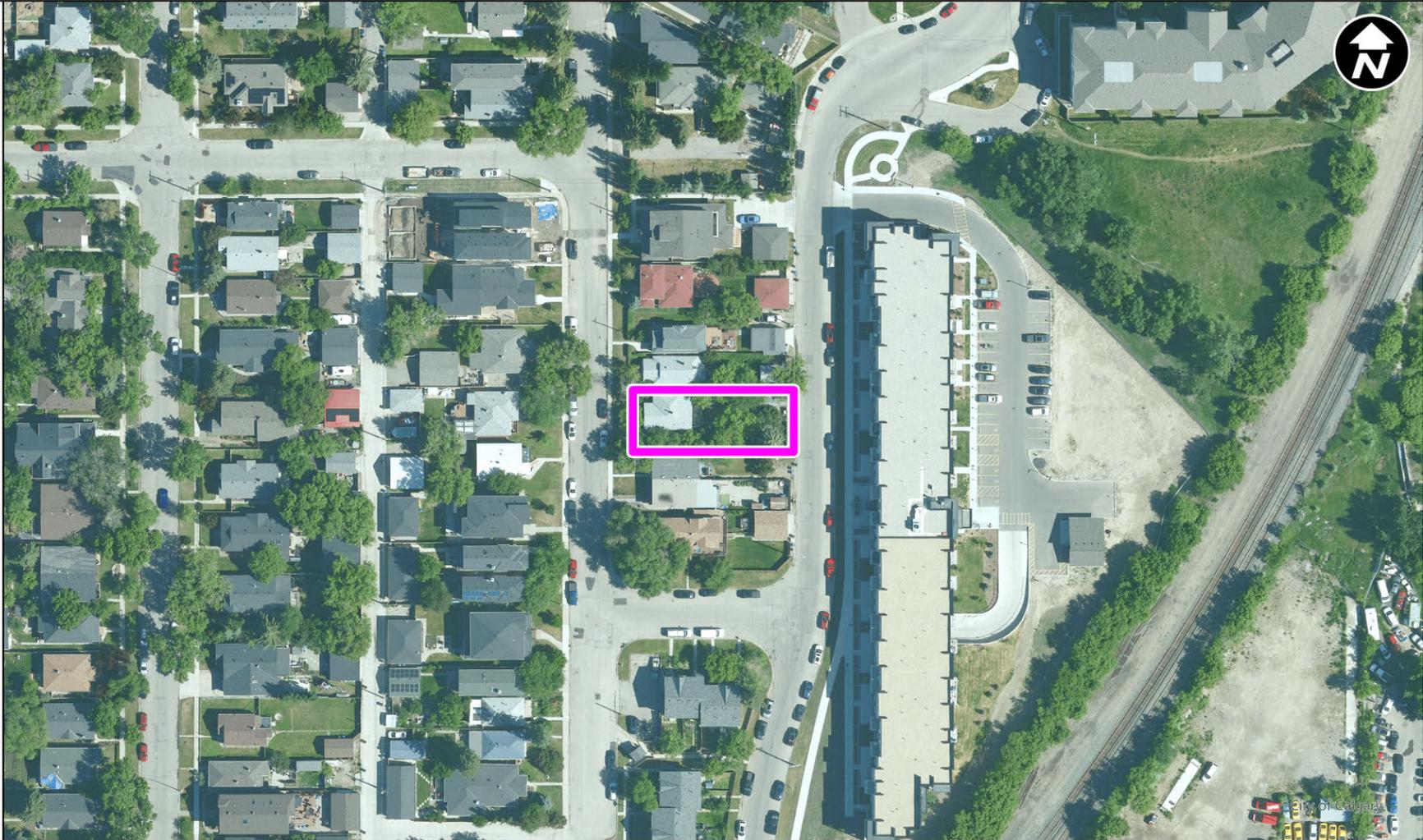
1. The proposed development is out of character with the adjacent single detached and semi-detached dwellings located on the block. The proposed double row of Semi-detached Buildings project beyond the established front setback and are located adjacent to the rear amenity space of the existing homes. The proposed double row of buildings is not sensitive to the existing development.
2. The policy provisions within the Inglewood Redevelopment Plan are not addressed nor implemented in the proposed siting and design of the proposed buildings.
3. The proposed rear Semi-detached Dwelling and to the Secondary Suites have no identity to the street and include a disruptive front setback creating a compromised street aesthetic.
4. Other concerns include the Economic Impact of this development; it's compliance with bylaws (fairness to adjacent properties) and an unjustified relaxation of flood mitigation standards.
5. Excessive Site Coverage.
6. Any other matters that will arise after close examination of the development permit and review of the floor plans.

Community Context SDAB2025-0066

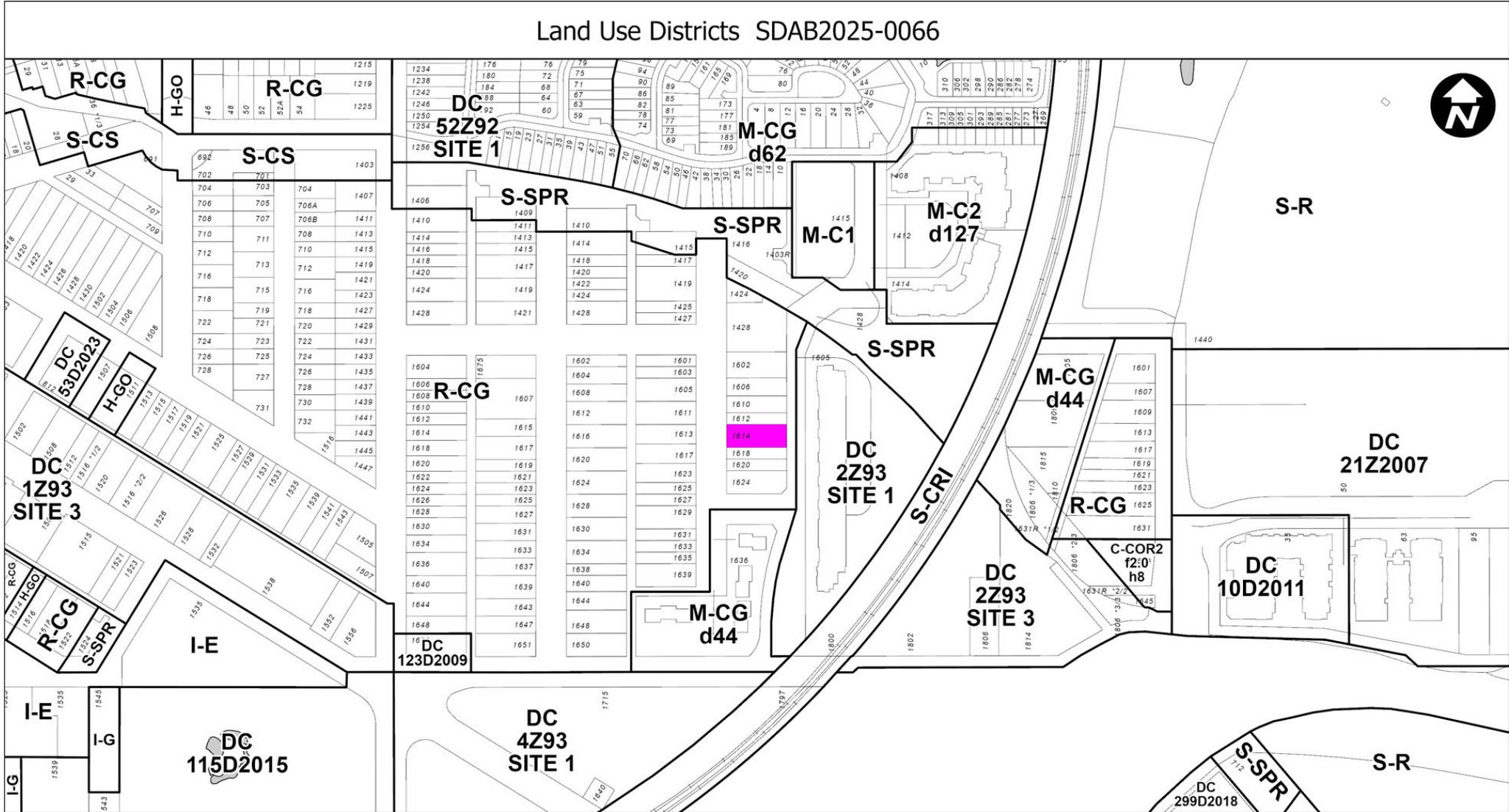


Site Context SDAB2025-0066

- Subject Site
- 600m buffer from LRT Station
- City Limits
- LRT Stations
 - Blue
 - Blue/Red (Downtown)
 - Red
 - Green (Future)
- LRT Line
 - Blue
 - Blue/Red
 - Red
- Max BRT Stops
 - MAX Orange
 - MAX Purple
 - MAX Teal
 - MAX Yellow
 - MAX Multi
 - Bus Stop



Land Use Districts SDAB2025-0066



Surrounding Land Use SDAB2025-0066





May 30, 2025

SUBURBIA DESIGNS CO.

[Redacted]
[Redacted]

Dear Applicant:

RE: Notification of Decision: DP2024-07897

Subject: New: Semi-detached Dwelling (2 buildings), Secondary Suite (4 suites), Accessory Residential Building (garage)

Address: 1614 16A ST SE

This is your notification of decision by the Development Authority to approve the above noted application on April 30, 2025.

Read all of the Permanent Conditions of approval carefully as they form part of the approval decision. The Prior to Release Requirements must be met to the satisfaction of the Development Authority before your Development Permit will be released to you. The Permanent Conditions form part of the approval decision. Advisory Comments, if applicable, are also attached and are intended to be of assistance in obtaining additional permits and supplementary information for the successful completion of your development.

Development approved by this permit must commence by April 30, 2027 or the development permit shall cease to be valid. The decision will be advertised beginning May 8, 2025 at www.calgary.ca/publicnotices, which is the start of the mandatory 21-day appeal period. This appeal period will conclude at midnight May 29, 2025. Release of the permit will occur within 2-4 business days following the conclusion of the appeal period and upon receipt of all Prior to Release requirements.

If you wish to appeal, submit your appeal with reasons and the \$200.00 filing fee to the Subdivision and Development Appeal Board within 21 days of this notice of decision being given. The appeal may be filed online at www.calgarysdab.ca or in person or by mail.

Please note that this letter is to advise you of the conditions of approval, the mandatory advertising appeal period and the timeframe in which you may appeal this decision. If no appeals have been filed during the appeal period, and the Prior to Release conditions have been met, your Development Permit will be released. Should you require clarification of the above or further information, please contact me at or by email at jenny.sepulveda@calgary.ca and assist me by quoting the Development Permit number.

Yours truly,

Jenny Sepulveda
Planner 1
Planning and Development
Attachment(s)



DEVELOPMENT PERMIT
LAND USE BYLAW NO 1P2007

DP2024-07897

This permit relates to land in the City of Calgary municipally described as:

1614 16A ST SE

Community: **Inglewood**

L.U.D.:**R-CG**

and legally described as:

15930;R;5,6

and permits the land to be used for the following development:

New: Semi-detached Dwelling (2 buildings), Secondary Suite (4 suites), Accessory Residential Building (garage)

The present owner and any subsequent owner of the above described land must comply with any attached conditions.

The development has been approved subject to any attached conditions and to full compliance with the approved plans bearing the stamp of approval and the above development permit number.

Decision By: **Development Authority**

Date of Decision: **April 30, 2025**

Development Authority: **Melanie D Meadows**

File Manager: **Jenny Sepulveda**

Release Date: _____

This permit will not be valid if development has not commenced by: April 30, 2027

This Development Permit was advertised on: **May 08, 2025**

This is NOT a Building Permit

In addition to your Development Permit, a Building Permit may be required, prior to any work commencing. further information, you should contact the City of Calgary, Planning, Development & Assessment - Building Regulations Division.

WARNING

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Applicant: **SUBURBIA DESIGNS CO.**
Address: **3901 EDISON CR SW**
City: **Calgary, Alberta, T2G5M8**
Phone: **[REDACTED]**



**DEVELOPMENT PERMIT
LAND USE BYLAW NO 1P2007**

DP2024-07897

Complete Address and Legal Description listing for Development Permit DP2024-07897

Address Type	Address	Legal Description
Building	1614 16A ST SE	
Parcel	1614 16A ST SE	1593O;R;5,6



Conditions of Approval – Development Permit

Application Number:	DP2024-07897
Application Description:	New: Semi-detached Dwelling (2 buildings), Secondary Suite (4 suites), Accessory Residential Building (garage)
Land Use District:	Residential - Grade-Oriented Infill
Use Type:	Discretionary
Site Address:	1614 16A ST SE
Community:	INGLEWOOD
Applicant:	SUBURBIA DESIGNS CO.
Planning:	JENNY SEPULVEDA jenny.sepulveda@calgary.ca
Utility Engineering:	CHRIS FLEETWOOD (403) 268-5690 Chris.Fleetwood@calgary.ca
Mobility Engineering:	HILARY ENNS 403-200-8641 Hilary.Enns@calgary.ca

Prior to Release Requirements

The following requirements shall be met prior to the release of the permit. All requirements shall be resolved to the satisfaction of the Approving Authority:

Planning

1. Upload a complete set of the amended plans in PDF format, into the ePermit system. The submitted plans must address the requirements listed in this document. Ensure that all plans affected by the revisions are amended accordingly.
2. Amend plans to ensure that the side-facing windows on the rear unit are either fitted with obscured glazing or have a minimum sill height of 1.5 metres from the finished floor level. This is required to address privacy concerns and minimize potential overlook into adjacent properties.
3. Proposed Landscape Schedule states 4 "Syringa Reticulata" to be planted on City Boulevard. Amend the proposed Landscape Schedule to indicate 6 Syringa Reticulata to be planted on private property.

Utility Engineering

Track your application on-line with VISTA. Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

4. Submit an electronic Development Site Servicing Plan (DSSP) circulation, for review and acceptance, as required by Section 5 (2) of the Utility Site Servicing Bylaw 33M2005.

For further information, refer to the following:

Development Site Servicing Plan Webpage

<https://www.calgary.ca/uep/water/specifications/water-development-resources/development-site-servicing-plans.html>

Development Site Servicing Plans CARL (requirement list)

<http://www.calgary.ca/PDA/pd/Pages/Permits/carl-building-development-permit-search.aspx>

Note:

For further information, contact Utility Specialists at:
WA-ResourcesDevelopmentApprovals@calgary.ca OR 403-268-2693 OR
jennifer.derbywagner@calgary.ca.

5. After the Development Permit is approved but prior to its release, the landowner shall execute an Off-Site Levy Agreement for the payment of off-site levies pursuant to Bylaw 1H2024.

Based on the information provided with the initial submission, the preliminary estimate is \$12,659.20.

Note(s):

- Should payment be made prior to release of the development permit, an Off-Site Levy Agreement will not be required.
- Include the completed Payment Submission Form, which was emailed to the applicant.
- Only certified cheques or bank drafts made payable to the City of Calgary are acceptable.

To obtain an off-site levy agreement or for further information, contact the Infrastructure Strategist, Development Commitments, at 587-215-6253 OR
yunpeng.qin@calgary.ca OR offsitelevy@calgary.ca.

Permanent Conditions

The following permanent conditions shall apply:

Planning

6. The development shall be completed in its entirety, in accordance with the approved plans and conditions. The stamped and signed plans are a legal document.
7. No changes to the approved plans shall take place unless authorized by the Development Authority. If changes to the development occur or are proposed, a new development permit or revised plan application may be required.
8. A development completion permit must be issued for the development before the use is commenced or the development occupied. A development completion permit is independent from the requirements of City of Calgary Building Regulations inspections and permission for occupancy. Request a development completion permit inspection by visiting inspections.calgary.ca or call 403-268-5311.
9. When the main floor is constructed, submit the surveyed geodetic elevation to Geodetic.Review@Calgary.ca
10. For the full release of the DP, you will have to arrange the payment for the offsite levy in the case the Development Permit referenced in the subject line has been or will be conditionally approved.

The estimate indicates the offsite levy is outstanding, and the amount payable is: \$13,226.00
11. No stockpiling or dumping of construction materials is permitted on the adjacent boulevard.
12. Any damage to public boulevards resulting from development activity, construction staging or materials storage, or construction access will require restoration at the developer's expense. The disturbed area shall be maintained until planting is established and approved by the Parks Development Inspector. Contact the Development Inspector, Jackie Swartz at 403-620-3216, for an inspection.
13. In order to ensure the integrity of the boulevard, construction access is only permitted through the 17 ST. SE and outside the dripline of public tree(s), per the approved Tree Protection Plan.
14. In order to ensure the integrity of boulevard no grade changes are permitted in the boulevard within the drip lines of the trees.

Track your application on-line with VISTA. Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

15. In order to ensure the integrity of the boulevard, there shall be a minimum 3 metre separation, ideally the full length of the canopy, between the trunk and any new/proposed structures, (i.e. driveways and walkways).

Utility Engineering

16. For all soil disturbing projects, the developer, or their representative, shall designate a person to inspect all erosion and sediment control practices a minimum of every seven (7) days and during, or within 24 hours of, the onset of significant precipitation (> 12mm of rain in 24 hours, or rain on wet or thawing soils) or snowmelt events. Note that some practices may require daily or more frequent inspection. Erosion and sediment control practices shall be adjusted to meet changing site and winter conditions.
17. Stormwater runoff must be contained and managed in accordance with the Stormwater Management & Design Manual all to the satisfaction of the Manager, Development Engineering.
18. The grades indicated on the approved Development Site Servicing Plan(s) must match the grades on the approved Development Permit plans. Upon a request from the Development Authority, the developer or owner of the titled parcel must confirm under seal from a Consulting Engineer or Alberta Land Surveyor, that the development was constructed in accordance with the grades submitted on the Development Permit and Development Site Servicing Plan.
19. If during construction of the development, the developer, the owner of the titled parcel, or any of their agents or contractors becomes aware of any contamination,
 - a. the person discovering such contamination shall immediately report the contamination to the appropriate regulatory agency including, but not limited to, Alberta Environment, Alberta Health Services and The City of Calgary (311).
 - b. on City of Calgary lands or utility corridors, The City of Calgary, Environmental and Safety Management division shall be immediately notified (311).
20. No trees, shrubs, buildings, permanent structures or unauthorized grade changes are permitted within utility rights-of-way.
21. Pursuant to Bylaw 1H2024, off-site levies are applicable.

After approval of the Development Permit but prior to issuance of a Development Completion Permit or any occupancy of the building, payment shall be made for off-site levies pursuant to Bylaw 1H2024.

Note(s):

-Include the completed Payment Submission Form, which was emailed to the applicant.

-Only certified cheques or bank drafts made payable to the City of Calgary are acceptable.

To obtain a final estimate contact the Infrastructure Strategist, Development Commitments, at 587-215-6253 OR yunpeng.qin@calgary.ca OR offsitelevy@calgary.ca.

22. The development site lies within the Flood Fringe, and as such must conform to Land Use Bylaw 1P2007, Part 3, Division 3.

Mobility Engineering

23. The developer shall be responsible for the cost of public work and any damage during construction in City road right-of-ways, as required by the Manager, Development Engineering. All work performed on public property shall be done in accordance with City standards.
24. Indemnification Agreements are required for any work to be undertaken adjacent to or within City rights-of-way, bylawed setbacks and corner cut areas for the purposes of crane operation, shoring, tie-backs, piles, surface improvements, lay-bys, utility work, +15 bridges, culverts, etc. All temporary shoring, etc., installed in the City rights-of-way, bylawed setbacks and corner cut areas must be removed to the satisfaction of the Manager, Development Engineering, at the applicant's expense, upon completion of the foundation. Prior to permission to construct, contact the Indemnification Agreement Coordinator, Roads at roadsia@calgary.ca
25. The approved driveway(s) required for this development must be constructed to the ramp grades as shown on the approved Development Permit plans. Negative sloping of the driveway within the City boulevard is not acceptable. If actual grades do not match the approved grades, the developer/owner shall be responsible for all costs to remove and reconstruct the entire driveway ramp in accordance with approved grades.

Advisory Comments

The following advisory comments are provided as a courtesy to the Applicant and registered property owner. The comments represent some, but not all of the requirements contained in the Land Use Bylaw that must be complied with as part of this approval.

Planning

26. The Applicant may appeal the decision of the Development Authority, including any of the conditions of the development permit. If you decide to file an appeal, please refer to the notification of decision letter for the appropriate appeal body and appeal process.
27. The site is within the 30 to 35 noise exposure forecast lines and is subject to the Airport Vicinity Protection Area Regulation.
28. The approval of this development permit does not limit in any way the application of any federal, provincial, or municipal law, policy, code, regulation, bylaw, and/or guideline, nor does it constitute any permit or permission under any federal, provincial, or municipal law, policy, code, regulation, bylaw, and/or guideline.
29. In addition to this development permit, building permits may also be required. Building permit applications may be submitted upon approval of the associated development permit. Contact Building Regulations at 403-268-5311 for further information.
30. This development permit has not been reviewed for potential issues with the National Building Code - current Alberta Edition. You may require a Building Permit in addition to this development permit in which case compliance with the Code will be assessed through a Building Permit application. Should a Building Permit review require changes to the approved development permit, the changes must be to the satisfaction of the Development Authority and are potentially subject to a new development permit.
31. All plumbing services including sanitary, storm and water must be verified onsite by the owner and/or builder to ensure the size and location is compliant with the National Plumbing Code of Canada for the number of fixtures being installed. The waterline must be of the size that is indicated on the grade slip, but in no case smaller than 1 in size.
32. A minimum of 1.0 tree and 3.0 shrubs must be provided for each 110.0 square meters of parcel area. This may be accomplished by planting new trees or preserving existing trees. The trees must be of a species capable of healthy growth in Calgary and must conform to the standards of the Canadian Nursery Landscape Association. To satisfy the requirement of one tree, the following sizes must be met:
 - a. A deciduous tree with a minimum calliper of 50.0mm; or
 - b. A coniferous tree with a minimum height of 2.0 metres.To satisfy the requirement of two trees, the following sizes must be met:
 - a. A deciduous tree with a minimum calliper of 85.0mm; or

Track your application on-line with VISTA. Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

- b. A coniferous tree with a minimum height of 4.0 metres.
The required trees must be provided on the parcel within 12 months of issuance of the development completion permit (DCP) and maintained for a minimum of 24 months after issuance of the DCP.
33. There are many types of caveats and other agreements that can be registered on the title of the property that can restrict the ability to develop. The City has not reviewed or considered all instruments registered on the title to this property. Property owners must evaluate whether this development is in compliance with any documents registered on title.
34. A basement on this parcel has the potential for flooding due to groundwater seepage during periods of high river flow, based on information gathered in the 2013 flood event, analysis contained in the "Bow River and Elbow River Hydraulic Model and Flood Inundation Mapping Update" (2015, City of Calgary and Alberta Environment), and the 2020 draft Alberta Environment and Parks inundation maps. The following should be considered in basement design:
- a. Design the building to prevent structural damage from elevated groundwater levels during periods of high river flow. Elevated groundwater levels may impact foundation dewatering, foundation water proofing, and structural design.
 - b. Basements should not be utilized for the storage of immovable or hazardous materials that are flammable, explosive, or toxic.
 - c. A sump pump with battery backup should be provided in the basement.
 - d. The sump pump outfall pipe should be looped and discharged above the designated flood level
 - e. A separate electrical circuit should be provided for the sump pump with the operating switch located above the designated flood level.
 - f. Installation of backflow prevention valve(s) on sewer lines and/or the elimination of gravity flow basement drains.
 - g. No primary living spaces (e.g. bedrooms) below the designated flood level.
 - h. A water alarm should be installed in the basement to warn of groundwater seepage.
35. Enhanced on-site landscaping is recommended to improve the overall impact on the public realm and outdoor spaces. Refer to the [Landscape Design Guide for Small Residential Sites](#).
36. The Streets Bylaw (20M88) and the Tree Protection Bylaw (23M2002) contain clauses intended to protect trees growing on Public Land. No person shall remove, move, cut, or prune a Public Tree or cause a Public Tree to be removed, moved, cut or pruned without prior written authorization from the Director, Parks. A copy of the bylaw can be found at www.calgary.ca. Parks does not permit the removal of public trees to facilitate development unless all options to retain and protect are exhausted.
37. If clearance pruning of public trees is required, Urban Forestry must be notified (minimum two business days notice) and an indemnified contractor must be used at the applicants expense. Please contact Urban Forestry at 311 for more information.

38. As part of the Tree Protection Bylaw, a Tree Protection Plan will be required when a development, construction activity, or a disturbance occurring on the City Boulevard is within 6 metres of a boulevard tree. For more information about submitting your tree protection plan visit www.calgary.ca and search protecting trees during construction and development; alternatively, call 311 or email tree.protection@calgary.ca. Applicant is to apply for tree protection plan prior to demolition.
39. Community Engagement is an expectation for redevelopment applications. The applicant is strongly encouraged to proactively reach out to the Inglewood Community Association, nearby neighbours, and the Ward 9 Councillor's Office (Gian-Carlo Carra) for their feedback on the proposal. The applicant shall submit an Applicant Outreach summary explaining what community outreach efforts were undertaken.
[Community Outreach on Planning and Development](#)
40. The Streets Bylaw (20M88) and the Tree Protection Bylaw (23M2002) contain clauses intended to protect trees growing on Public Land. No person shall remove, move, cut, or prune a Public Tree or cause a Public Tree to be removed, moved, cut or pruned without prior written authorization from the Director, Parks. A copy of the bylaw can be found at www.calgary.ca. Parks does not permit the removal of public trees to facilitate development unless all options to retain and protect are exhausted.
41. Tree plantings within City of Calgary boulevards and/or right of ways are subject to approval from Utility Line Assignment and Parks. No person shall plant trees or shrubbery on City Lands without prior written authorization from the Manager, Parks and in the case of walkways, medians, boulevards, and road rights of way, without additional prior written authorization from the Manager, Water Resources.
42. As part of the Tree Protection Bylaw, a Tree Protection Plan will be required when a development, construction activity, or a disturbance occurring on the City Boulevard is within 6 metres of a boulevard tree. For more information about submitting your tree protection plan visit www.calgary.ca and search protecting trees during construction and development; alternatively, call 311 or email tree.protection@calgary.ca. Applicant is to apply for tree protection plan prior to demolition.

Utility Engineering

43. The developer is responsible for ensuring that:
- The environmental conditions of the subject property and associated utility corridors meet appropriate regulatory criteria and appropriate environmental assessment, remediation or risk management is undertaken.
 - Appropriate environmental assessment(s) of the property has been undertaken and, if required, a suitable remedial action plan and/or risk management plan has been prepared, reviewed and accepted by the appropriate regulatory agency(s) including but not limited to Alberta Environment and Alberta Health Services.
 - The development conforms to any reviewed and accepted remedial action plan/risk management plans.

Track your application on-line with VISTA. Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

d. All reports are prepared by a qualified professional in accordance with accepted guidelines, practices and procedures that include but are not limited to those in the most recent versions of the Canadian Standards Association and City of Calgary Phase I & II Environmental Site Assessment Terms of Reference.

e. The development is in compliance with applicable environmental approvals (e.g. Alberta Environment Approvals, Registrations, etc), Energy Resources Conservation Board approvals and related setback requirements, and landfill setback requirements as set out in the Subdivision and Development Regulation.

If the potential for methane generation or vapours from natural or contaminated soils and groundwater has been identified on the property, the developer is responsible for ensuring appropriate environmental assessment(s) of the property has been undertaken and appropriate measures are in place to protect the building(s) and utilities from the entry of methane or other vapours.

Issuance of this permit does not absolve the developer from complying with and ensuring the property is developed in accordance to applicable environmental legislation.

44. As typically advised by Fire Department Technical Services, ahead of the Building Permit (BP) submission:

Fire (Primary Fire Access Route Design):

a. Access for fire department equipment shall be provided to each building by means of a street, private roadway or yard. This is / will be relevant as per code reference 9.10.20.3.(1).

b. Special variations could be permitted for a house and/or residential building that is protected with an automatic sprinkler system. Said sprinkler system must be designed in accordance with the appropriate NFPA standard, and there must be assurance that water supply pressure and quantity are unlikely to fail. These considerations could apply to buildings that are located on the sides of hills and are not conveniently accessible by roads designed for firefighting equipment and also to infill housing units that are located behind other buildings on a given property. This is / will be applicable as per code reference A 9.10.20.3.(1) Fire Department Access Route Modification. Important to note that some buildings and / or units may be subject to being sprinklered. This shall be further determined at the Building Permit (BP) stage.

c. Where access to a building as required, and is provided by means of a roadway or yard, the design (and location) of such roadway or yard shall take into account connection with public thoroughfares, weight of firefighting equipment, width of roadway, radius of curves, overhead clearance, location of fire hydrants, location of fire department connections and vehicular parking.

d. For residential buildings, including townhouse complexes, the distance of the principle entrance to / from a street should not exceed 45m (as per RB14-042). The applicable path of travel shall also be continuously maintained and unobstructed.

Fire (Professional involvement, NBC AE 2.4.2.1(4)):

Residential buildings with 5 to 20 dwelling units must be imprinted with the seals or stamps of either a registered architectural professional, or one or more registered engineering professionals.

1.3.3.4. Building Size Determination:

a. Where a firewall divides a building, each portion of the building so divided shall be considered as a separate building, except when this requirement is specifically modified in other parts of this Code.

Should (somehow) the above not be possible and / or provided at the Building Permit (BP) stage, the applicant / developer may have to revisit their development proposal as to ensure adequate compliance with any / all relevant codes / code references.

Note:

For further details, contact Fire Department Technical Services at ryan.smith@calgary.ca OR 403-801-6595.

45. Site Servicing (hydrant location plan) is to be submitted and approved by the Fire Department prior to the Development Site Servicing Plan (DSSP) stage. One stamped plan is to be submitted with the Development Site Servicing Plan submission.

Note:

For further details, contact Fire Department Technical Services at ryan.smith@calgary.ca OR 403-801-6595.

46. Prior to the commencement of construction, alteration or demolition operations, a fire safety plan, accepted in writing by the Fire Department and the authority-having jurisdiction, shall be prepared for the site and conform to the requirements of the AFC 2014, Division B, 5.6.1.3. This document is required as a Building Permit condition for approval.

Note:

For further details, contact Fire Department Technical Services at ryan.smith@calgary.ca OR 403-801-6595.

47. As conveyed by River Engineering, Part 1:

All electrical and mechanical equipment within a building must be located at or above the designated flood level; and a sewer back up valve must be installed in every building.

The location is within the 1:100 Flood Fringe, as per Council approved regulatory flood maps located at: <https://www.calgary.ca/pda/pd/calgary-land-use-bylaw-1p2007/land-use-bylaw-1p2007-maps.html>. As such, development is subject to the Land Use Bylaw (LUB), Part 3, Division 3, Clauses 55, 59, & 60.

Flood elevation(s) applicable are as follows:

- The official designated flood level (1:100 flood elevation) is 1039.5m (geodetic)
- The draft 2020 AEP model 1:20 flood elevation is 1037.9m (geodetic)

Building Opening Elevation for Development within the Flood Hazard Area:

All building openings (basement windows, walk out basements, etc.) and adjacent landscaping grades are recommended to be at or above the 2020 AEPA 1:20 flood elevation. A 1:20 flood means a flood level that has a 5% chance of occurring in any year. The 1:20 flood elevation is 1037.9m (geodetic).

Note:

For further details, contact River Engineering at kyle.mckee@calgary.ca or 403-651-9485 OR sandra.davis@calgary.ca or 403-268-4344.

48. As conveyed by River Engineering, Part 2:

Groundwater Seepage:

Due to the location (proximity to the river), and due to the geography and nature of the soils in the area, groundwater levels are a concern for subgrade structures, and shall be considered in design. Structures with subsurface components, including parking garages and basements, should be designed for structural stability under elevated groundwater conditions during river flooding, or so that the foundation of such structures is above the groundwater elevation during a 1:100 river flood.

The following should be considered in future basement design:

- a. Design the building to prevent structural damage from elevated groundwater levels by floodwaters. Elevated groundwater levels may impact foundation dewatering, foundation water proofing, and structural design.
- b. Basements should not be utilized for the storage of immovable or hazardous materials that are flammable, explosive, or toxic.
- c. A sump pump with battery backup should be installed in the basement.
- d. The sump pump outfall pipe should be looped and discharged above the designated flood elevation (1039.5m, geodetic).
- e. A separate electrical circuit should be installed for the sump pump with the operating switch located above the designated flood elevation (1039.5m, geodetic).
- f. Installation of backflow prevention valve(s) on sewer lines or the elimination of gravity flow basement drains.
- g. No primary living spaces (i.e. bedrooms) below the designated flood elevation (1039.5m, geodetic).
- h. A water alarm should be installed in the basement to warn of groundwater seepage.

Note:

The designated flood elevation is 1039.5m (geodetic).

For further details, contact River Engineering at kyle.mckee@calgary.ca or 403-651-9485 OR sandra.davis@calgary.ca or 403-268-4344.

49. As conveyed by River Engineering, Part 3:

Inglewood Barrier:

Based on information gathered in the 2013 flood event, and analysis contained in the 2020 draft Alberta Environment and Protected Areas inundation maps, the Inglewood Flood Barrier provides mitigation up to a 1:100 flood. Design up to the 1:100 flood will increase resilience to flooding, but because of the decreased risk,

River Engineering would support a relaxation of the designated flood elevation to the 1:20 flood elevation or higher.

The designated flood elevation is 1039.5m (geodetic).
The 1:20 flood elevation is 1037.9m (geodetic).

Living Spaces:

Due to the potential for overland and/or groundwater flooding during a 1:100 flood event, River Engineering advises against placing living spaces (i.e. bedrooms, secondary suites) below the designated flood elevation. Water can enter basements rapidly during a flood and become a life safety hazard, resulting in evacuations, and damage to the building and dwelling contents.

Densification:

Densification as a result of this development increases the risks associated with life safety, property damage and losses, as well as resident displacement during a flood. It is recommended that emergency plans for egress are put in place in the event of a flood. For information on how to prepare for emergencies, please refer to <https://www.calgary.ca/emergencies/preparedness.html>.

Note:

For further details, contact River Engineering at kyle.mckee@calgary.ca or 403-651-9485 OR sandra.davis@calgary.ca or 403-268-4344.

50. As conveyed by River Engineering, Part 4:

Province of Alberta Disaster Recovery:

The design of the building on the parcel may affect its ability to qualify for the Province of Alberta Disaster Recovery Program assistance, therefore it is recommended that the applicant contact the Alberta Emergency Management Agency at 1-888-671-1111 or drp.info@gov.ab.ca, to review any pertinent matters about the subject development. Note recent changes to the disaster assistance program in 2021 implemented a \$500,000 funding cap per homeowner application, and a one-time limit on disaster financial assistance per property.

Province of Alberta Flood Hazard Map Update:

Be advised that the Province of Alberta has recently updated the provincial flood hazard maps which form the basis for The City of Calgarys Land Use Bylaw flood hazard areas. These updates include a new approach to defining the flood hazard areas along the Bow and Elbow Rivers. For more information on the Provinces project, please see www.floodhazard.alberta.ca.

These updates may result in changes to the regulatory zones and designated flood elevations for the proposed development area. Changes to the Land Use Bylaw in response to the updated flood hazard maps are anticipated to be completed in 2025. For more information, please see <https://www.calgary.ca/rivervalleys>.

Note:

For further details, contact River Engineering at kyle.mckee@calgary.ca or 403-651-9485 OR sandra.davis@calgary.ca or 403-268-4344.

51. Water, sanitary and storm connections are available from 16A ST SE.
- For further information, contact Utility Specialists at:
WA-ResourcesDevelopmentApprovals@calgary.ca OR 403-268-2693 OR
jennifer.derbywagner@calgary.ca.
52. Show details of servicing and metering on Development Site Servicing Plan. Provide adequate water meter locations (100mm or larger, room adjacent to an exterior wall, 50mm or less, label water meter location) where services enter building. If static pressure exceeds 550 kPa install pressure reducing device after meter.
53. Maintain a 3.0m separation between Enmax facilities (power poles, light standards, transformer pads, catch basins, etc.) with the proposed water service.
54. Review with Fire Prevention Bureau at 403-815-1114 for on-site hydrant coverage and Siamese connection location(s). A site servicing (hydrant location plan) stamped by the Fire Prevention Bureau is to be submitted at the Development Site Servicing Plan stage. Principal entrance(s) are to be labeled on the plan.
55. Redundant services are to be disconnected at the source and new service installed at the owners expense.
56. Each unit must be individually metered.
57. Each titled parcel must have separate (direct) service connections to public mains.
- For further information, contact Utility Specialists at:
WA-ResourcesDevelopmentApprovals@calgary.ca OR 403-268-2693 OR
jennifer.derbywagner@calgary.ca.
58. Ensure that the water service separation from the foundation wall or piles is:
- 4.0m (100mm service or larger), or
 - 3.0m (50mm service or smaller), or
 - 2.0m when the foundation wall or piles extends vertically a minimum of 2.0m below the invert of the water pipe.
59. The applicant must apply for water and sewer connections as per City Standards.
60. The allowable stormwater run-off coefficient shall be 50 L/s/ha.
61. Surface ponding (trapped lows) should be designed to contain all the flow generated from the 100 year storm events.
62. Where possible, discharge of roof leaders should be directed onto grassed or pervious areas to help reduce the volume of runoff. Alternatively, the roof leaders may be directed to the on-site storm sewer system.
63. Controlled stormwater discharge is required for the subject site.
64. All on-site sewers are to be designed to City of Calgary specifications.

65. Ensure elevations of building slab and/or any building openings are 0.3m minimum above trap low spill elevations or the 100 year elevation, whichever is higher. The minimum grade within the lot adjacent to trap low must be 0.3m higher than the 1:100 year elevation in the trap low or spill elevation, whichever is higher. This minimum grade must be achieved within a 6.0m distance from the common property line of the lot and the road right-of-way.
66. Storm Redevelopment Fees (\$84 / m frontage) will be required at the service connection stage.
67. Stormwater emergency escape routes must be to a public roadway.
68. Locate any / all services and / or utilities in the field.

Coordinate with the utility owner(s) for the removal and/or relocation of existing utilities located within the subject parcel or the registration of an easement, or utility right of way for the protection of the utilities. All of the above is contingent to the satisfaction of the affected utility owner(s).

69. Any / all tree planting proposed to be located within road rights of way shall require a line assignment from Utility Line Assignments. This application consists of a letter, on letterhead, requesting approval to plant trees in the boulevard and six (6) scaleable landscape plans (1:250 or 1:500 preferred) indicating the following information:
 - a. Property lines
 - b. Curb/sidewalks
 - c. Species and caliper of proposed trees (evergreen and poplar trees are not permitted in boulevards)
 - d. Existing features (streetlight poles, hydrants, existing trees, utilities, etc.)
 - e. Dimensions from property line to all of the above features

Include the Development Permit number in your letter. Shrub and flowerbeds are not permitted in City boulevards. Due to the number of applications reviewed by this office, it will typically take two weeks for a response. The letter can be addressed to the Supervisor, Utility Line Assignments, 6th floor, 800 Macleod Trail SE, Calgary, Alberta T2P 2M5, Location #8026. Alternatively, the required information can be submitted to the ULA Support email as a PDF at ulasupport@calgary.ca.

For further details, contact ulasupport@calgary.ca.

70. For questions and concerns regarding waste storage facilities, refer to the Development Reviews: Design Standards for the Storage and Collection of Waste, found at:

<http://www.calgary.ca/UEP/WRS/Pages/Commercial-Services/Development-Permits-Waste-Recycling.aspx>

Garbage, recyclable materials and food and yard (organics) waste and recycling storage and/or collection areas shall be maintained and clear of snow and ice.

Secondary suites may not be eligible to receive a separate set of waste and recycling containers from The City of Calgary. Suites are expected to share the waste storage with the associated primary dwelling unit.

71. As advised by the Calgary Emergency Management Agency (CEMA):
- a. CEMA recommends that the design and construction of future structures strategically consider and mitigate, as best as possible, the impacts on the infrastructure and/or property in the event of a flood, where this parcel is in the 1:100 flood inundation level and therefore may be potentially affected overland flooding in the future.
 - b. CEMA encourages the consideration of all hazards, specifically relevant to Calgary (see Calgary's Disaster Risk Report 2022 for reference), and those in direct proximity to this parcel (freight rail corridor), as part of the design process to ensure Calgary's resilience.
 - c. The National Institute for Building Sciences Natural Hazard Mitigation Saves Report (2019) and Canada's Emergency Management Strategy (2021) speak to an average return on investment of 6:1 for every dollar spent on mitigation efforts. Where possible, build above minimum building code requirements to ensure this community is more resilient to impacts from severe weather events.
- Note:
For further details, contact CEMA at michelle.feragen@calgary.ca OR 403-268-8850.
72. Ensure that development services (water, sanitary and storm) will not conflict with trees.

Mobility Engineering

73. The locations and design of driveways must be approved by Development Engineering. New driveways including driveway modifications, removal and rehabilitations of unused driveway crossings or relocations, sidewalks, wheelchair ramps, and lane paving must be constructed to City standards at the developers expense. Obstructions such as storm catch basins, hydrants, power poles, etc., must be relocated to City standards at developers expense.
74. Garage aprons / parkade access / loading areas / parking stalls at rear must tie to the existing lane grades. Lane grades will be provided on the grade slip issued by Development Servicing. It is the responsibility of developer, contractor, or homeowner to set the elevations of the garage slab based on the lot grading and to ensure that garage is operationally accessible and that it ties to established land grades. Lane grades are not to be altered without the approval of Roads.
75. The City does not grant approval for the placement of underground irrigation sprinkler systems in City owned lands or boulevards that are adjacent to the development site and are installed at the developers risk. The City of Calgary will not assume liability or responsibility for repair or replacement in event it has been damaged or destroyed during construction on City owned lands or boulevards by city workers or its authorized contractors.

76. In accordance with the [Encroachment Policy \(9M2020\)](#) adopted by Council on March 16, 2020 , encroachments of retaining walls, planters, entry features, building projections, etc. are not permitted to extend into the City right-of-way. New encroachments that are a result of this development are to be removed at the developers expense. Encroachments are subject to approval by the Encroachment Administrator, Real Estate & Development Services.
77. The development site is located within a residential parking zone as defined by the City of Calgary Traffic By-law and, as such, no long term non-residential parking is permitted on-street.
78. In keeping with the principles of Crime Prevention Through Environmental Design (CPTED), landscaping and fencing materials adjacent to pedestrian routes are to be of a height that minimizes potential hiding places and maximizes visual surveillance of the pedestrian route.

FILE: DP2024-07897

DATE RECEIVED: March 31 2025

Bylaw Discrepancies		
Regulation	Standard	Provided
535 Building Depth and Separation	(1) Unless otherwise referenced in subsections (2) and (3) the maximum building depth is 65.0% of the parcel depth for a building containing a unit.	Plans indicate the building depth for Building 2 as being 77.20% (+12.20%) or 30.54m (+4.84m). Note: Section 535(2) cannot be applied as the development does not comply with building separation. • Relaxation Granted
Permitted Contextual Use Rules		
Regulation	Standard	Provided
<i>N/A as per Section 347.1(5) A Contextual Semi-detached Dwelling must not be located on a parcel that contains more than one main residential building.</i>		

- Relaxation granted as for the purposes of this application, 17 Street NE is considered a back lane; therefore, no setback requirements apply.



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Reasons for Decision for DP2024-07897

The Reasons for Decision document is intended to provide a short summary of the development permit process; response to concerns raised by neighbours, other affected parties and the Community Association; and rationale for any relaxations of the Land Use Bylaw granted by the Development Authority. Only the approved plans and conditions of approval are the subject of an appeal.

Scope and Process

Development Scope:

The application is for a Semi-detached Dwelling (2 buildings), Secondary Suite (4 suites), Accessory Residential Building (garage) located at 1614 16A St SE in the community of Inglewood. The site is surrounded by low-density residential development to the north, south and west with Multi-Residential Development to the east. Primary vehicular access is from 17 St SE.

Circulation and Notice Posting:

The following referees were circulated:

- Ward 9 Office – I don't love that we're treating 17th St SE as an alleyway. Some frontage / eyes on the street should be mandatory. 17th St Se should be a frontage.
- Inglewood Community Association - The Inglewood Planning Committee has reviewed the application regarding the Development Permit DP2024-07897 and hereby submit our objections to this permit. Both the Municipal Development Plan (MDP) and the Inglewood Area Redevelopment Plan (IARP) direct densification as to be compatible and sensitive to the community in mid-block in low-density areas. The relevant policies are:
 MDP Policy. Section 2.2.5, Strong Residential Neighbourhoods, encourages growth and change that is similar in scale and built form. Section 2.3.2a, Respecting and Enhancing Neighbourhood Character, requires that development respect the existing character of low-density residential areas. Section 2.3.2b, ensures that there is an appropriate transition in development intensity, uses and built forms between low-density areas and more intensive multi-residential areas. Section 2.3.2c, ensures that new development complements the established character of the area and does not create dramatic contrasts in the physical development pattern.
 ARP Policy. Section 2.3.2 States the new development should respect the surrounding housing and contribute to an attractive streetscape. Section 2.3.6. Talks about increasing density intensity up to 30 units/acre (74 units/ha) at sites “not surrounded by existing development”. This application far exceeds that limit at 144 units/ha. Section 2.4.6. Addresses redesignation conditions deemed inappropriate where new development is completely surrounded by lower



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density housing. The Inglewood Community Association submits that DP2024-07897 does not take into consideration any of these policies. The “proposed development does not complement the established character of the area and creates a dramatic contrast in physical development patterns to what is found in the area.”¹ Further the “intensification of the proposed mid-block development compared with the neighbourhood is insensitive to the surrounding area; noncompliant with section 2.2.5 of the MDP”¹ and multiple sections of the ARP. As to the density of the project it has been ruled that although development meets the requirements under a Land Use District that a proposed development can be “just too large for the parcel and is not sensitive to and is not compatible with the existing housing on the block” Lastly, we are concerned with the increased density combined with the lower parking ratio and the effect it will have on the daily lives of current and future residents. The cumulative affects already seen along 17th St will present challenges that we do not feel have been addressed.

- ENMAX – Provided comments, Letter of ‘no conflict’.
- Utility Engineering – Comments provided in Detailed Team Review.
- Mobility Engineering – Comments provided in Detailed Team Review.
- Community members – Four comments from community members in opposition due to the lack of parking, massive of the building, number of dwelling units, amount of waste and recycling bins, increasing of the traffic in the area. Overshadowing, height of the building.

Notice Posting:

In keeping with Administration’s standard practices and the notice posting requirements of the Land Use Bylaw, stakeholders were given the opportunity to comment online through the Planning and Development Map or by contacting the file manager directly by mail, phone, or email. The application was originally posted on site for 7 days beginning January 8th, 2025.

Administration received responses in opposition from 5 parties regarding the application, all of them in opposition. They had the following concerns:

1. Building massing and height;
2. Density and privacy concerns;
3. Excessive lot coverage and shadowing;
4. Increase in traffic in the area;
5. Traffic and parking issues;

Administration considered the comments received through the circulations and notice posting within the review. In response the applicant was asked to proactively reach out to the Community Association, nearby neighbours and the Ward Councillor's Office for their feedback on the proposal and submit an Applicant Outreach summary explaining what community outreach efforts were undertaken. A bylaw check indicates compliance with parking requirements.



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Comments on Relevant City Planning Policies

Municipal Development Plan (MDP) (2009- Statutory)

The subject site is classified as a Developed Residential Area and is identified as part of the Inner City, as shown in Map 1: Urban Structure of the Municipal Development Plan. The specific policies related to this classification are outlined in Section 3.5, Subsection 3.5.1 of the Plan.

The general policies for Developed Residential Areas include:

- Development within predominantly multi-family areas should be compatible with the established development pattern and take the following elements into consideration:
- Appropriate transitions between adjacent areas.
- A variety of multi-family housing types to meet the diverse needs of current and future populations.

For Inner City areas, key policy is outlined as follows:

- Sites within the Inner-City Area may intensify, particularly in transition zones adjacent to areas designated for higher density (i.e., Neighbourhood Main Street), or if the intensification is consistent and compatible with the existing character of the neighbourhood. Transition zones should be identified through a subsequent planning study.

The proposed development is aligned with the MDP policies.

Inglewood Area Redevelopment Plan – Statutory

The subject parcel is located within a Residential area in the Inglewood Area Redevelopment Plan (ARP). The ARP supports residential development projects within the community, provided they align with its policies.

This policy encourages low to medium density townhousing; however, many sites may only be appropriate for detached housing while other sites (generally those not surrounded by existing development) may be able to accommodate higher density apartment housing. To encourage a variety of housing type, medium density (up to 40 upa) low to medium profile residential projects may be considered on a limited basis, where unique site and edge conditions merit an alternate approach to the typical block-lot configuration.

In Inglewood sensitively designed infill development will be valuable to maintain the overall quality of the housing stock, increase the population and provide variety in available housing. It should however respect the existing development.

The proposed development is aligned with the LAP policies.

Land Use Bylaw 1P2007 – Statutory

SDAB2025-0066



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The subject parcel is located within the Residential – Grade-Oriented Infill (R-CG) district, which is a low-density residential district designed to accommodate a variety of grade-oriented housing types with ground-level entry. It provides flexible parcel dimensions and building setbacks that facilitate the integration of new developments. Duplex and Semi – detached Dwelling, however, are considered a discretionary use in the R-CG district.

The proposed development is aligned with the LUB policies

Bylaw Discrepancies

Regulation	Standard	Provided
535 Building Depth and Separation	(1) Unless otherwise referenced in subsections (2) and (3) the maximum building depth is 65.0% of the parcel depth for a building containing a unit.	Plans indicate the building depth for Building 2 as being 77.20% (+12.20%) or 30.54m (+4.84m). Note: Section 535(2) cannot be applied as the development does not comply with building separation. <ul style="list-style-type: none"> • Relaxation Granted

Planning Review

Administration has reviewed the proposed development in accordance with the rules and intent of the 1P2007 Land Use Bylaw, as well as its appropriateness within the neighborhood context. The proposal aligns with the Municipal Development Plan and complies with the existing land use district. The proposed use is accommodated in the existing zoning of the current land use bylaw and meets Land Use Bylaw requirements. A Building Depth relaxation has been proposed to accommodate the amenities and provide proper size to the units. Based on these considerations, Administration supports this application and recommends approval to the Development Authority.



APPLICATION FOR A DEVELOPMENT PERMIT
LAND USE BYLAW NO 1P2007

545956862-001
Taken By:

Application Date Nov 6, 2024

APPLICATION NO DP2024-07897

I/We hereby make application for a Development Permit under the provisions of the Land Use Bylaw in accordance with these plans and supporting information submitted herewith and which form part of this application.

Total Fees: \$1,246.00

Cart #:

Applicant: **SUBURBIA DESIGNS CO.**
Address: **3901 EDISON CR SW**
City: **Calgary, Alberta, T2G5M8**
Phone:

Parcel Address: **1614 16A ST SE**
Legal: **1593O;R;5,6**
Building Address: **1614 16A ST SE**
Legal:

L.U.D.: **R-CG**

Community: **INGLEWOOD**
Sec. Number: **13C** Ward: **09**

Description: **New: Townhouse Building (2 buildings), Secondary Suite (4 suites), Accessory Residential Building (garage, storage unit)** Gross Floor Area: 2897 feet - squared
Dwelling Units: 4

Proposed Development is: **Discretionary**
Proposed Use: **Townhouse**
Accessory Residential Building
Secondary Suite

I agree to receive correspondence via electronic message related to this application.

By signing below, I confirm that the contact information provided above is accurate and further, acknowledge the ability of the General Manager - Planning and Development to inactivate and cancel incomplete applications.

Applicant / Agent Signature: _____ Date: _____

The personal information on this form is being collected under the authority of The Municipal Government Act, Section 640, and The City of Calgary Land Use Bylaw 1P2007 (Part 2) and amendments thereto. It will be used for the permit review and inspection processes. It may also be used to conduct ongoing evaluations of services received from Planning, Development & Assessment. The name of the applicant and the nature of the permit will be available to the public. Please send inquiries by mail to the FOIP Program Administrator, Planning, Development & Assessment, PO Box 2100, Station M, Calgary, AB T2P 2M5 or contact us by phone at 311.



Development Permit Complete Application Requirement List

Addition or New Multi-Residential Building:

Three or more unit development in a Multi-Residential, R-CG or H-GO Land Use District

The following **Development Permit Complete Application Requirement List** outlines all of the information necessary to evaluate and provide a timely decision on your application. Only applications that are complete will be accepted. Applications and materials submitted must be clear, legible and precise. Plans submitted must be to a professional drafting standard. All plans must be clear of any previous approval stamps and/or notations. Please review the **Processing Times and Deemed Refusal** section.

NOTE: Building and Development Permit applications must be submitted without personal information on any plans. Omitting this information will protect builders and tenants by reducing the risk of any personal information being wrongfully displayed, while also following the Province of Alberta's FOIP Act. Failure to follow this requirement may result in an incomplete application. If you consider the information to be personal, do not put it on the plans.

The Development Authority may require additional material considered necessary to properly evaluate the proposed development (as stated in Part 2, Section 26(3) of the Land Use Bylaw 1P2007).

Processing Times and Deemed Refusals

Applicants are advised of their option under the Municipal Government Act to treat their application as being refused if the Development Authority fails to make a decision within 40 days of the application being accepted by the Development Authority, or at the expiry of an extended review timeframe specified by a time extension agreement between the Development Authority and Applicant. [Time extension agreements](#) must be initiated by the Applicant.

To exercise the "deemed refusal" option, an appeal to the Subdivision and Development Appeal Board must be filed within 14 days of the latest specified date for the review, or the right to an appeal is lost until such time as a decision is rendered on the application by the Development Authority.

SECTION 1: Applicant Details

Property Owner Representing Owner

Applicant's Name:
Peter Condic

Company Name (if applicable):
Suburbia Design Co. Ltd.

Applicant's Email:

Applicant's Phone Number (during business hours):

NOTE: Correspondence and approval notification will be sent to only the applicant

SECTION 2: Project Details

Project Address: 1614 16A STREET SE

Cumulative gross floor area:	<input type="checkbox"/> Addition	2897	<input checked="" type="checkbox"/> ft ² <input type="checkbox"/> m ²
	<input checked="" type="checkbox"/> New Building		
New dwelling units created:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	If yes, number of new dwelling units: 4 + 4 SUITES	

SECTION 3: Application Requirements for Development Approval (Development Permit)**Supporting Documents**

- A. A copy of the current **Certificate(s) of Title**
- B. Current copies of any **Restrictive Covenants, Utility Rights-of-Way, Easements, or City Caveats** registered on the Title(s)
- C. **A Letter of Authorization*** from the registered owner of the land, their agent, or other persons having legal or equitable interest in the parcel.
*You may use this [sample letter of authorization template](#) or you can provide your own letter, but it must contain all information indicated on the sample letter

<p>D. Colour Photographs (minimum of four different views, label and identify each photographs)</p> <ul style="list-style-type: none"> ▪ Site from front and rear ▪ Two adjoining parcels on either side ▪ Unique features and aspects of significance to development of the parcel ▪ Details of curbs, driveways, sidewalks, waste enclosures and overhead poles ▪ Indicate on a key plan or the site plan, the direction and location of photos
<p>E. Development Permit fee (Fee Schedule)</p>
<p>F. Completed Site Contamination Statement</p>
<p>G. Completed Public Tree Disclosure Statement If public trees are identified one additional site plan may be required</p>
<p>H. Completed Abandoned Well Declaration</p>
<p>I. Completed Use Questionnaire *This is only required if there is a Commercial Use being proposed within the building or addition</p>
<p>J. Completed Climate Resilience Inventory form</p>
<p>K. Applicant's Submission Planning Analysis (recommended)</p> <p>The purpose of the Planning Analysis is to provide key information about the project; information that cannot be communicated in a set of plans (i.e. the thought process behind the proposal). This information will reduce the number of conditions in the first Detailed Team Review form and speed up the application processing time. Where relevant, the Planning Analysis will be circulated to the Community Association for comment as part of the development permit circulation process.</p> <p>While this is not a mandatory requirement, we strongly encourage applicants to provide this key information.</p> <ul style="list-style-type: none"> ▪ Provide an explanation of the proposal/project and how it fits with the surrounding context ▪ Describe how the landscaped areas and amenity spaces are configured and programmed. For small residential developments refer to the Landscape Design Guide for Small Residential Sites ▪ Identify and provide rationale for any variation from the relevant City of Calgary policies ▪ identify and provide rationale for any proposed relaxations to the Land Use Bylaw
<p>Renderings</p>
<p>L. Rendering or Elevation for Notice Posting</p>
<p>At least one (1) rendering matching the specifications below, OR one (1) elevation of the proposed development Note: the purpose of this is to include a visual for the notice posting and is encouraged. This is discretionary upon discussions between the file manager and the applicant.</p>
<p>1 Perspective:</p> <ul style="list-style-type: none"> ▪ For single-building projects, the view must be: <ul style="list-style-type: none"> ▪ From the perspective of the sidewalk across the street from the subject site's primary frontage ▪ From the perspective of the midpoint of the subject site's primary street frontage ▪ At a 90-degree angle, perpendicular to the sidewalk, and ▪ From the perspective of 1.5 metres (average human eye-level) above the sidewalk; OR ▪ For multiple building projects, the rendering: <ul style="list-style-type: none"> ▪ Should be from an aerial angle; and ▪ Must show the entire project area.
<p>2 Depiction must:</p> <ul style="list-style-type: none"> ▪ Match site plans, landscape plans, and elevations with no removed nor additional items ▪ Depict the exterior finishing materials of all parts of proposed and existing neighbouring buildings depicted accurately, including freestanding signs, and retaining walls visible in the frame <ul style="list-style-type: none"> ▪ Views through clear windows for proposed buildings may depict interiors, blinds, or curtains ▪ Views through clear windows for neighbouring buildings must be of blinds or curtains ▪ Depict the landscaping and paving materials of all landscaped and paved areas visible in the frame ▪ Depict trees and shrubs ▪ Not depict people nor vehicles; and ▪ Have the lighting of September 21 at 4:00pm.
<p>3 Technical Requirements:</p> <ul style="list-style-type: none"> ▪ Be 2431 pixels in width by 2243 pixels in height, landscape view; and ▪ Be a Portable Graphics (.PNG) file.

Plans (preferred scale is Metric 1:100 or Imperial ¼" = 1'0")
NOTE: Plans must be uploaded as one complete drawing set. Plans should not be uploaded as separate documents.
M. One (1) copy of a Site Plan
Your Site Plan should include the following:
1. North arrow , pointing to top or left of page
2. Municipal address (i.e. street address) and legal address (i.e. plan/block/lot)
3. All elements of plan labelled as existing or proposed
4. Plot and dimension property lines: <ul style="list-style-type: none"> ▪ Label existing and proposed ▪ Label parcel area in square meters
5. Easements, Utility Rights-Of-Way: <ul style="list-style-type: none"> ▪ Dimension (width, depth and location) ▪ Label type of easement and registration number)
6. Utilities on and adjoining the parcel (deep, shallow and overhead): <ul style="list-style-type: none"> ▪ Water, storm and sanitary sewer ▪ Gas ▪ Electrical ▪ Cable, telephone
7. If an abandoned gas or oil well is identified on the site , indicate the necessary setback area for each well
8. Plot Rights-of-Way setback lines required in Section 53, Table 1: <ul style="list-style-type: none"> ▪ Dimension depth of Rights-of-Way ▪ Dimension distance from Rights-of-Way to building
9. Floodway, Flood Fringe and Overland Flow: <ul style="list-style-type: none"> ▪ Indicated on the Floodway/Flood Fringe maps [Section 3 (c) & (d)] ▪ Dimension distance to buildings and structures
10. Adjacent to parcel: <ul style="list-style-type: none"> ▪ City streets, label street names ▪ Sidewalks, City and public paths (Regional Pathway System) ▪ Curb cuts, medians and breaks in medians ▪ Existing and proposed pedestrian crosswalks ▪ Bus zones and bus shelters (including signage & route number) ▪ Light standards, utility poles, street signage, street furniture ▪ Paid parking equipment (parking meters, ticket dispensers, Pay-and-Display)
11. Provide Land Use Designation of adjacent parcels (Land Use Designation can be found at calgary.ca/myproperty)
12. Dimension to property line: <ul style="list-style-type: none"> ▪ Back of sidewalk and curb ▪ Lip of gutter ▪ Width of sidewalk and public paths (Regional Pathway System)
13. Parcel Setbacks: <ul style="list-style-type: none"> ▪ Dimension front, side and rear building setbacks from property lines ▪ Draw, label and dimension required setback areas (as prescribed in the Land Use Bylaw)
14. Parcel and building coverage: <ul style="list-style-type: none"> ▪ Calculate area of each building (include all covered structures)
15. Location of all: <ul style="list-style-type: none"> ▪ Catch basins ▪ Utility poles ▪ Guy wires/pole anchors ▪ Hydrants, utility fixtures or boxes ▪ At-grade mechanical equipment (parkade vents, air conditioning)
16. Corner parcels only: <ul style="list-style-type: none"> ▪ Outline and dimension corner visibility triangle
17. Geodetic datum points/contours:

<ul style="list-style-type: none"> ▪ All the corners of the parcel ▪ At the back of sidewalk or curb ▪ At primary corners of the building ▪ geodetic contours at 0.5 metres intervals including berming forsite ▪ label existing and proposed geodetic datum points
<p>18. Outline and dimension buildings:</p> <ul style="list-style-type: none"> ▪ Projections and structures (bay windows, cantilevers, deck, window wells) ▪ Detached buildings and structures (sheds,garages) ▪ Mobility storage lockers ▪ Mechanical equipment (parkade vents, airconditioners) ▪ Label existing and proposed buildings (or portions of buildings) ▪ Location of all openings (windows, doors, overhead doors) ▪ Label use area within the building (tenant locations) ▪ Label uses to be located in each use area (see uses listed under Use CARLs)
<p>19. Gross Floor Areas (GFA is the total area of all above-grade floors)of:</p> <ul style="list-style-type: none"> ▪ Proposed and existing buildings ▪ Each distinct use area in buildings (tenant location) ▪ Calculate Floor Area Ratio (FAR) (GFA divided by Parcel Area)
<p>20. Density:</p> <ul style="list-style-type: none"> ▪ Calculate number of existing and proposed units ▪ Calculate the density in units per hectare (UPH) (Units divided by Parcel Area)
<p>21. Parking areas, drive aisles and circulation roads:</p> <ul style="list-style-type: none"> ▪ Include curbs and sidewalks ▪ Crosswalks (provide detail if raised) ▪ Speed bumps (provide detail) ▪ Label all surface material of areas accessible by motor vehicles ▪ Dimension widths of all aisles and roads ▪ Provide details on vehicle circulation (direction of travel, signage and fire lanes)
<p>22. Waste and collection and loading areas:</p> <ul style="list-style-type: none"> ▪ Details of garbage, recycling, and organics containers (i.e. method of collection, types, size and volume) ▪ Types of waste containers on site ▪ Volume of waste containers ▪ Waste storage area location and dimensions; including geodetic elevations at all corners and grades of the collection area ▪ Screening or enclosure details and dimensions ▪ Sweep paths for collection vehicles and dimensions of clearance ▪ Vehicle weight supported in collection area (minimum 25,000kg) ▪ Refer to the Development Reviews Design Standards for the Storage and Collection of Waste
<p>23. Firefighting Access</p> <ul style="list-style-type: none"> ▪ Sweep paths for the firefighting vehicle access route and dimensions of clearance ▪ Indication that the fire access route is designed to a 12.0 metre centerline of the roadway turning radius ▪ Vehicle weight supported in firefighting vehicle access route (minimum 38,556kg (85,000 lbs)) ▪ Grades of the firefighting vehicle access route ▪ Indication that the access is designed to support the NFPA 1901 point load of 517kPa (75 psi) over a 24" by 24" area which corresponds to the outrigger pad size ▪ Any lockbox location, firefighting service connection, and alarm panel locations ▪ Refer to the Fire Department Access Standard
<p>24. Motor vehicle parking stalls:</p> <ul style="list-style-type: none"> ▪ Label as Commercial, Dwelling, Live/Work or Visitor ▪ Total each type of motor vehicle parking stall by use ▪ Dimension width and depth ▪ Dimension overhead clearance ▪ Dimension column size and distance between columns ▪ Dimension angle or parking stall (if less than 90 degrees) ▪ Location and size of wheel stop (provide next to sidewalk) ▪ Provide calculations for motor vehicle parking stall requirement by use
<p>25. Driveways:</p> <ul style="list-style-type: none"> ▪ Label proposed or existing

	<ul style="list-style-type: none"> ▪ Label curb cuts to be removed and rehabilitated ▪ Dimension length from back of curb or sidewalk ▪ Dimension width of driveway at throat and flare (adjacent to street) ▪ Dimension distance to adjoining driveways
26.	<p>Parking and loading area geodetic grades:</p> <ul style="list-style-type: none"> ▪ Driveways grades and parkade ramp grades ▪ Detail any areas over 2 per cent slope
27.	<p>Bicycle parking:</p> <ul style="list-style-type: none"> ▪ Location of bicycle parking stall - class 1 (secure) and class 2 (un-secure) ▪ Label surface material of bicycle parking stalls ▪ Dimension separation to surrounding structures ▪ Dimension separation of devices (bike racks) and rows of devices ▪ Dimension of bicycle parking area ▪ Location of signage related to bicycle parking ▪ Cross reference to a detail drawing (for each type of parking device) ▪ Total each type of bicycle parking stall (class 1 or class 2) ▪ Calculate bicycle parking stall requirement
28.	<p>Internal sidewalks:</p> <ul style="list-style-type: none"> ▪ Label surface material ▪ Dimension height from grade or parking areas ▪ Dimension width
29.	<p>Fencing:</p> <ul style="list-style-type: none"> ▪ Label height (include height of retaining walls) ▪ Cross reference to an elevation (for each type of fence)
30.	<p>Retaining walls:</p> <ul style="list-style-type: none"> ▪ Label height (provide height of fences on top of wall) ▪ Provide geodetic datum points at top and bottom of wall ▪ Cross reference to elevation (for each wall) ▪ If one metre in height or higher, provide engineered, stamped structural design drawings, including cross-sections ▪ Provide geodetic datum points of grade on each side of the wall <p>NOTE: height of retaining wall measured as the vertical difference between the ground levels on each side of the wall)</p>
31.	<p>Lighting:</p> <ul style="list-style-type: none"> ▪ Plot locations of light fixtures and light standards ▪ Plot maximum wattage of fixtures ▪ Provide detail of light fixtures (drawing or specification) <p>NOTE: Site lighting plan, showing compliance with Part 3, Division 4 of Bylaw 1P2007, may be requested during the review of this application.</p>
32.	<p>Signage:</p> <ul style="list-style-type: none"> ▪ Outline and label the location of all proposed canopy, fascia and freestanding signage (for all other types of signage, obtain the appropriate requirement list for that sign) ▪ Label the source of power for the signage (underground, etc.) ▪ Plot location of all existing signage on the parcel ▪ Dimension distance from property lines to signage ▪ Dimension distance to all freestanding signs on the parcel or within 30 metres of the parcel
33.	<p>Phasing for multi-building developments must be included:</p> <ul style="list-style-type: none"> ▪ Outline areas encompassed by each phase ▪ Label the sequence of phasing
N.	<p>One (1) copy of a Landscaping Plan(s) (landscaping and site plans may be combined provided all elements of the plan are clear and legible)</p>
<p>Note: for small residential development, refer to Landscape Design Guide for Small Residential Sites</p>	
<p>Your Landscaping Plan should include the following:</p>	
1.	North arrow , pointing to top or left of page
2.	Municipal address (i.e. street address) and legal address (i.e. plan/block/lot)
3.	All elements of plan labelled as existing or proposed

4.	Plot and dimension property lines
5.	Draw, label and dimension required setbacks
6.	Easements, Utility Rights-Of-Way: <ul style="list-style-type: none"> ▪ Dimension (width, depth and location) on or abutting the parcel ▪ Label type of easement and registration number)
7.	Utilities on and adjoining the parcel (deep, shallow and overhead): <ul style="list-style-type: none"> ▪ Water, storm and sanitary sewer ▪ Gas ▪ Electrical ▪ Cable, telephone
8.	Corner parcels only: <ul style="list-style-type: none"> ▪ Outline and dimension corner visibility triangle
9.	Geodetic datum points/contours: <ul style="list-style-type: none"> ▪ All the corners of the parcel ▪ At the back of sidewalk or curb ▪ At primary corners of the building ▪ Geodetic contours at 0.5 metres intervals including berming for site ▪ Label existing and proposed geodetic datum points
10.	Outline and dimension buildings: <ul style="list-style-type: none"> ▪ Include projections and structures (bay windows, cantilevers, deck, window wells) ▪ Include detached buildings and structures (sheds, garages) ▪ Include mechanical equipment (parkade vents, air conditioners) ▪ Label existing and proposed buildings (or portions of buildings)
11.	Outline and dimension all at grade amenity spaces (including courtyards): <ul style="list-style-type: none"> ▪ Label amenity space as private or common ▪ Indicate the associated unit and/or suite for each private amenity space ▪ Indicate access to amenity spaces ▪ Indicate surface treatment or surface materials ▪ Indicate how the common amenity spaces will be used (seating, dining areas, play areas, urban agriculture, etc.)
12.	Plot and label: <ul style="list-style-type: none"> ▪ Fencing, retaining walls, sidewalks (dimension width) ▪ Waste storage areas and screening
13.	Trees and shrubs <ul style="list-style-type: none"> ▪ Plot location of trees by symbol (each symbol should be unique to size and type of tree) ▪ Plot shrubbed areas ▪ Label number of shrubs in each shrubbed area (only include shrubs greater than 0.6 metres in height or spread) ▪ Indicate trees and shrubs to be added, removed or retained
14.	Landscape legend: <ul style="list-style-type: none"> ▪ Label by symbol (each symbol should be unique to size and type of tree and shrub) ▪ Provide species ▪ Provide caliper of deciduous trees ▪ Provide height of coniferous trees ▪ Provide height and spread of shrubs (greater than 0.6 metres) ▪ Provide total of each type of tree and shrub (by height and size)
15.	Landscaped area: <ul style="list-style-type: none"> ▪ Surface treatment of all soft surfaced landscaped areas (e.g. grass, plant cover) ▪ Surface treatment of all hard surfaced landscaped areas (e.g. decorative pavers, brick, stamped concrete) ▪ Label surface material of bicycle parking area ▪ Curb details to separate landscaping ▪ Label new landscaped areas and areas to be retained
16.	Irrigation: <ul style="list-style-type: none"> ▪ Method of irrigation (specify if using Low Water Irrigation System) ▪ Label all soft surface landscaping to be irrigated or plot specific areas (zones)
17.	Provide Land Use Designation of adjacent parcels (Land Use Designation can be found at calgary.ca/myproperty)
18.	If a landscape area reduction, listed in Section 553 of the Bylaw, is being requested , clearly indicate which reduction is being applied for and provide any additional information required by Part 6 of the Bylaw.

<p>19. If trees are existing on public lands adjacent to the site:</p> <ul style="list-style-type: none"> ▪ Specify the species of each tree (e.g. Green Ash, Colorado blue spruce, American Elm). Note that identification of deciduous or coniferous is not sufficient. If you require assistance in identifying the species of a tree, call 311 to obtain additional information. ▪ Diameter of each tree, measured at a height of 1.4 metres above the ground ▪ Estimated mature height of each tree (e.g. less than 3 metres, 3-6 metres, 6-9 metres, etc.) ▪ Location of the centre point of the trunk of each tree ▪ Outline of the “drip line” of each tree (i.e. the outline of the outer reach of the branches of the tree)
<p>O. On M-CG, M-C1 and M-C2 designated parcels, provide one (1) copy of Block Plan(s) (block and site plans may be combined provided all elements are clear and legible)</p>
<p>Your block plans should include the following:</p>
<p>1. North arrow, pointing to top or left of page</p>
<p>2. Municipal address (i.e. street address) and legal address (i.e. plan/block/lot)</p>
<p>3. All elements of plan labelled as existing or proposed</p>
<p>4. Plot and dimension property lines</p>
<p>5. Outline subject parcel</p>
<p>6. Draw, label and dimension required setbacks</p>
<p>7. Outline and dimension all buildings:</p> <ul style="list-style-type: none"> ▪ Eaves, porches, projections and exterior walls ▪ Plot location of exterior openings (windows, doors, overhead doors) ▪ Label geodetic datum of roof peak of adjacent buildings
<p>8. Adjacent parcels:</p> <ul style="list-style-type: none"> ▪ Indicate two parcels on either side of the subject parcel that are located on the same block face (total of four parcels) ▪ If there are fewer than two parcels on either side of the subject parcel, provide all the parcels on the block face ▪ Where a building is on a corner parcel, the block plan should extend to include the parcels on both streets within the block. ▪ If there are no buildings located on the parcels adjoining the subject parcel, plot all parcels to the closest two parcels with buildings contained in the block face (including the parcels containing the buildings)
<p>9. Provide Land Use Designation of adjacent parcels (Land Use Designation can be found at calgary.ca/myproperty)</p>
<p>P. One (1) copy of Floor Plan(s)</p>
<p>Your floor plans should include the following:</p>
<p>1. Municipal address (i.e. street address) and legal address (i.e. plan/block/lot)</p>
<p>2. All elements of plan labelled as existing or proposed</p>
<p>3. Outline and dimension walls:</p> <ul style="list-style-type: none"> ▪ Include exterior dimensions (dimension to centre line of common walls) ▪ Plot location of interior and exterior openings (windows, doors, overhead doors) ▪ Internal motor vehicle, bicycle parking, mobility storage, loading and waste collection facilities (see site plan requirements) ▪ Label use in each use area (tenant space) ▪ Label the purpose of spaces (e.g. Kitchen, living room, bathroom, interior/exterior stairways, mechanical rooms, meter room, corridors, washrooms, laundry facilities) ▪ Label private and common amenity spaces on balconies and rooftop terraces ▪ Label existing and proposed rooms and portions of the building ▪ Label units as dwelling units, live/work units or secondary suites
<p>Q. One (1) copy of Elevation(s)</p>
<p>Your elevations should include the following:</p>
<p>1. Municipal address (i.e. street address) and legal address (i.e. plan/block/lot)</p>
<p>2. All elements of plan labelled as existing or proposed</p>

3. Include elevations for:	<ul style="list-style-type: none"> ▪ Buildings ▪ Fences ▪ Retaining walls (over 0.6 metres in height) ▪ Waste collection facilities ▪ Screening (e.g. Service meters, privacy screens, mechanical equipment) ▪ Additional walls or structures (e.g. Exhaust fan shed) ▪ Cross reference with other plans, where applicable
4. Include on elevations:	<ul style="list-style-type: none"> ▪ Doors, windows, overhead doors ▪ Projections, service meters, decorative elements, rooftop equipment ▪ Screening (e.g. Service meters, rooftop equipment, privacy screens) ▪ Dimension all doors, windows and overhead doors
5. Label finishing materials:	<ul style="list-style-type: none"> ▪ Exterior materials (brick, stucco, vinyl siding, metal siding) ▪ Roof materials (asphalt, cedar shakes, concrete tile) ▪ Colours of all major exterior materials
6. Lighting:	<ul style="list-style-type: none"> ▪ Plot location of light fixtures ▪ Dimension height of fixtures from grade to bottom of fixture
7. Grade:	<ul style="list-style-type: none"> ▪ Plot existing and proposed grade extending to property lines ▪ Plot property lines (extending vertically) ▪ Plot all geodetic datum points required on site plan
8. Building height (indicate on all elevations):	<ul style="list-style-type: none"> ▪ Plot line for main floor ▪ Plot line for roof when concealed by parapet ▪ Dimension height of building from existing and proposed grade ▪ Dimension height of main floor from existing and proposed grade ▪ Dimension height of structures (fences, retaining walls) from existing and proposed grade
9. Signage (where appropriate, provide separate sign elevation):	<ul style="list-style-type: none"> ▪ Label materials, lettering details, copy and colours ▪ Dimension sign and signable area ▪ Dimension distance from grade to bottom of sign ▪ Label means of supporting sign (structures, guy wires, brackets, bracing) ▪ Label physical form of sign (cabinet, box, individual letters) ▪ Provide details on exterior lighting, label if internally illuminated
R. One (1) copy of Cross-sections	
Your cross-sections should include the following:	
1.	If the parcel is designated M-CG, M-C1 or M-C2, provide two (2) horizontal cross-sections at the distances above average grade prescribed by the Building Height Rule.
2.	Label width of any roof structure, mechanical rooms, projections
3.	Dimension to outermost limits of the cross-section
4.	Calculate the area of the cross-section, including all elements of buildings
5.	For landscaped areas with building below (e.g. parkade): <ul style="list-style-type: none"> ▪ Detail location of underlying slabs and abutting walls ▪ Dimension depth of the growing medium for each planting area ▪ Detail the waterproofing membranes, protection board, insulation and drainage layer
6.	Cross-section of sloping driveways and parkade ramps <ul style="list-style-type: none"> ▪ Indicate slope and include transition lengths ▪ Provide geodetic datum points at transition points in ramp (including top and bottom) ▪ Dimension overhead clearance
7.	Cross-sections may be required if there are retaining walls on the parcel that are 1.2 metre or higher, or to provide more information on the impact of the proposed building on the adjacent properties, showing: <ul style="list-style-type: none"> ▪ Existing and proposed grade of parcel

- Grade of adjacent parcels and city streets
- Cross-sectional outline of the building
- Geodetic datum points

SECTION 4: Supporting Information

A. If the site is within the Airport Vicinity Protection Area (AVPA), please note that additional copies of plans may be required during the review of this application.

B. When the proposal does not comply with council approved policies, bylaw standards or technical guidelines, provide a **written planning rationale** in support of such deficiencies.

C. If the application is being submitted concurrently with an existing Land Use Amendment, a completed Concurrent Submission Declaration Form is required.

- Yes, this application is being submitted concurrently with a Land Use Amendment, LOC20___ - _____
- No, this application is not being submitted concurrently with a Land Use Amendment

D. Slope Stability Report where:

- Slope across the property is fifteen (15) per cent or greater; and/or
- Development is to be located within a zone where an imaginary line, drawn from the toe to the top of an embankment, exceeds a slope of one in three, and
- Required by city engineer

E. Where a residential development is adjacent to a major road, expressway, railway, LRT line, or any other transportation and/or utility corridor:

- Provide information confirming the provision for sound attenuation meets The City's standards (for information on such standards, contact the Transportation Department)
- **Transportation Impact Assessment:** where required by the Land Use Bylaw and at the discretion of the approving authority

F. When proposed development is to be phased (i.e. portions are to be occupied prior to the completion of the entire development)

- Provide a phasing plan showing the sequence of the phases and the area encompassed by each phase
- Provide information detailing how the site will function throughout the phasing; details such as access to waste facilities

G. Off-site Levy Bylaw

Review the Off-site Levy Bylaw at calgary.ca/offsitelevy to determine if additional charges are applicable to the application.

H. Energy Code Compliance Declaration

By submitting this application, the applicant acknowledges that the proposed development will be designed to comply with either NECB or Alberta Building Code Section 9.36 for energy efficiency as required. This compliance will be verified as a condition of Building Permit issuance. At the time of application for the Building Permit, the applicant will declare a compliance path as described on the appropriate Building Permit requirement list.

SECTION 5: Use Application Requirement Lists

I. Please list all Uses* that are being proposed as part of the Development Permit application below. A list of Uses, and their definitions, are available online under [Schedule A](#) at calgary.ca/landusebylaw.

Proposed or Existing Use(s):

*If the use being proposed is listed below, a completed additional information form is required at the time of application.

- [Agriculture and Animal - Use](#)
- [Automotive Use](#)
- [Eating and Drinking Use](#)
- [Residential, Care and Health Use](#)
- [Commercial Use](#)
- [Commercial Multi-Residential Uses](#)
- [Industrial Use](#)
- [Care Facility Information Form](#)
- [Child Care Service Information Form](#)
- [Instructional Facility Information Form](#)
- [Medical Treatment Letter of Intent](#)
- [Payday Loan /Pawn Shop Information Form](#)
- [Public School Information Form](#)

SECTION 6: Applicant's Declaration

By submitting this application to The City of Calgary (the "City"), I understand and acknowledge that, as part of the City's process in reviewing, evaluating, and processing this application, the City will be required to circulate hard or electronic copies of my application materials to members of City Administration, members of the public who may be affected by the application's approval, and to relevant Community Associations' Boards of Directors, including their Planning Committees. The City will also make my application materials available online for public viewing through its website, www.calgary.ca. I hereby consent to the City's copying of these application materials, solely for the purposes of such circulation, dissemination and online viewing as aforesaid, provided that those parties to whom the copies are circulated or made available online are made aware that their use of the copies is specific and limited to providing input on my application and that any further reproduction and distribution of the plans is strictly prohibited.

If you do not want to make your application materials available online for public viewing, you must send an email to planninghelp@calgary.ca within 48 hours of submitting your application and we will consider your request. If your request is accepted our website will reflect that the applicant has chosen not to have their application materials online for public viewing.

The personal information on this form is being collected under the authority of The Calgary Building Permit Bylaw 64M94 (Section 5) and amendments thereto, as well as section 33(c) of the [FOIP Act](#). This information is being collected for the purpose of permit review and inspection processes and may be communicated to relevant City Business Units, utility providers, and Alberta Health Services. It may also be used to conduct ongoing evaluations of services received

from Planning & Development. **The name of the applicant and the nature of the permit will be available to the public through general inquiries, paid subscription reports for permit data and resources found online, as authorized by the FOIP Act.** You may direct questions about the collection, use or disclosure of your personal information by the City of Calgary at 800 Macleod Trail SE Calgary, Alberta in relation to this program by contacting the FOIP Program Administrator for Planning and Development through telephone at 403-268-5480 or by writing to PO Box 2100, Station M, Calgary, AB T2P 2M5.

NOTE: This application does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Need help or have questions? Contact the [Planning Services Centre](#).

Checklists are updated periodically. Please ensure you have the most recent edition.

CERTIFIED COPY OF
Certificate of Title



B

LINC SHORT LEGAL
0016 210 908 15930;R;5,6

TITLE NUMBER: 171 174 894
TRANSFER OF LAND
DATE: 05/08/2017

AT THE TIME OF THIS CERTIFICATION

CUONG TRAN

AND

HA T TRAN

BOTH OF:

3205 COCHRANE ROAD NW

CALGARY

ALBERTA T2M 4J4

AS JOINT TENANTS

ARE THE OWNERS OF AN ESTATE IN FEE SIMPLE
OF AND IN

PLAN 15930

BLOCK R

LOTS 5 AND 6

SUBJECT TO THE ENCUMBRANCES, LIENS AND INTERESTS NOTIFIED BY MEMORANDUM UNDER-
WRITTEN OR ENDORSED HEREON, OR WHICH MAY HEREAFTER BE MADE IN THE REGISTER.

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION

NUMBER	DATE (D/M/Y)	PARTICULARS
771 147 064	20/10/1977	ZONING REGULATIONS SUBJECT TO CALGARY INTERNATIONAL AIRPORT ZONING REGULATIONS
081 108 612	26/03/2008	MORTGAGE MORTGAGEE - ALBERTA TREASURY BRANCHES. 12012 SYMONS AVENUE ROAD NW CALGARY ALBERTA T3P0A3 ORIGINAL PRINCIPAL AMOUNT: \$260,000
171 174 895	05/08/2017	MORTGAGE MORTGAGEE - BANK OF MONTREAL. MORTGAGE SERVICE CENTRE 865 HARRINGTON COURT BURLINGTON ONTARIO L7N3P3 ORIGINAL PRINCIPAL AMOUNT: \$280,000

Certificate of Title

TITLE NUMBER: 171 174 894

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN ACCURATE REPRODUCTION OF THE CERTIFICATE OF TITLE REPRESENTED HEREIN THIS 05 DAY OF AUGUST ,2017



SUPPLEMENTARY INFORMATION

VALUE: \$400,000
CONSIDERATION: CASH & MORTGAGE
MUNICIPALITY: CITY OF CALGARY
REFERENCE NUMBER:
 001 213 939
ATS REFERENCE:
 5;1;24;13;SW
TOTAL INSTRUMENTS: 003

owner(s)
Cuong Tran

contact name
Ha T Pham Tran

contact address



City of Calgary
Planning & Development
P.O. Box 2100, Stn. M, # 8108
Calgary, AB, Canada T2P 2M5

To Whom It May Concern,

With regards to 1614 16A STREET SE
property address

Please be advised that I, Cuong Tran am:
full name

(select one)

- the owner of the above mentioned property, and that I authorize
- an officer or director of the owner(s) of the above mentioned property, and that I am authorized by that owner to authorize

Suburbia Design Co. Ltd. and/or its Peter Condic
agent or company name applicant, consultant, contractor (if applicable)

to apply for any and all Development Permit Application
permit type

for the above mentioned property.

I further agree to immediately notify The City of Calgary, in writing, of any changes regarding the above information.

October 25, 2024
date signed


signature of owner

Cuong Tran
name of owner (printed)

FOIP DISCLAIMER: The personal information on this form is being collected under the authority of The Freedom of Information and Protection of Privacy (FOIP) Act, Section 33(c). It will be used to provide operating programs, account services and to process payments received for said services. It may also be used to conduct ongoing evaluations of services received from Planning & Development. Please send inquiries by mail to the FOIP Program Administrator, Planning & Development, PO Box 2100, Station M, Calgary, AB T2P 2M5 or contact us by phone at 311.



Abandoned Well Declaration

Application # _____ for office use only

Site Address: 1614 16A Street SE

Legal Description: Lots 5 & 6 Block R Plan 15930

The Municipal Government Act's Subdivision and Development Regulations (Alberta Regulation 160/2012) requires developers to identify abandoned oil and gas wells and, where present, to comply with setback requirements as identified in the Energy Resources Conservation Board (ERCB) Directive 079: Surface Development in Proximity to Abandoned Wells.

You are responsible for the accuracy of the information provided in this statement. The questions must be answered to the best of your knowledge based upon diligent inquiries and a thorough inspection and review.

1. Provide a map of the subject parcel showing the presence or absence of abandoned wells.

- User Guide to Finding Abandoned Wells on GeoDiscover Alberta's Map Viewer
Abandoned Well Locations on GeoDiscover Alberta's Map Viewer

NOTE: The map must show the actual well location, as identified in the field, including the surface coordinates (available on the Abandoned Well Map Viewer or by contacting the ERCB Customer Contact Centre at 1-855-297-8311) and the 5 metre setback established in ERCB Directive 079 in relation to existing or proposed building sites.

2. Are there abandoned Oil/Gas wells located within 5 m of the site? [] Yes [x] No
If you answered 'yes', please answer question 3 and include the well location(s) on the site plan.

3. Have you contacted the licensee of the well(s) to confirm the exact location? [] Yes [] No
If you answered 'yes', you must have written confirmation included with your application.

Licensee Company Name _____ Licensee Contact _____

NOTE: Where a well is identified, the Development Authority must refer a copy of the application to the Licensee(s) of Record. The referral will include the applicant's contact information.

4. Who is submitting the Abandoned Well Declaration for this development?

[x] Applicant [] Owner [] Builder [] Other _____

Company Name Suburbia Design Co. Ltd. Contact Person Peter Condic

Address 3901 Edison Crescent SW

Phone _____ Cell Phone [REDACTED]

5. Will the development result in construction activity within the setback area? Yes No
If you answered 'yes':

- Provide a statement confirming that the abandoned wells will be temporarily marked with on-site identification to prevent contact during construction; and
- Describe what measures will be taken to prevent contact during construction.

NOTE: This form is to be signed by the titled owner(s) of the property or their authorized agents or consultants.

I, the owner, authorized agent, authorized consultant, state that, to the best of my knowledge, the information provided in this statement is accurate, complete and is based on diligent inquiry and thorough inspection and review of all the documents and other information reasonably available pertaining to the subject property.

October 24, 2024

Date

Peter Condic

Applicant Signature

Peter Condic

Applicant Name (Please Print)

Suburbia Design Co. Ltd.

Company Name (Please Print)

FOIP DISCLAIMER: The personal information on this form is being collected under the authority of The Freedom of Information and Protection of Privacy (FOIP) Act, Section 33(c). It will be used to provide operating programs, account services and to process payments received for said services. It may also be used to conduct ongoing evaluations of services received from Planning & Development. Please send inquiries by mail to the FOIP Program Administrator, Planning & Development, PO Box 2100, Station M, Calgary, AB T2P 2M5 or contact us by phone at 311.

Map Results

Legend

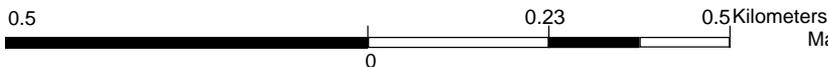
- ◇ Abandoned Wells (Large Scale)
- Abandoned_Well_Revised (Large)
- Abandoned_Well_Loc_Pointer
- ATS v4_1 Alberta Provincial Bou Citations



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While every effort is made to ensure data from this site is accurate and current, the Government of Alberta is not liable for any loss or damage arising from the possession, publication, or use of, that data. This information is provided "as is" without warranty.

Thursday, October 24, 2024 10:34:58 -06:00



Map Scale: 1: 9,028





Public Tree Disclosure Statement

The City of Calgary Street Bylaw (20M88) and the Tree Protection Bylaw (23M2002) protect trees growing on City (public) land. An approved Tree Protection Plan is required when construction activities occur within 6m of a public tree. More information regarding protecting trees during construction and development is found here. Public trees are required to be shown on plans submitted for this application.

- 1. Are there public trees on the City lands within six meters of and/or overhanging the development site? [X] Yes [] No

If you answered yes, ensure all trees identified are shown on the submitted plans.

Note: if you are not sure how to determine which trees are yours and which are public, you can:

- a. Use the City's tree map (may not be up to date for your property)
b. Contact 3-1-1 to put in a "development tree inquiry" to get confirmation from an Urban Forester
c. Send inquiries to tree.protection@calgary.ca

- 2. Who will be submitting the Tree Protection Plan for this development?

[] Applicant [] Owner [X] Builder [] Other:

If Other: Name: Vishu Arunachalam Phone: [Redacted]
Email: [Redacted]

The Tree Protection Plan must be submitted directly to Urban Forestry at tree.protection@Calgary.ca following the Tree Protection Plan Guidelines.

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Site Contamination Statement

Application # _____
for office use only

Site Address: 1614 16A Street SE

Legal Description: Lots 5 & 6 Block R Plan 15930

The information provided in this disclosure statement will assist the Development, Land Use and Subdivision Authorities in processing planning applications. The Authorities rely on the information provided in this statement to assist in determining the potential for site contamination, which may have been caused by current or historic activities.

You are responsible for the accuracy of the information provided in this statement. The questions must be answered to the best of your knowledge based upon diligent inquiry and the thorough inspection and review of all documents and other information pertaining to the subject property. **Please be aware that further site assessments may be required as part of the review of your application.**

- 1. Are you aware of any environmental investigations (audits, assessments, tests, surveys or studies) for this site? Yes No

If yes, please provide copy(s).

- 2. Are you aware of any environmental requirements associated with any previous planning applications on this site? (i.e. development permit, land use redesign or subdivision) Yes No

If yes please provided a brief description and the associated development application number(s):

- 3. Has there been site remediation or a request for such on the site? Yes No

If yes, please provide a brief description:

4. Are you aware of any regulatory actions, past or current, which have been applied to this site?

Yes No

Examples include (but are not limited to):

- Environmental Protection Orders
- Reclamation Orders or Certificates
- Control / Stop Orders, fines, tickets or prosecutions
- Violations of environmental statutes, regulations and bylaws
- Administrative penalties and warning letters

If yes, please describe and provide copies of relevant documents:

5. Have any permits been issued or are you currently operating under a license or approval issued by federal or provincial authorities (including, but not limited to the Natural Resources Conservation Board, Energy Resources Conservation Board, Alberta Energy Regulator, Alberta Energy and Utilities Board, Alberta Utilities Commission, Minister of Environment and Parks) or the Calgary Fire Department for activities which may impact the property? (e.g. certificates of approval, storage tank regulations, plant operating permits)

Yes No

If yes, please describe:

6. Has there been contact with Alberta Environment or Calgary Regional Health Authority regarding possible contamination on the site?

Yes No

If yes, please provided a brief description:

NOTE: This form is to be signed by the titled owner(s) of the property or their authorized agents or consultants.

I, the owner, authorized agent, authorized consultant, state that, to the best of my knowledge, the information provided in this statement is accurate, complete and is based on diligent inquiry and thorough inspection and review of all the documents and other information reasonably available pertaining to the subject property. I am not aware of any other information that may indicate that the subject property is potentially contaminated.

October 24, 2024

Date

Peter Condic

Applicant Signature

Peter Condic

Applicant Name (Please Print)

Suburbia Design Co. Ltd.

Company Name (Please Print)

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Climate Resilience Inventory Additions and new buildings

Purpose

- This form is intended to assist in the evaluation of applications for alignment with the climate policies of the Municipal Development Plan and [Climate Climate Strategy](#).
- Information provided will be used to advance implementation of these policies at The City and inventory current practices.
- While The City encourages innovation and commitment towards meeting these policy requirements, not all applications will be expected to include features which are highlighted below.
- Scale and scope of the project are relevant considerations.
- For a helpful resource to assist in completing this form, refer to the [Climate Resilience Inventory User Guide](#)
- For assistance contact CPclimate@calgary.ca

SECTION 1: Application information

Applicant name: Peter Condic	Company name (if applicable): Suburbia Design Co. Ltd.
Email: [REDACTED]	Phone number (during business hours): [REDACTED]
Applicant signature:	



Correspondence will be sent to only the applicant

SECTION 2: Certification

Is the project seeking green building certification?

Yes, indicate type and level:

No, explain why not:

Cost

Does the energy modelling indicate improved energy performance over energy code minimum? If yes, provide details on improved energy performance:

Yes No

Energy review will be completed prior to building permit application

SECTION 3: Energy efficiency and renewables

Describe how the development will improve energy performance over energy code minimum and incorporate renewable energy generation. If no features are proposed, outline the rationale for not including.

Photovoltaics: kW rated output

SECTION 4: Low carbon mobility

Describe how the development will prioritize low-carbon transportation choices (transit, wheeling, walking) and support the adoption of electric vehicles. If no features are proposed, outline the rationale for not including.

The site is proposing to rough-in Charging stations in the parking garage and mobility storage for bicyc

<input checked="" type="checkbox"/> EV charging stations	Level of EV charging stations DC Fast Chargers	Number of stalls 4	% of total stalls 100
--	---	-----------------------	--------------------------

SECTION 5: Green infrastructure

Describe the low-impact development (LID) and green infrastructure features of the proposed development, including but not limited to rain gardens, bioswales, green roofs and walls, and enhanced landscaping. If no features are proposed, outline the rationale for not including.

<input type="checkbox"/> Green roof	Area: m ²	Percent of building foot print covered by green roof: %
<input type="checkbox"/> Permeable surfaces	Area m ²	Permeable area: %

SECTION 6: Flood and Disaster Resilience

Describe the flood and disaster-resilience features of the proposed development. If no features are proposed, outline the rationale for not including.

Sump pumps c/w back-up batteries will be installed (if required) in case of flood water infiltration.

<input type="checkbox"/> Building envelope meets Passive House Standard

SECTION 7: Other features

Describe any other sustainable or resilient design features that are not captured above:

SECTION 8: Issues

To enable the City to collect information where there may be municipal obstacles to climate resilience outcomes, explain any design features that were considered, but not included, for reasons related to City regulations, standards, or processes

***FOIP DISCLAIMER:** The personal information on this form is being collected under the authority of section 5(1) of Bylaw 39M2018 and amendments thereto, as well as section 33(c) of the [FOIP Act](#). This information is being collected for the purpose of permit review and inspection processes and may be communicated to relevant City Business Units, utility providers, and Alberta Health Services.*



It may also be used to conduct ongoing evaluations of services received from Planning & Development. The name of the applicant and the nature of the permit will be available to the public, as authorized by the FOIP Act. You may direct questions about the collection, use or disclosure of your personal information by the City of Calgary at 800 Macleod Trail SE Calgary, Alberta in relation to this program by emailing the FOIP Program Administrator for Planning and Development at plngbldg@calgary.ca or by telephone at (403)268-5311.



Community Outreach on Planning & Development Applicant-led Outreach Summary

Please complete this form and include with your application submission.

Project name:

Did you conduct community outreach on your application? YES or NO

If no, please provide your rationale for why you did not conduct outreach.

Outreach Strategy

Provide an overview of your outreach strategy, summary of tactics and techniques you undertook (Include dates, locations, # of participants and any other relevant details)

On January 26, 2025, the homeowners, Ha and Cuong Tran, visited neighbors along the block of 1601 to 1625 16A Street SE in Inglewood to discuss the proposed development at 1614 16A Street SE. For residents who were not home, we left detailed information about the project and invited them to reach out with any questions or concerns.

Affected Parties

Who did you connect with in your outreach program? List all groups you connected with. (Please do not include individual names)

1601 to 1605 - house is vacant

1606 - speak with homeowner Craig and have no issue with the development

1610 - no one was home - left a detailed information about the prooject and invited them to reach out with any questions or concerns.

1611 - Speak with house tenant Brooklyn - no issue with the development

1613 - Speak with homeowner Rhonda and Gramhm - is concern with parking overall

1617 - Speak with homewoner Natalie have no issue

1618 - no one was home - left a detailed information about the prooject and invited them to reach out with any questions or concerns.

1620 - no one was home - left a detailed information about the prooject and invited them to reach out with any questions or concerns.

1623 - Speak with homeowner Shad - no issue with the development

1625 - Speak with homeowner Kaite - no issue with the development



Community Outreach for Planning & Development Applicant-led Outreach Summary

What did you hear?

Provide a summary of main issues and ideas that were raised by participants in your outreach.

Overall, from our community outreach, one household expressed concerns about the availability of parking, noting that there could be a shortage of spaces in the area.

How did input influence decisions?

Provide a summary of how the issues and ideas summarized above influenced project decisions. If they did not, provide a response for why.

The parking concerns raised during community outreach did not influence the project ' s design, as the development includes four garages. Additionally, there are at least two street parking spaces directly in front of the property. The house is situated at the intersection of 17 Street and 16A Street, providing additional street parking options on both streets.

Inglewood already features several multi-unit residential developments, and we believe our project will positively impact the community and individuals seeking affordable housing. This property is ideally located within walking distance of key amenities, including bus routes, the Green Line LRT, local shops, and downtown Calgary. The area ' s excellent accessibility encourages walking, biking, and public

How did you close the loop ?

Provide a summary of how you shared outreach outcomes and final project decisions with those who participated in your outreach. (Please include any reports or supplementary materials as attachments)

We shared the development plan with Rhonda and Graham at 1613 16A Street, and they appeared to be okay of the project. We also provided our contact information should they have any further questions.



SUBURBIA DESIGNS CO.



Dear Applicant:

RE: Detailed Review (DR)

Development Permit Number: DP2024-07897

Based on the plans received, your application has been reviewed in order to determine compliance with the Land Use Bylaw and applicable City policies. Any variance from the Land Use Bylaw or City policies may require further discussion or revision prior to a decision being rendered.

The City endeavors to render decisions on applications within specific service standards. Please assist us in meeting these targets by ensuring your resubmission is complete and made in a timely manner. Please submit a digital set of the amended plan, in PDF format, along with a detailed response letter on how each of the Prior to Decision and/or Prior to Release conditions have been addressed and/or resolved.

This information must be received, in its entirety, no later than February 16, 2025. If a complete submission is not received by this date, the development permit may be inactivated and subject to a reactivation fee. If the development permit application is not reactivated, it may be cancelled by Administration as per Land Use Bylaw 1P2007, Section 41.1. If you require additional time to respond to the conditions outlined in this Detailed Review document, please let me know by contacting me.

Should you have any questions or concerns, please contact me at [redacted] or by email at jenny.sepulveda@calgary.ca.

Sincerely,

JENNY SEPULVEDA
Planner 1



Detailed Review 1 – Development Permit

Application Number:	DP2024-07897
Application Description:	New: Dual Semi-detached (2 buildings), Secondary Suite (4 suites), Accessory Residential Building (garage, storage unit)
Land Use District:	Residential - Grade-Oriented Infill
Use Type:	Discretionary
Site Address:	1614 16A ST SE
Community:	INGLEWOOD
Applicant:	SUBURBIA DESIGNS CO.
Date DR Sent:	December 17, 2024
Response Due Date:	February 16, 2025
Planning:	JENNY SEPULVEDA jenny.sepulveda@calgary.ca
Utility Engineering:	CHRIS FLEETWOOD 587-576-4329 Chris.Fleetwood@calgary.ca
Mobility Engineering:	HILARY ENNS 403-200-8641 Hilary.Enns@calgary.ca

Comments on Relevant City Policies

Municipal Development Plan – Statutory

The subject site is classified as a Developed Residential Area and is identified as part of the Inner City, as shown in Map 1: Urban Structure of the Municipal Development Plan. The specific policies related to this classification are outlined in Section 3.5, Subsection 3.5.1 of the Plan.

The general policies for Developed Residential Areas include:

- Development within predominantly multi-family areas should be compatible with the established development pattern and take the following elements into consideration:
 1. Appropriate transitions between adjacent areas.
 2. A variety of multi-family housing types to meet the diverse needs of current and future populations.

For Inner City areas, key policy is outlined as follows:

- Sites within the Inner-City Area may intensify, particularly in transition zones adjacent to areas designated for higher density (i.e., Neighbourhood Main Street), or if the intensification is consistent and compatible with the existing character of the neighbourhood. Transition zones should be identified through a subsequent planning study.

Calgary Land Use Bylaw 1P2007 – Statutory

The subject parcel is located within the Residential – Grade-Oriented Infill (R-CG) district, which is a low-density residential district designed to accommodate a variety of grade-oriented housing types with ground-level entry. It provides flexible parcel dimensions and building setbacks that facilitate the integration of new developments. Duplex and Semi – detached Dwelling, however, are considered a discretionary use in the R-CG district.

Inglewood Area Redevelopment Plan – Statutory

The subject parcel is located within a Residential area in the Inglewood Area Redevelopment Plan (ARP). The ARP supports residential development projects within the community, provided they align with its policies.

This policy encourages low to medium density townhousing; however, many sites may only be appropriate for detached housing while other sites (generally those not surrounded by existing development) may be able to accommodate higher density apartment housing. To encourage a variety of housing type, medium density (up to 40 upa) low to medium profile residential projects may be considered on a limited basis, where unique site and edge conditions merit an alternate approach to the typical block-lot configuration.

In Inglewood sensitively designed infill development will be valuable to maintain the overall quality of the housing stock, increase the population and provide variety in available housing. It should however respect the existing development.

Bylaw Discrepancies

These discrepancies will likely need to be addressed to ensure compliance with the regulations. Please amend the plans to resolve the bylaw discrepancies or provide a written submission explaining the rationale for any proposed relaxations.

Bylaw Discrepancies Table		
Regulation	Standard	Provided
537 Building Setback from Front Property line	The minimum building setback from a front property line is 3.0m	Plans indicate the east setback area, when measured to Building 1’s build-out, as being 2.40m (-0.60m).
336 Projections Into Front Setback Area	(2) Landings, ramps other than wheelchair ramps and stairs may project into a front setback area provided: (b) the area of a landing does not exceed 2.5m ²	Plans indicate the middle east landing for Building 1 as being 2.91m ² (+0.41m ²).
541 Building Height	(4) Where not located on a corner parcel, the maximum building height is 8.6m for any portion of a main residential building located between the rear property line and 60.0% parcel depth or the contextual building depth average, whichever is greater.	Plans indicate Building 2 height as being 8.75m (+0.15m).

Track your application on-line with VISTA. Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

535 Building Depth and Separation	(1) Unless otherwise referenced in subsections (2) and (3) the maximum building depth is 65.0% of the parcel depth for a building containing a unit.	Plans indicate the building depth for Building 2 as being 77.20% (+12.20%) or 30.54m (+4.84m). Note: Section 535(2) cannot be applied as the development does not comply with building separation.
542 Landscaping Requirements	(7) A minimum of 30.0% of the landscaped area must be covered with soft surfaced landscaping.	Plans indicate 28.97% (-1.03%) or 64.47m ² (-2.30m ²) of soft landscaping provided.
542.2 Planting Requirements	(2) A minimum of 1.0 tree and 3.0 shrubs must be provided for each 110.0m ² of parcel area.	Plans do not indicate any compliant trees provided (-6 trees). Note: Trees less than 60mm calliper Or outside the parcel are not counted towards tree requirement.
546.3 Waste, Recycling and Organics	For developments of three or more units, garbage, recycling, and organics must be stored in a screened location approved by the Development Authority	Plans do not indicate any screening for the Waste, Recycling and Organics.
546 Motor Vehicle Parking Stalls	(2) Notwithstanding subsection (1), the minimum number of motor vehicle parking stalls is calculated based on the sum of all units and suites at a rate of 0.5 stalls per unit or suite for the area listed in Table 2.1 below.	Plans do not indicate any compliant stalls (-4 stalls). Note: Refer to discrepancies below.
122 Standards for Motor Vehicle Parking Stalls	(3) The minimum depth of a motor vehicle parking stall is 5.9m where it is required for: (a) a Contextual Single Detached Dwelling, Duplex Dwelling, Secondary Suite, Semi-detached Dwelling or Single Detached Dwelling	Plans indicate the parking stall depths as being 5.79m (-0.11m).
	(4) The minimum width of a motor vehicle parking stall required for a Dwelling Unit is: (a) 3.0m where both sides of a stall abut a physical barrier;	Plans indicate 2 stalls as being 2.95m (-0.05m) each in width.
13(90.3) Mobility Storage Locker	(b) has a minimum length of 2.8m;	Plans indicate the lockers as being 2.74m (-0.06m). Note: Measurements are taken to the interior of the lockers.
Permitted Contextual Use Rules		
Regulation	Standard	Provided
<i>N/A as per Section 347.1(5) A Contextual Semi-detached Dwelling must not be located on a parcel that contains more than one main residential building.</i>		

Prior to Decision Requirements

The following issues must be addressed by the Applicant through a written submission and amended plans prior to a decision by the Approving Authority:

Planning

1. Submit a complete digital set of the amended plans in PDF format and a separate PDF response letter that provides a point-by-point explanation as to how each of the Prior to Decision conditions were addressed and/or resolved. If Prior to Release conditions have been addressed in the amended plans, include a point-by-point explanation for these items as well. The submitted plans must comprehensively address the Prior to Decision conditions as specified in the DTR document. Ensure that all plans affected by the revisions are amended accordingly. Please circle all amendments to the plans in red to ensure clarity. To arrange the digital submission, please contact the File Manager directly.

This information must be received, in its entirety, no later than 60 days from the date this DTR form was sent to the applicant and owner. If a complete submission is not received within the 60 day time frame, the development permit may be inactivated. Upon inactivation, the applicant and owner will receive written notice of the inactivation and of a further 30 day time frame within which the application may be reactivated subject to a reactivation fee. If the development permit application is not reactivated as per the written notification, it may be cancelled by Administration as per Land Use Bylaw 1P2007, Section 41.1.

In the event that the application needs to be recirculated, a recirculation fee may be applied.

2. Upload a complete set of the amended plans in PDF format, into the ePermit system. The submitted plans must address the requirements listed in this document. Ensure that all plans affected by the revisions are amended accordingly, including all issues outlined in the Bylaw Discrepancies and Relevant City Policies.
3. Complete and submit a copy of the Community Outreach Assessment Tool to determine the approach and tactics for applicant-led public outreach. The City of Calgary recommends outreach to reduce potential conflict and surprises in order to save time and mitigate unanticipated costs. More information is available at the Applicant Outreach Toolkit website.
4. Amend plans to address the bylaw discrepancies noted on the Bylaw Discrepancies Table of this document. Alternatively, provide a planning rationale in a written submission supporting any proposed relaxations to address the Bylaw Discrepancies noted in the table.

Track your application on-line with VISTA. Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

5. Submit detailed lighting information on shielding, mounting, and height.
6. Amend plans to provide a screened location for the Waste, Recycling and Organics.
7. Amend the plans to state proposed boulevard trees/shrubs planting along 16A ST. SE OR provide the Utility Line Assignment (ULA)/Urban Forestry approval. Contact ulasupport@calgary.ca to initiate a submission and contact Urban Forestry (311) to gain approval. Provide the approval (ULA/Urban Forestry) approval documentation to luke.tamayo@calgary.ca. If approved, preferred species is: American Elm, Green Ash, Bur Oak, and Dropmore Linden. Revise plans accordingly in consultation with Urban Forestry.

Note: Urban Forestry prefers to plant trees on public property to ensure all standards and specifications have been met.

Utility Engineering

8. Amend all relevant plans/details to:

River Engineering (Flood Fringe):

a. Relocate any / all electrical and mechanical equipment (i.e. furnaces, hot water tanks, mechanical rooms, electrical panels, etc.), as so that said equipment is located at OR above the designated 1:100 year flood level of 1039.50m (geodetic). Mechanical and electrical equipment shall be proposed at / above said elevation as per Bylaw. Important to note that any request for relaxation below said elevation will NOT be supported by River Engineering.

b. Provide a note which shall state that:

"The proposed building will be designed as to prevent structural damage by floodwaters".

c. Provide a note which shall state that:

"The proposed development will include the installation of a sewer back-up valve".

d. Relocate the first (main) floor, as so that it is situated at / above the designated 1:100 flood level of 1039.50m (geodetic). A relaxation of this flood level may be considered, should the applicant clarify how associated risks will be mitigated. This information / request for relaxation needs to be formally submitted / requested by the applicant, for review and acceptance by the City.

e. Relocate basement window openings, as the bottom of some of the basement windows are situated at approximately 1036.95m (geodetic). River Engineering strongly recommends that these be situated at / above the 1:20 flood elevation of 1037.90m (geodetic).

Note(s):

-The proposed development is within the 1:100 year Flood Fringe flood risk area, as per Council approved flood maps located at:

<http://www.calgary.ca/PDA/pd/Pages/Planning-and-development-resource-library/Land-Use-bylaw-1P2007-maps.aspx>.

- Land Use Bylaw 1P2007, Part 3, Division 3 Flood Fringe Regulations apply.
- The designated (1:100 year) flood elevation is 1039.50m (geodetic).
- The 1:20 year Draft 2020 AEP model flood elevation is 1037.90m (geodetic).

For further details, contact River Engineering at kyle.mckee@calgary.ca or 403-651-9485 OR sandra.davis@calgary.ca or 403-268-4344.

9. Amend the plans to:

Site Grading / Stormwater:

- a. Provide additional (detailed) site grading, clarifying (both) existing and proposed elevations for the site / proposed development. The initial submission provides limited grading information for the site / proposal. The extra grading information will also clarify / ensure that stormwater does not (conceptually) drain / spill into neighboring sites / parcels.

Note:

For further information, contact Utility Specialists at:
WA-ResourcesDevelopmentApprovals@calgary.ca OR 403-268-2693 OR
jennifer.derbywagner@calgary.ca.

Prior to Release Requirements

The following requirements shall be met prior to the release of the permit. All requirements shall be resolved to the satisfaction of the Approving Authority:

Utility Engineering

10. Submit an electronic Development Site Servicing Plan (DSSP) circulation, for review and acceptance, as required by Section 5 (2) of the Utility Site Servicing Bylaw 33M2005.

For further information, refer to the following:

Development Site Servicing Plan Webpage

<https://www.calgary.ca/uep/water/specifications/water-development-resources/development-site-servicing-plans.html>

Development Site Servicing Plans CARL (requirement list)

<http://www.calgary.ca/PDA/pd/Pages/Permits/carl-building-development-permit-search.aspx>

Note:

For further information, contact Utility Specialists at:
WA-ResourcesDevelopmentApprovals@calgary.ca OR 403-268-2693 OR
jennifer.derbywagner@calgary.ca.

11. After the Development Permit is approved but prior to its release, the landowner shall execute an Off-Site Levy Agreement for the payment of off-site levies pursuant to Bylaw 1H2024.

Based on the information provided with the initial submission, the preliminary estimate is \$12,659.20.

Note(s):

- Should payment be made prior to release of the development permit, an Off-Site Levy Agreement will not be required.
- Include the completed Payment Submission Form, which was emailed to the applicant.
- Only certified cheques or bank drafts made payable to the City of Calgary are acceptable.

To obtain an off-site levy agreement or for further information, contact the Infrastructure Strategist, Development Commitments, at 587-215-6253 OR
yunpeng.qin@calgary.ca OR offsitelevy@calgary.ca.

Permanent Conditions

The following permanent conditions shall apply:

Planning

12. The Permanent Conditions will be finalized at the time of Development Authority decision.
13. The development shall be completed in its entirety, in accordance with the approved plans and conditions. The stamped and signed plans are a legal document.
14. No changes to the approved plans shall take place unless authorized by the Development Authority. If changes to the development occur or are proposed, a new development permit or revised plan application may be required.
15. A development completion permit must be issued for the development before the use is commenced or the development occupied. A development completion permit is independent from the requirements of City of Calgary Building Regulations inspections and permission for occupancy. Request a development completion permit inspection by visiting inspections.calgary.ca or call 403-268-5311.
16. When the main floor is constructed, submit the surveyed geodetic elevation to Geodetic.Review@Calgary.ca
17. When the main floor of each building is constructed, submit the geodetic elevation to Geodetic.Review@Calgary.ca
18. No stockpiling or dumping of construction materials is permitted on the adjacent boulevard.
19. Any damage to public boulevards resulting from development activity, construction staging or materials storage, or construction access will require restoration at the developer's expense. The disturbed area shall be maintained until planting is established and approved by the Parks Development Inspector. Contact the Development Inspector, Jackie Swartz at 403-620-3216, for an inspection.
20. In order to ensure the integrity of the boulevard, construction access is only permitted through the 17 ST. SE and outside the dripline of public tree(s), per the approved Tree Protection Plan.
21. In order to ensure the integrity of boulevard no grade changes are permitted in the boulevard within the drip lines of the trees.
22. In order to ensure the integrity of the boulevard, there shall be a minimum 3 metre separation, ideally the full length of the canopy, between the trunk and any new/proposed structures, (i.e. driveways and walkways).

Track your application on-line with VISTA. Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

Utility Engineering

23. For all soil disturbing projects, the developer, or their representative, shall designate a person to inspect all erosion and sediment control practices a minimum of every seven (7) days and during, or within 24 hours of, the onset of significant precipitation (> 12mm of rain in 24 hours, or rain on wet or thawing soils) or snowmelt events. Note that some practices may require daily or more frequent inspection. Erosion and sediment control practices shall be adjusted to meet changing site and winter conditions.
24. Stormwater runoff must be contained and managed in accordance with the Stormwater Management & Design Manual all to the satisfaction of the Manager, Development Engineering.
25. The grades indicated on the approved Development Site Servicing Plan(s) must match the grades on the approved Development Permit plans. Upon a request from the Development Authority, the developer or owner of the titled parcel must confirm under seal from a Consulting Engineer or Alberta Land Surveyor, that the development was constructed in accordance with the grades submitted on the Development Permit and Development Site Servicing Plan.
26. If during construction of the development, the developer, the owner of the titled parcel, or any of their agents or contractors becomes aware of any contamination,
 - a. the person discovering such contamination shall immediately report the contamination to the appropriate regulatory agency including, but not limited to, Alberta Environment, Alberta Health Services and The City of Calgary (311).
 - b. on City of Calgary lands or utility corridors, The City of Calgary, Environmental and Safety Management division shall be immediately notified (311).
27. No trees, shrubs, buildings, permanent structures or unauthorized grade changes are permitted within utility rights-of-way.
28. Pursuant to Bylaw 1H2024, off-site levies are applicable.

After approval of the Development Permit but prior to issuance of a Development Completion Permit or any occupancy of the building, payment shall be made for off-site levies pursuant to Bylaw 1H2024.

Note(s):

-Include the completed Payment Submission Form, which was emailed to the applicant.

-Only certified cheques or bank drafts made payable to the City of Calgary are acceptable.

To obtain a final estimate contact the Infrastructure Strategist, Development Commitments, at 587-215-6253 OR yunpeng.qin@calgary.ca OR offsitelevy@calgary.ca.

29. The development site lies within the Flood Fringe, and as such must conform to Land Use Bylaw 1P2007, Part 3, Division 3.

Mobility Engineering

30. The developer shall be responsible for the cost of public work and any damage during construction in City road right-of-ways, as required by the Manager, Development Engineering. All work performed on public property shall be done in accordance with City standards.
31. Indemnification Agreements are required for any work to be undertaken adjacent to or within City rights-of-way, bylawed setbacks and corner cut areas for the purposes of crane operation, shoring, tie-backs, piles, surface improvements, lay-bys, utility work, +15 bridges, culverts, etc. All temporary shoring, etc., installed in the City rights-of-way, bylawed setbacks and corner cut areas must be removed to the satisfaction of the Manager, Development Engineering, at the applicant's expense, upon completion of the foundation. Prior to permission to construct, contact the Indemnification Agreement Coordinator, Roads at roadsia@calgary.ca
32. The approved driveway(s) required for this development must be constructed to the ramp grades as shown on the approved Development Permit plans. Negative sloping of the driveway within the City boulevard is not acceptable. If actual grades do not match the approved grades, the developer/owner shall be responsible for all costs to remove and reconstruct the entire driveway ramp in accordance with approved grades.

Advisory Comments

The following advisory comments are provided as a courtesy to the Applicant and registered property owner. The comments represent some, but not all of the requirements contained in the Land Use Bylaw that must be complied with as part of this approval.

Planning

33. The Advisory Comments will be finalized at the time of Development Authority decision.
34. The Applicant may appeal the decision of the Development Authority, including any of the conditions of the development permit. If you decide to file an appeal, please refer to the notification of decision letter for the appropriate appeal body and appeal process.
35. The site is within the 30 to 35 noise exposure forecast lines and is subject to the Airport Vicinity Protection Area Regulation.
36. The site is within the 30 to 35 noise exposure forecast lines and is subject to the Airport Vicinity Protection Area Regulation.
37. The approval of this development permit does not limit in any way the application of any federal, provincial, or municipal law, policy, code, regulation, bylaw, and/or guideline, nor does it constitute any permit or permission under any federal, provincial, or municipal law, policy, code, regulation, bylaw, and/or guideline.
38. In addition to this development permit, building permits may also be required. Building permit applications may be submitted upon approval of the associated development permit. Contact Building Regulations at 403-268-5311 for further information.
39. This development permit has not been reviewed for potential issues with the National Building Code - current Alberta Edition. You may require a Building Permit in addition to this development permit in which case compliance with the Code will be assessed through a Building Permit application. Should a Building Permit review require changes to the approved development permit, the changes must be to the satisfaction of the Development Authority and are potentially subject to a new development permit.
40. All plumbing services including sanitary, storm and water must be verified onsite by the owner and/or builder to ensure the size and location is compliant with the National Plumbing Code of Canada for the number of fixtures being installed. The waterline must be of the size that is indicated on the grade slip, but in no case smaller than 1 in size.
41. A minimum of 1.0 tree and 3.0 shrubs must be provided for each 110.0 square meters of parcel area. This may be accomplished by planting new trees or preserving existing trees. The trees must be of a species capable of healthy growth in Calgary and must conform to the standards of the Canadian Nursery

Landscape Association. To satisfy the requirement of one tree, the following sizes must be met:

- a. A deciduous tree with a minimum calliper of 50.0mm; or
- b. A coniferous tree with a minimum height of 2.0 metres.

To satisfy the requirement of two trees, the following sizes must be met:

- a. A deciduous tree with a minimum calliper of 85.0mm; or
- b. A coniferous tree with a minimum height of 4.0 metres.

The required trees must be provided on the parcel within 12 months of issuance of the development completion permit (DCP) and maintained for a minimum of 24 months after issuance of the DCP.

- 42. There are many types of caveats and other agreements that can be registered on the title of the property that can restrict the ability to develop. The City has not reviewed or considered all instruments registered on the title to this property. Property owners must evaluate whether this development is in compliance with any documents registered on title.
- 43. A basement on this parcel has the potential for flooding due to groundwater seepage during periods of high river flow, based on information gathered in the 2013 flood event, analysis contained in the "Bow River and Elbow River Hydraulic Model and Flood Inundation Mapping Update" (2015, City of Calgary and Alberta Environment), and the 2020 draft Alberta Environment and Parks inundation maps. The following should be considered in basement design:
 - a. Design the building to prevent structural damage from elevated groundwater levels during periods of high river flow. Elevated groundwater levels may impact foundation dewatering, foundation water proofing, and structural design.
 - b. Basements should not be utilized for the storage of immovable or hazardous materials that are flammable, explosive, or toxic.
 - c. A sump pump with battery backup should be provided in the basement.
 - d. The sump pump outfall pipe should be looped and discharged above the designated flood level
 - e. A separate electrical circuit should be provided for the sump pump with the operating switch located above the designated flood level.
 - f. Installation of backflow prevention valve(s) on sewer lines and/or the elimination of gravity flow basement drains.
 - g. No primary living spaces (e.g. bedrooms) below the designated flood level.
 - h. A water alarm should be installed in the basement to warn of groundwater seepage.
- 44. Enhanced on-site landscaping is recommended to improve the overall impact on the public realm and outdoor spaces. Refer to the [Landscape Design Guide for Small Residential Sites](#).
- 45. The Streets Bylaw (20M88) and the Tree Protection Bylaw (23M2002) contain clauses intended to protect trees growing on Public Land. No person shall remove, move, cut, or prune a Public Tree or cause a Public Tree to be removed, moved, cut or pruned without prior written authorization from the Director, Parks. A copy of the bylaw can be found at www.calgary.ca. Parks does not permit the removal of public trees to facilitate development unless all options to retain and protect are exhausted.

46. If clearance pruning of public trees is required, Urban Forestry must be notified (minimum two business days notice) and an indemnified contractor must be used at the applicants expense. Please contact Urban Forestry at 311 for more information.
47. As part of the Tree Protection Bylaw, a Tree Protection Plan will be required when a development, construction activity, or a disturbance occurring on the City Boulevard is within 6 metres of a boulevard tree. For more information about submitting your tree protection plan visit www.calgary.ca and search protecting trees during construction and development; alternatively, call 311 or email tree.protection@calgary.ca. Applicant is to apply for tree protection plan prior to demolition.
48. Community Engagement is an expectation for redevelopment applications. The applicant is strongly encouraged to proactively reach out to the Inglewood Community Association, nearby neighbours, and the Ward 9 Councillor's Office (Gian-Carlo Carra) for their feedback on the proposal. The applicant shall submit an Applicant Outreach summary explaining what community outreach efforts were undertaken.
[Community Outreach on Planning and Development](#)
49. The Streets Bylaw (20M88) and the Tree Protection Bylaw (23M2002) contain clauses intended to protect trees growing on Public Land. No person shall remove, move, cut, or prune a Public Tree or cause a Public Tree to be removed, moved, cut or pruned without prior written authorization from the Director, Parks. A copy of the bylaw can be found at www.calgary.ca. Parks does not permit the removal of public trees to facilitate development unless all options to retain and protect are exhausted.
50. Tree plantings within City of Calgary boulevards and/or right of ways are subject to approval from Utility Line Assignment and Parks. No person shall plant trees or shrubbery on City Lands without prior written authorization from the Manager, Parks and in the case of walkways, medians, boulevards, and road rights of way, without additional prior written authorization from the Manager, Water Resources.
51. As part of the Tree Protection Bylaw, a Tree Protection Plan will be required when a development, construction activity, or a disturbance occurring on the City Boulevard is within 6 metres of a boulevard tree. For more information about submitting your tree protection plan visit www.calgary.ca and search protecting trees during construction and development; alternatively, call 311 or email tree.protection@calgary.ca. Applicant is to apply for tree protection plan prior to demolition.

Utility Engineering

52. The developer is responsible for ensuring that:
 - a. The environmental conditions of the subject property and associated utility corridors meet appropriate regulatory criteria and appropriate environmental assessment, remediation or risk management is undertaken.
 - b. Appropriate environmental assessment(s) of the property has been undertaken and, if required, a suitable remedial action plan and/or risk

Track your application on-line with VISTA. Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

management plan has been prepared, reviewed and accepted by the appropriate regulatory agency(s) including but not limited to Alberta Environment and Alberta Health Services.

- c. The development conforms to any reviewed and accepted remedial action plan/risk management plans.
- d. All reports are prepared by a qualified professional in accordance with accepted guidelines, practices and procedures that include but are not limited to those in the most recent versions of the Canadian Standards Association and City of Calgary Phase I & II Environmental Site Assessment Terms of Reference.
- e. The development is in compliance with applicable environmental approvals (e.g. Alberta Environment Approvals, Registrations, etc), Energy Resources Conservation Board approvals and related setback requirements, and landfill setback requirements as set out in the Subdivision and Development Regulation.

If the potential for methane generation or vapours from natural or contaminated soils and groundwater has been identified on the property, the developer is responsible for ensuring appropriate environmental assessment(s) of the property has been undertaken and appropriate measures are in place to protect the building(s) and utilities from the entry of methane or other vapours.

Issuance of this permit does not absolve the developer from complying with and ensuring the property is developed in accordance to applicable environmental legislation.

53. As typically advised by Fire Department Technical Services, ahead of the Building Permit (BP) submission:

Fire (Primary Fire Access Route Design):

- a. Access for fire department equipment shall be provided to each building by means of a street, private roadway or yard. This is / will be relevant as per code reference 9.10.20.3.(1).
- b. Special variations could be permitted for a house and/or residential building that is protected with an automatic sprinkler system. Said sprinkler system must be designed in accordance with the appropriate NFPA standard, and there must be assurance that water supply pressure and quantity are unlikely to fail. These considerations could apply to buildings that are located on the sides of hills and are not conveniently accessible by roads designed for firefighting equipment and also to infill housing units that are located behind other buildings on a given property. This is / will be applicable as per code reference A 9.10.20.3.(1) Fire Department Access Route Modification. Important to note that some buildings and / or units may be subject to being sprinklered. This shall be further determined at the Building Permit (BP) stage.
- c. Where access to a building as required, and is provided by means of a roadway or yard, the design (and location) of such roadway or yard shall take into account connection with public thoroughfares, weight of firefighting equipment, width of roadway, radius of curves, overhead clearance, location of fire hydrants, location of fire department connections and vehicular parking.
- d. For residential buildings, including townhouse complexes, the distance of the principle entrance to / from a street should not exceed 45m (as per RB14-042). The applicable path of travel shall also be continuously maintained and unobstructed.

Fire (Professional involvement, NBC AE 2.4.2.1(4)):
Residential buildings with 5 to 20 dwelling units must be imprinted with the seals or stamps of either a registered architectural professional, or one or more registered engineering professionals.

1.3.3.4. Building Size Determination:

a. Where a firewall divides a building, each portion of the building so divided shall be considered as a separate building, except when this requirement is specifically modified in other parts of this Code.

Should (somehow) the above not be possible and / or provided at the Building Permit (BP) stage, the applicant / developer may have to revisit their development proposal as to ensure adequate compliance with any / all relevant codes / code references.

Note:

For further details, contact Fire Department Technical Services at ryan.smith@calgary.ca OR 403-801-6595.

54. Site Servicing (hydrant location plan) is to be submitted and approved by the Fire Department prior to the Development Site Servicing Plan (DSSP) stage. One stamped plan is to be submitted with the Development Site Servicing Plan submission.

Note:

For further details, contact Fire Department Technical Services at ryan.smith@calgary.ca OR 403-801-6595.

55. Prior to the commencement of construction, alteration or demolition operations, a fire safety plan, accepted in writing by the Fire Department and the authority-having jurisdiction, shall be prepared for the site and conform to the requirements of the AFC 2014, Division B, 5.6.1.3. This document is required as a Building Permit condition for approval.

Note:

For further details, contact Fire Department Technical Services at ryan.smith@calgary.ca OR 403-801-6595.

56. As conveyed by River Engineering, Part 1:

All electrical and mechanical equipment within a building must be located at or above the designated flood level; and a sewer back up valve must be installed in every building.

The location is within the 1:100 Flood Fringe, as per Council approved regulatory flood maps located at: <https://www.calgary.ca/pda/pd/calgary-land-use-bylaw-1p2007/land-use-bylaw-1p2007-maps.html>. As such, development is subject to the Land Use Bylaw (LUB), Part 3, Division 3, Clauses 55, 59, & 60.

Flood elevation(s) applicable are as follows:

- The official designated flood level (1:100 flood elevation) is 1039.5m (geodetic)
- The draft 2020 AEP model 1:20 flood elevation is 1037.9m (geodetic)

Building Opening Elevation for Development within the Flood Hazard Area:

All building openings (basement windows, walk out basements, etc.) and adjacent landscaping grades are recommended to be at or above the 2020 AEPA 1:20 flood elevation. A 1:20 flood means a flood level that has a 5% chance of occurring in any year. The 1:20 flood elevation is 1037.9m (geodetic).

Note:

For further details, contact River Engineering at kyle.mckee@calgary.ca or 403-651-9485 OR sandra.davis@calgary.ca or 403-268-4344.

57. As conveyed by River Engineering, Part 2:

Groundwater Seepage:

Due to the location (proximity to the river), and due to the geography and nature of the soils in the area, groundwater levels are a concern for subgrade structures, and shall be considered in design. Structures with subsurface components, including parking garages and basements, should be designed for structural stability under elevated groundwater conditions during river flooding, or so that the foundation of such structures is above the groundwater elevation during a 1:100 river flood.

The following should be considered in future basement design:

- a. Design the building to prevent structural damage from elevated groundwater levels by floodwaters. Elevated groundwater levels may impact foundation dewatering, foundation water proofing, and structural design.
- b. Basements should not be utilized for the storage of immovable or hazardous materials that are flammable, explosive, or toxic.
- c. A sump pump with battery backup should be installed in the basement.
- d. The sump pump outfall pipe should be looped and discharged above the designated flood elevation (1039.5m, geodetic).
- e. A separate electrical circuit should be installed for the sump pump with the operating switch located above the designated flood elevation (1039.5m, geodetic).
- f. Installation of backflow prevention valve(s) on sewer lines or the elimination of gravity flow basement drains.
- g. No primary living spaces (i.e. bedrooms) below the designated flood elevation (1039.5m, geodetic).
- h. A water alarm should be installed in the basement to warn of groundwater seepage.

Note:

The designated flood elevation is 1039.5m (geodetic).

For further details, contact River Engineering at kyle.mckee@calgary.ca or 403-651-9485 OR sandra.davis@calgary.ca or 403-268-4344.

58. As conveyed by River Engineering, Part 3:

Inglewood Barrier:

Based on information gathered in the 2013 flood event, and analysis contained in the 2020 draft Alberta Environment and Protected Areas inundation maps, the Inglewood Flood Barrier provides mitigation up to a 1:100 flood. Design up to the 1:100 flood will increase resilience to flooding, but because of the decreased risk, River Engineering would support a relaxation of the designated flood elevation to the 1:20 flood elevation or higher.

The designated flood elevation is 1039.5m (geodetic).
The 1:20 flood elevation is 1037.9m (geodetic).

Living Spaces:

Due to the potential for overland and/or groundwater flooding during a 1:100 flood event, River Engineering advises against placing living spaces (i.e. bedrooms, secondary suites) below the designated flood elevation. Water can enter basements rapidly during a flood and become a life safety hazard, resulting in evacuations, and damage to the building and dwelling contents.

Densification:

Densification as a result of this development increases the risks associated with life safety, property damage and losses, as well as resident displacement during a flood. It is recommended that emergency plans for egress are put in place in the event of a flood. For information on how to prepare for emergencies, please refer to <https://www.calgary.ca/emergencies/preparedness.html>.

Note:

For further details, contact River Engineering at kyle.mckee@calgary.ca or 403-651-9485 OR sandra.davis@calgary.ca or 403-268-4344.

59. As conveyed by River Engineering, Part 4:

Province of Alberta Disaster Recovery:

The design of the building on the parcel may affect its ability to qualify for the Province of Alberta Disaster Recovery Program assistance, therefore it is recommended that the applicant contact the Alberta Emergency Management Agency at 1-888-671-1111 or drp.info@gov.ab.ca, to review any pertinent matters about the subject development. Note recent changes to the disaster assistance program in 2021 implemented a \$500,000 funding cap per homeowner application, and a one-time limit on disaster financial assistance per property.

Province of Alberta Flood Hazard Map Update:

Be advised that the Province of Alberta has recently updated the provincial flood hazard maps which form the basis for The City of Calgary's Land Use Bylaw flood hazard areas. These updates include a new approach to defining the flood hazard areas along the Bow and Elbow Rivers. For more information on the Provinces project, please see www.floodhazard.alberta.ca.

These updates may result in changes to the regulatory zones and designated flood elevations for the proposed development area. Changes to the Land Use Bylaw in response to the updated flood hazard maps are anticipated to be completed in 2025. For more information, please see <https://www.calgary.ca/rivervalleys>.

Note:

For further details, contact River Engineering at kyle.mckee@calgary.ca or 403-651-9485 OR sandra.davis@calgary.ca or 403-268-4344.

60. Water, sanitary and storm connections are available from 16A ST SE.

For further information, contact Utility Specialists at:

WA-ResourcesDevelopmentApprovals@calgary.ca OR 403-268-2693 OR jennifer.derbywagner@calgary.ca.

61. Show details of servicing and metering on Development Site Servicing Plan. Provide adequate water meter locations (100mm or larger, room adjacent to an exterior wall, 50mm or less, label water meter location) where services enter building. If static pressure exceeds 550 kPa install pressure reducing device after meter.
62. Maintain a 3.0m separation between Enmax facilities (power poles, light standards, transformer pads, catch basins, etc.) with the proposed water service.
63. Review with Fire Prevention Bureau at 403-815-1114 for on-site hydrant coverage and Siamese connection location(s). A site servicing (hydrant location plan) stamped by the Fire Prevention Bureau is to be submitted at the Development Site Servicing Plan stage. Principal entrance(s) are to be labeled on the plan.
64. Redundant services are to be disconnected at the source and new service installed at the owners expense.
65. Each unit must be individually metered.
66. Each titled parcel must have separate (direct) service connections to public mains.

For further information, contact Utility Specialists at:

WA-ResourcesDevelopmentApprovals@calgary.ca OR 403-268-2693 OR jennifer.derbywagner@calgary.ca.

67. Ensure that the water service separation from the foundation wall or piles is:
- 4.0m (100mm service or larger), or
 - 3.0m (50mm service or smaller), or
 - 2.0m when the foundation wall or piles extends vertically a minimum of 2.0m below the invert of the water pipe.
68. The applicant must apply for water and sewer connections as per City Standards.
69. The allowable stormwater run-off coefficient shall be 50 L/s/ha.
70. Surface ponding (trapped lows) should be designed to contain all the flow generated from the 100 year storm events.

71. Where possible, discharge of roof leaders should be directed onto grassed or pervious areas to help reduce the volume of runoff. Alternatively, the roof leaders may be directed to the on-site storm sewer system.
72. Controlled stormwater discharge is required for the subject site.
73. All on-site sewers are to be designed to City of Calgary specifications.
74. Ensure elevations of building slab and/or any building openings are 0.3m minimum above trap low spill elevations or the 100 year elevation, whichever is higher. The minimum grade within the lot adjacent to trap low must be 0.3m higher than the 1:100 year elevation in the trap low or spill elevation, whichever is higher. This minimum grade must be achieved within a 6.0m distance from the common property line of the lot and the road right-of-way.
75. Storm Redevelopment Fees (\$84 / m frontage) will be required at the service connection stage.
76. Stormwater emergency escape routes must be to a public roadway.
77. Locate any / all services and / or utilities in the field.

Coordinate with the utility owner(s) for the removal and/or relocation of existing utilities located within the subject parcel or the registration of an easement, or utility right of way for the protection of the utilities. All of the above is contingent to the satisfaction of the affected utility owner(s).

78. Any / all tree planting proposed to be located within road rights of way shall require a line assignment from Utility Line Assignments. This application consists of a letter, on letterhead, requesting approval to plant trees in the boulevard and six (6) scaleable landscape plans (1:250 or 1:500 preferred) indicating the following information:
 - a. Property lines
 - b. Curb/sidewalks
 - c. Species and caliper of proposed trees (evergreen and poplar trees are not permitted in boulevards)
 - d. Existing features (streetlight poles, hydrants, existing trees, utilities, etc.)
 - e. Dimensions from property line to all of the above features

Include the Development Permit number in your letter. Shrub and flowerbeds are not permitted in City boulevards. Due to the number of applications reviewed by this office, it will typically take two weeks for a response. The letter can be addressed to the Supervisor, Utility Line Assignments, 6th floor, 800 Macleod Trail SE, Calgary, Alberta T2P 2M5, Location #8026. Alternatively, the required information can be submitted to the ULA Support email as a PDF at ulasupport@calgary.ca.

For further details, contact ulasupport@calgary.ca.

79. For questions and concerns regarding waste storage facilities, refer to the Development Reviews: Design Standards for the Storage and Collection of Waste, found at:

<http://www.calgary.ca/UEP/WRS/Pages/Commercial-Services/Development-Permits-Waste-Recycling.aspx>

Garbage, recyclable materials and food and yard (organics) waste and recycling storage and/or collection areas shall be maintained and clear of snow and ice.

Secondary suites may not be eligible to receive a separate set of waste and recycling containers from The City of Calgary. Suites are expected to share the waste storage with the associated primary dwelling unit.

80. As advised by the Calgary Emergency Management Agency (CEMA):
- a. CEMA recommends that the design and construction of future structures strategically consider and mitigate, as best as possible, the impacts on the infrastructure and/or property in the event of a flood, where this parcel is in the 1:100 flood inundation level and therefore may be potentially affected overland flooding in the future.
 - b. CEMA encourages the consideration of all hazards, specifically relevant to Calgary (see Calgarys Disaster Risk Report 2022 for reference), and those in direct proximity to this parcel (freight rail corridor), as part of the design process to ensure Calgarys resilience.
 - c. The National Institute for Building Sciences Natural Hazard Mitigation Saves Report (2019) and Canadas Emergency Management Strategy (2021) speak to an average return on investment of 6:1 for every dollar spent on mitigation efforts. Where possible, build above minimum building code requirements to ensure this community is more resilient to impacts from severe weather events.

Note:

For further details, contact CEMA at michelle.feragen@calgary.ca OR 403-268-8850.

81. Ensure that development services (water, sanitary and storm) will not conflict with trees.

Mobility Engineering

82. The locations and design of driveways must be approved by Development Engineering. New driveways including driveway modifications, removal and rehabilitations of unused driveway crossings or relocations, sidewalks, wheelchair ramps, and lane paving must be constructed to City standards at the developers expense. Obstructions such as storm catch basins, hydrants, power poles, etc., must be relocated to City standards at developers expense.
83. Garage aprons / parkade access / loading areas / parking stalls at rear must tie to the existing lane grades. Lane grades will be provided on the grade slip issued by Development Servicing. It is the responsibility of developer, contractor, or homeowner to set the elevations of the garage slab based on the lot grading and to ensure that garage is operationally accessible and that it ties to established land grades. Lane grades are not to be altered without the approval of Roads.

84. The City does not grant approval for the placement of underground irrigation sprinkler systems in City owned lands or boulevards that are adjacent to the development site and are installed at the developers risk. The City of Calgary will not assume liability or responsibility for repair or replacement in event it has been damaged or destroyed during construction on City owned lands or boulevards by city workers or its authorized contractors.
85. In accordance with the [Encroachment Policy \(9M2020\)](#) adopted by Council on March 16, 2020 , encroachments of retaining walls, planters, entry features, building projections, etc. are not permitted to extend into the City right-of-way. New encroachments that are a result of this development are to be removed at the developers expense. Encroachments are subject to approval by the Encroachment Administrator, Real Estate & Development Services.
86. The development site is located within a residential parking zone as defined by the City of Calgary Traffic By-law and, as such, no long term non-residential parking is permitted on-street.
87. In keeping with the principles of Crime Prevention Through Environmental Design (CPTED), landscaping and fencing materials adjacent to pedestrian routes are to be of a height that minimizes potential hiding places and maximizes visual surveillance of the pedestrian route.

January 23, 2025

**DP 2024-07897 – 1614 16A STREET SE
RESPONSE TO DTR DATED ON DECEMBER 17, 2024**

PLANS HAVE BEEN AMENDED & NUMBERED WITH A RED CIRCLE

BYLAW DISCREPANCIES

1. 537 Building 2 has been reduced by 0.61m in depth to accommodate the front setback of building 1. The revised front setback is 3.14m to the build-out and 3.60m to the foundation.
2. 336 With the larger front setback, the landing only projects 0.31m into the 3.0m setback requirement. The revised landing area is 1.03m².
3. 541 The building 2 footprint has been reduced by 0.61m in depth. The new building height is 8.53m
4. **535 The proposed dual semi-detached buildings, section 535(2) cannot be applied. A RELAXATION from the City is requested.**
5. 542 The minimum of 30% soft landscaping has been achieved. 45.19% has been provided.
6. 542.2 The original proposed trees have been removed from the City property. 6 new trees with a minimum calliper of 60mm have been located within the proposed development.
7. 546.3 The garage has been shifted to the north side yard (0.71m setback) to allow for a garbage enclosure to the south side yard as required.
8. 546 4 bylaw compliant garage stalls have been provided.
9. 122 The minimum depth of the proposed garage stalls measured from the inside is 5.9m, the minimum width of the garage stalls measured from the inside is 3.0m
10. 13(90.3) Required mobility storage lockers = 0.5 lockers per unit or suite not provided with parking. 4 suites x 0.5 lockers = 2 lockers. Total mobility storage lockers provided are 2 which are attached and located at the rear of building 1. The minimum length of the lockers measured from the inside is 2.8m.
Bicycle parking stalls – Class 1, required 1 stall per suite where a vehicle parking stall or mobility storage locker is not provided. 2 Class 1 bicycle stalls have been provided.

Prior to Decision Requirements:

5. Detailed lighting c/w mounting height is shown on page A4.
6. The garbage enclosure has been added. Waste Calculations, waste capacity required (8 units) x (0.24m³/week) = 1.92m³. Cart capacity = 0.246m³. Number of carts required – 1.92m³ / 0.246m³ = 8 carts total provided.
7. The proposed trees have been removed from the City Boulevard.

Utility Engineering:

8, 56, 57, 58 & 59 As conveyed by the River Engineering (Item 58):

We are requesting that the River Engineering support a relaxation of the designated flood elevation of 1:20 (1037.90m) as per the Inglewood Barrier.

The proposed dual semi-detached buildings main floor geodetic is 1.32m above the 1:20 flood elevation.

The proposed development located on R-CG zoned lot, will maintain the legal basement suites. To mitigate and minimize property damage caused by flooding, the following construction practices will be implemented:

- The proposed buildings will be designed to prevent structural damage by floodwaters
- The proposed basement windows are located above the 1:20 flood elevation
- The proposed basement development will have a furnace which will be ceiling hung and be located above the 1:20 flood elevation.
- The proposed basement development will have a tankless hot water heater, wall mounted above the 1:20 flood elevation.
- The proposed basement development will have an electrical panel located above the 1:20 flood elevation.
- It is recommended that the basement suites include the installation of a subfloor drainage system. The subfloor drainage system should include 40 mm drain rock below the entire building footprint with a grid of weeping tile directing captured water to sump pits with appropriately sized submersible pumps. All drain rock must be wrapped in non-woven geotextile filter fabric to separate the subfloor drainage system gravel from the native soils and prevent migration of fine soil particles. Emergency secondary power should be provided for the submersible pump in the case of a power outage such that pumping of groundwater can continue until primary power is restored. Power outages or pump failures could result in flooding of below-grade developed space if adequate backup systems are not available. Grading of the bottom of the excavation should provide positive drainage towards the sump pit(s) at a minimum 1% grade. Weeping tile should also be installed along the exterior of the perimeter footings. Groundwater collected from the sump and weeping tile should be drained to either a nearby stormwater system or pumped to surface to nearby overland drainage (provided that site grading will provide drainage away from the dwelling and other adjacent structures).
- The proposed development will include the installation of a sewer back-up valve.
- The proposed foundation wall will be treated with waterproofing (watchdog).
- Electrical shut-off switch will be located on the exterior wall above the 1:20 flood elevation.
- The proposed basement development will have a water alarm installed to warn of groundwater seepage.

9. Site grading has been amended on the revised plans



SUBURBIA DESIGNS CO.



RE: Detailed Review (DR)

Development Permit Number: DP2024-07897

Based on the plans received, your application has been reviewed in order to determine compliance with the Land Use Bylaw and applicable City policies. Any variance from the Land Use Bylaw or City policies may require further discussion or revision prior to a decision being rendered.

The City endeavors to render decisions on applications within specific service standards. Please assist us in meeting these targets by ensuring your resubmission is complete and made in a timely manner. Please submit a digital set of the amended plan, in PDF format, along with a detailed response letter on how each of the Prior to Decision and/or Prior to Release conditions have been addressed and/or resolved.

This information must be received, in its entirety, no later than April 06, 2025. If a complete submission is not received by this date, the development permit may be inactivated and subject to a reactivation fee. If the development permit application is not reactivated, it may be cancelled by Administration as per Land Use Bylaw 1P2007, Section 41.1. If you require additional time to respond to the conditions outlined in this Detailed Review document, please let me know by contacting me.

Should you have any questions or concerns, please contact me at or by email at jenny.sepulveda@calgary.ca.

Sincerely,

JENNY SEPULVEDA
Planner 1



Detailed Review 2 – Development Permit

Application Number:	DP2024-07897
Application Description:	New: Semi-detached Dwelling (2 buildings), Secondary Suite (4 suites), Accessory Residential Building (garage)
Land Use District:	Residential - Grade-Oriented Infill
Use Type:	Discretionary
Site Address:	1614 16A ST SE
Community:	INGLEWOOD
Applicant:	SUBURBIA DESIGNS CO.
Date DR Sent:	March 6, 2025
Response Due Date:	April 06, 2025
Planning:	JENNY SEPULVEDA jenny.sepulveda@calgary.ca
Utility Engineering:	CHRIS FLEETWOOD (403) 268-5690 Chris.Fleetwood@calgary.ca
Mobility Engineering:	HILARY ENNS 403-200-8641 Hilary.Enns@calgary.ca

Bylaw Discrepancies

These discrepancies will likely need to be addressed to ensure compliance with the regulations. Please amend the plans to resolve the bylaw discrepancies.

Bylaw Discrepancies		
Regulation	Standard	Provided
535 Building Depth and Separation	(1) Unless otherwise referenced in subsections (2) and (3) the maximum building depth is 65.0% of the parcel depth for a building containing a unit.	Plans indicate the building depth for Building 2 as being 77.20% (+12.20%) or 30.54m (+4.84m). Note: Section 535(2) cannot be applied as the development does not comply with building separation.
Permitted Contextual Use Rules		
Regulation	Standard	Provided
<i>N/A as per Section 347.1(5) A Contextual Semi-detached Dwelling must not be located on a parcel that contains more than one main residential building.</i>		

Track your application on-line with VISTA. Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

Prior to Decision Requirements

The following issues must be addressed by the Applicant through a written submission and amended plans prior to a decision by the Approving Authority:

Planning

1. The development, as proposed, is not supported for the following reasons:
 - A relaxation to Part 5, Division 11, Section 535 (Building Depth and Separation) cannot be granted, as the plans indicate that the building depth for Building 2 is 77.20% (+12.20%) or 30.54m (+4.84m). Additionally, Section 535(2) regarding building separation does not comply with the bylaw.
 - Not all the PTD requirements from Utility Engineering have been resolved. All outstanding requirements must be clarified or justified to support the relaxation.

Indicate, in writing, the manner in which the application will proceed:

(A) Request **cancellation** of the application. Any applicable fee refund will be determined at the time of cancellation.

(B) **Pursue** the application, as proposed, with a decision of refusal by the Development Authority. The refusal will be based on the comments listed above.

OR

(C) **Amend** the application to address all prior to decision conditions of this detailed review (DR).

If option (C) is pursued, the last day to respond to the detailed review is thirty days from the date the detailed review was issued (see cover page of detailed review for exact date).

2. The proposed building depth exceeds the Land Use Bylaw by 4.84m, and no comply with the building separation, a relaxation will not be supported. Please consider reducing the building size to comply with the bylaw requirements.
3. Amend plans to address the bylaw discrepancies noted on the Bylaw Discrepancies Table of this document. Alternatively, provide a planning rationale in a written submission supporting any proposed relaxations to address the Bylaw Discrepancies noted in the table.
4. Proposed Landscape Schedule states 4 "Syringa Reticulata" to be planted on City Boulevard. Amend the proposed Landscape Schedule to indicate 6 Syringa Reticulata to be planted on private property.

Utility Engineering

5. Amend all relevant plans/details to:

River Engineering (Flood Fringe):

a. Relocate any / all electrical and mechanical equipment (i.e. furnaces, hot water tanks, mechanical rooms, electrical panels, etc.), as so that said equipment is located at OR above the designated 1:100 year flood level of 1039.50m (geodetic). See the below Updates, as relaxation is requested by the applicant and River Engineering has reviewed the latest Amended Plans. The applicant is required to further amend the plans (see Updates below), in order for relaxation (from River Engineering) to be considered.

Notes:

-The proposed development is within the 1:100 year Flood Fringe flood risk area, as per Council approved flood maps located at:

<http://www.calgary.ca/PDA/pd/Pages/Planning-and-development-resource-library/Land-Use-bylaw-1P2007-maps.aspx>.

- Land Use Bylaw 1P2007, Part 3, Division 3 Flood Fringe Regulations apply.
- The designated (1:100 year) flood elevation is 1039.50m (geodetic).
- The 1:20 year Draft 2020 AEP model flood elevation is 1037.90m (geodetic).

Updates:

-The main floors are proposed to be situated at 1038.92m; up from 1038.84m, as originally submitted. This is below the designated 1:100 flood level of 1039.5m. River Engineering is willing to provide a relaxation to the proposed main floor level, given the protection afforded by the Inglewood Flood Barrier.

-Electrical panels, tankless H.W.T.s, and furnaces are shown below the 1:100 designated flood level in the basement levels / suites. River Engineering would support a relaxation (location of that equipment) to the 1:20 elevation (or higher) for this equipment, given the protection from the Inglewood Flood Barrier. Ensure all plans clearly show this equipment at / above the 1:20 elevation of 1037.90m (basement level plans / section plans). Its acknowledged that the furnaces are shown to be above the 1:20, however the electrical panels and tankless water heaters must also be at / above this level. Amend the plans accordingly (basement level plans / section plans).

-River Engineering strongly recommends that water alarms be shown / labelled, as to be installed in the mechanical rooms.

For further details, contact River Engineering at kyle.mckee@calgary.ca or 403-651-9485 OR sandra.davis@calgary.ca or 403-268-4344.

6. Amend the plans to:

Water Servicing:

a. Indicate an adequate Water Meter Area, where each Water Meter Area is shown / located within the basement level for each proposed building, internal to each building, where the services (50mm and smaller) enter each building.

Note:

Track your application on-line with VISTA. Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

Important to note that only one Water Meter Area is to be shown (as described above) within the basement level of each proposed building. The Water Meter Areas are to house all meters for all units (for each proposed building) in each area. There cannot be more than one Water Meter Area in the basement level for each building. Each unit is to be metered. Water Meter Areas are to not be located beneath stairs and / or in areas where a minimum 2.0m vertical clearance is provided.

The applicant (latest plans) now shows multiple Optional Water Meter Areas in the basement level for each building (which will not be acceptable). It is strongly recommended to coordinate accordingly with a qualified Civil Engineering professional, and or contact the below.

For further information, contact Utility Specialists at:
WA-ResourcesDevelopmentApprovals@calgary.ca OR 403-268-2693 OR
jennifer.derbywagner@calgary.ca.

Prior to Release Requirements

The following requirements shall be met prior to the release of the permit. All requirements shall be resolved to the satisfaction of the Approving Authority:

Planning

7. For the full release of the DP, you will have to arrange the payment for the offsite levy in the case the Development Permit referenced in the subject line has been or will be conditionally approved.

The estimate indicates the offsite levy is outstanding, and the amount payable is: \$13,226.00

Utility Engineering

8. Submit an electronic Development Site Servicing Plan (DSSP) circulation, for review and acceptance, as required by Section 5 (2) of the Utility Site Servicing Bylaw 33M2005.

For further information, refer to the following:

Development Site Servicing Plan Webpage

<https://www.calgary.ca/uep/water/specifications/water-development-resources/development-site-servicing-plans.html>

Development Site Servicing Plans CARL (requirement list)

<http://www.calgary.ca/PDA/pd/Pages/Permits/carl-building-development-permit-search.aspx>

Note:

For further information, contact Utility Specialists at:
WA-ResourcesDevelopmentApprovals@calgary.ca OR 403-268-2693 OR
jennifer.derbywagner@calgary.ca.

9. After the Development Permit is approved but prior to its release, the landowner shall execute an Off-Site Levy Agreement for the payment of off-site levies pursuant to Bylaw 1H2024.

Based on the information provided with the initial submission, the preliminary estimate is \$12,659.20.

Note(s):

- Should payment be made prior to release of the development permit, an Off-Site Levy Agreement will not be required.
- Include the completed Payment Submission Form, which was emailed to the applicant.
- Only certified cheques or bank drafts made payable to the City of Calgary are acceptable.

Track your application on-line with VISTA. Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

To obtain an off-site levy agreement or for further information, contact the Infrastructure Strategist, Development Commitments, at 587-215-6253 OR yunpeng.qin@calgary.ca OR offsitelevy@calgary.ca.

Permanent Conditions

The following permanent conditions shall apply:

Planning

10. The Permanent Conditions will be finalized at the time of Development Authority decision.
11. The development shall be completed in its entirety, in accordance with the approved plans and conditions. The stamped and signed plans are a legal document.
12. No changes to the approved plans shall take place unless authorized by the Development Authority. If changes to the development occur or are proposed, a new development permit or revised plan application may be required.
13. A development completion permit must be issued for the development before the use is commenced or the development occupied. A development completion permit is independent from the requirements of City of Calgary Building Regulations inspections and permission for occupancy. Request a development completion permit inspection by visiting inspections.calgary.ca or call 403-268-5311.
14. When the main floor is constructed, submit the surveyed geodetic elevation to Geodetic.Review@Calgary.ca
15. When the main floor of each building is constructed, submit the geodetic elevation to Geodetic.Review@Calgary.ca
16. No stockpiling or dumping of construction materials is permitted on the adjacent boulevard.
17. Any damage to public boulevards resulting from development activity, construction staging or materials storage, or construction access will require restoration at the developer's expense. The disturbed area shall be maintained until planting is established and approved by the Parks Development Inspector. Contact the Development Inspector, Jackie Swartz at 403-620-3216, for an inspection.
18. In order to ensure the integrity of the boulevard, construction access is only permitted through the 17 ST. SE and outside the dripline of public tree(s), per the approved Tree Protection Plan.
19. In order to ensure the integrity of boulevard no grade changes are permitted in the boulevard within the drip lines of the trees.
20. In order to ensure the integrity of the boulevard, there shall be a minimum 3 metre separation, ideally the full length of the canopy, between the trunk and any new/proposed structures, (i.e. driveways and walkways).

Track your application on-line with VISTA. Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

Utility Engineering

21. For all soil disturbing projects, the developer, or their representative, shall designate a person to inspect all erosion and sediment control practices a minimum of every seven (7) days and during, or within 24 hours of, the onset of significant precipitation (> 12mm of rain in 24 hours, or rain on wet or thawing soils) or snowmelt events. Note that some practices may require daily or more frequent inspection. Erosion and sediment control practices shall be adjusted to meet changing site and winter conditions.
22. Stormwater runoff must be contained and managed in accordance with the Stormwater Management & Design Manual all to the satisfaction of the Manager, Development Engineering.
23. The grades indicated on the approved Development Site Servicing Plan(s) must match the grades on the approved Development Permit plans. Upon a request from the Development Authority, the developer or owner of the titled parcel must confirm under seal from a Consulting Engineer or Alberta Land Surveyor, that the development was constructed in accordance with the grades submitted on the Development Permit and Development Site Servicing Plan.
24. If during construction of the development, the developer, the owner of the titled parcel, or any of their agents or contractors becomes aware of any contamination,
 - a. the person discovering such contamination shall immediately report the contamination to the appropriate regulatory agency including, but not limited to, Alberta Environment, Alberta Health Services and The City of Calgary (311).
 - b. on City of Calgary lands or utility corridors, The City of Calgary, Environmental and Safety Management division shall be immediately notified (311).
25. No trees, shrubs, buildings, permanent structures or unauthorized grade changes are permitted within utility rights-of-way.
26. Pursuant to Bylaw 1H2024, off-site levies are applicable.

After approval of the Development Permit but prior to issuance of a Development Completion Permit or any occupancy of the building, payment shall be made for off-site levies pursuant to Bylaw 1H2024.

Note(s):

-Include the completed Payment Submission Form, which was emailed to the applicant.

-Only certified cheques or bank drafts made payable to the City of Calgary are acceptable.

To obtain a final estimate contact the Infrastructure Strategist, Development Commitments, at 587-215-6253 OR yunpeng.qin@calgary.ca OR offsitelevy@calgary.ca.

27. The development site lies within the Flood Fringe, and as such must conform to Land Use Bylaw 1P2007, Part 3, Division 3.

Mobility Engineering

28. The developer shall be responsible for the cost of public work and any damage during construction in City road right-of-ways, as required by the Manager, Development Engineering. All work performed on public property shall be done in accordance with City standards.
29. Indemnification Agreements are required for any work to be undertaken adjacent to or within City rights-of-way, bylawed setbacks and corner cut areas for the purposes of crane operation, shoring, tie-backs, piles, surface improvements, lay-bys, utility work, +15 bridges, culverts, etc. All temporary shoring, etc., installed in the City rights-of-way, bylawed setbacks and corner cut areas must be removed to the satisfaction of the Manager, Development Engineering, at the applicant's expense, upon completion of the foundation. Prior to permission to construct, contact the Indemnification Agreement Coordinator, Roads at roadsia@calgary.ca
30. The approved driveway(s) required for this development must be constructed to the ramp grades as shown on the approved Development Permit plans. Negative sloping of the driveway within the City boulevard is not acceptable. If actual grades do not match the approved grades, the developer/owner shall be responsible for all costs to remove and reconstruct the entire driveway ramp in accordance with approved grades.

Advisory Comments

The following advisory comments are provided as a courtesy to the Applicant and registered property owner. The comments represent some, but not all of the requirements contained in the Land Use Bylaw that must be complied with as part of this approval.

Planning

31. The Advisory Comments will be finalized at the time of Development Authority decision.
32. The Applicant may appeal the decision of the Development Authority, including any of the conditions of the development permit. If you decide to file an appeal, please refer to the notification of decision letter for the appropriate appeal body and appeal process.
33. The site is within the 30 to 35 noise exposure forecast lines and is subject to the Airport Vicinity Protection Area Regulation.
34. The site is within the 30 to 35 noise exposure forecast lines and is subject to the Airport Vicinity Protection Area Regulation.
35. The approval of this development permit does not limit in any way the application of any federal, provincial, or municipal law, policy, code, regulation, bylaw, and/or guideline, nor does it constitute any permit or permission under any federal, provincial, or municipal law, policy, code, regulation, bylaw, and/or guideline.
36. In addition to this development permit, building permits may also be required. Building permit applications may be submitted upon approval of the associated development permit. Contact Building Regulations at 403-268-5311 for further information.
37. This development permit has not been reviewed for potential issues with the National Building Code - current Alberta Edition. You may require a Building Permit in addition to this development permit in which case compliance with the Code will be assessed through a Building Permit application. Should a Building Permit review require changes to the approved development permit, the changes must be to the satisfaction of the Development Authority and are potentially subject to a new development permit.
38. All plumbing services including sanitary, storm and water must be verified onsite by the owner and/or builder to ensure the size and location is compliant with the National Plumbing Code of Canada for the number of fixtures being installed. The waterline must be of the size that is indicated on the grade slip, but in no case smaller than 1 in size.
39. A minimum of 1.0 tree and 3.0 shrubs must be provided for each 110.0 square meters of parcel area. This may be accomplished by planting new trees or preserving existing trees. The trees must be of a species capable of healthy growth in Calgary and must conform to the standards of the Canadian Nursery

Landscape Association. To satisfy the requirement of one tree, the following sizes must be met:

- a. A deciduous tree with a minimum calliper of 50.0mm; or
- b. A coniferous tree with a minimum height of 2.0 metres.

To satisfy the requirement of two trees, the following sizes must be met:

- a. A deciduous tree with a minimum calliper of 85.0mm; or
- b. A coniferous tree with a minimum height of 4.0 metres.

The required trees must be provided on the parcel within 12 months of issuance of the development completion permit (DCP) and maintained for a minimum of 24 months after issuance of the DCP.

- 40. There are many types of caveats and other agreements that can be registered on the title of the property that can restrict the ability to develop. The City has not reviewed or considered all instruments registered on the title to this property. Property owners must evaluate whether this development is in compliance with any documents registered on title.
- 41. A basement on this parcel has the potential for flooding due to groundwater seepage during periods of high river flow, based on information gathered in the 2013 flood event, analysis contained in the "Bow River and Elbow River Hydraulic Model and Flood Inundation Mapping Update" (2015, City of Calgary and Alberta Environment), and the 2020 draft Alberta Environment and Parks inundation maps. The following should be considered in basement design:
 - a. Design the building to prevent structural damage from elevated groundwater levels during periods of high river flow. Elevated groundwater levels may impact foundation dewatering, foundation water proofing, and structural design.
 - b. Basements should not be utilized for the storage of immovable or hazardous materials that are flammable, explosive, or toxic.
 - c. A sump pump with battery backup should be provided in the basement.
 - d. The sump pump outfall pipe should be looped and discharged above the designated flood level
 - e. A separate electrical circuit should be provided for the sump pump with the operating switch located above the designated flood level.
 - f. Installation of backflow prevention valve(s) on sewer lines and/or the elimination of gravity flow basement drains.
 - g. No primary living spaces (e.g. bedrooms) below the designated flood level.
 - h. A water alarm should be installed in the basement to warn of groundwater seepage.
- 42. Enhanced on-site landscaping is recommended to improve the overall impact on the public realm and outdoor spaces. Refer to the [Landscape Design Guide for Small Residential Sites](#).
- 43. The Streets Bylaw (20M88) and the Tree Protection Bylaw (23M2002) contain clauses intended to protect trees growing on Public Land. No person shall remove, move, cut, or prune a Public Tree or cause a Public Tree to be removed, moved, cut or pruned without prior written authorization from the Director, Parks. A copy of the bylaw can be found at www.calgary.ca. Parks does not permit the removal of public trees to facilitate development unless all options to retain and protect are exhausted.

44. If clearance pruning of public trees is required, Urban Forestry must be notified (minimum two business days notice) and an indemnified contractor must be used at the applicants expense. Please contact Urban Forestry at 311 for more information.
45. As part of the Tree Protection Bylaw, a Tree Protection Plan will be required when a development, construction activity, or a disturbance occurring on the City Boulevard is within 6 metres of a boulevard tree. For more information about submitting your tree protection plan visit www.calgary.ca and search protecting trees during construction and development; alternatively, call 311 or email tree.protection@calgary.ca. Applicant is to apply for tree protection plan prior to demolition.
46. Community Engagement is an expectation for redevelopment applications. The applicant is strongly encouraged to proactively reach out to the Inglewood Community Association, nearby neighbours, and the Ward 9 Councillor's Office (Gian-Carlo Carra) for their feedback on the proposal. The applicant shall submit an Applicant Outreach summary explaining what community outreach efforts were undertaken.
[Community Outreach on Planning and Development](#)
47. The Streets Bylaw (20M88) and the Tree Protection Bylaw (23M2002) contain clauses intended to protect trees growing on Public Land. No person shall remove, move, cut, or prune a Public Tree or cause a Public Tree to be removed, moved, cut or pruned without prior written authorization from the Director, Parks. A copy of the bylaw can be found at www.calgary.ca. Parks does not permit the removal of public trees to facilitate development unless all options to retain and protect are exhausted.
48. Tree plantings within City of Calgary boulevards and/or right of ways are subject to approval from Utility Line Assignment and Parks. No person shall plant trees or shrubbery on City Lands without prior written authorization from the Manager, Parks and in the case of walkways, medians, boulevards, and road rights of way, without additional prior written authorization from the Manager, Water Resources.
49. As part of the Tree Protection Bylaw, a Tree Protection Plan will be required when a development, construction activity, or a disturbance occurring on the City Boulevard is within 6 metres of a boulevard tree. For more information about submitting your tree protection plan visit www.calgary.ca and search protecting trees during construction and development; alternatively, call 311 or email tree.protection@calgary.ca. Applicant is to apply for tree protection plan prior to demolition.

Utility Engineering

50. The developer is responsible for ensuring that:
 - a. The environmental conditions of the subject property and associated utility corridors meet appropriate regulatory criteria and appropriate environmental assessment, remediation or risk management is undertaken.
 - b. Appropriate environmental assessment(s) of the property has been undertaken and, if required, a suitable remedial action plan and/or risk

management plan has been prepared, reviewed and accepted by the appropriate regulatory agency(s) including but not limited to Alberta Environment and Alberta Health Services.

- c. The development conforms to any reviewed and accepted remedial action plan/risk management plans.
- d. All reports are prepared by a qualified professional in accordance with accepted guidelines, practices and procedures that include but are not limited to those in the most recent versions of the Canadian Standards Association and City of Calgary Phase I & II Environmental Site Assessment Terms of Reference.
- e. The development is in compliance with applicable environmental approvals (e.g. Alberta Environment Approvals, Registrations, etc), Energy Resources Conservation Board approvals and related setback requirements, and landfill setback requirements as set out in the Subdivision and Development Regulation.

If the potential for methane generation or vapours from natural or contaminated soils and groundwater has been identified on the property, the developer is responsible for ensuring appropriate environmental assessment(s) of the property has been undertaken and appropriate measures are in place to protect the building(s) and utilities from the entry of methane or other vapours.

Issuance of this permit does not absolve the developer from complying with and ensuring the property is developed in accordance to applicable environmental legislation.

51. As typically advised by Fire Department Technical Services, ahead of the Building Permit (BP) submission:

Fire (Primary Fire Access Route Design):

- a. Access for fire department equipment shall be provided to each building by means of a street, private roadway or yard. This is / will be relevant as per code reference 9.10.20.3.(1).
- b. Special variations could be permitted for a house and/or residential building that is protected with an automatic sprinkler system. Said sprinkler system must be designed in accordance with the appropriate NFPA standard, and there must be assurance that water supply pressure and quantity are unlikely to fail. These considerations could apply to buildings that are located on the sides of hills and are not conveniently accessible by roads designed for firefighting equipment and also to infill housing units that are located behind other buildings on a given property. This is / will be applicable as per code reference A 9.10.20.3.(1) Fire Department Access Route Modification. Important to note that some buildings and / or units may be subject to being sprinklered. This shall be further determined at the Building Permit (BP) stage.
- c. Where access to a building as required, and is provided by means of a roadway or yard, the design (and location) of such roadway or yard shall take into account connection with public thoroughfares, weight of firefighting equipment, width of roadway, radius of curves, overhead clearance, location of fire hydrants, location of fire department connections and vehicular parking.
- d. For residential buildings, including townhouse complexes, the distance of the principle entrance to / from a street should not exceed 45m (as per RB14-042). The applicable path of travel shall also be continuously maintained and unobstructed.

Fire (Professional involvement, NBC AE 2.4.2.1(4)):
Residential buildings with 5 to 20 dwelling units must be imprinted with the seals or stamps of either a registered architectural professional, or one or more registered engineering professionals.

1.3.3.4. Building Size Determination:

a. Where a firewall divides a building, each portion of the building so divided shall be considered as a separate building, except when this requirement is specifically modified in other parts of this Code.

Should (somehow) the above not be possible and / or provided at the Building Permit (BP) stage, the applicant / developer may have to revisit their development proposal as to ensure adequate compliance with any / all relevant codes / code references.

Note:

For further details, contact Fire Department Technical Services at ryan.smith@calgary.ca OR 403-801-6595.

52. Site Servicing (hydrant location plan) is to be submitted and approved by the Fire Department prior to the Development Site Servicing Plan (DSSP) stage. One stamped plan is to be submitted with the Development Site Servicing Plan submission.

Note:

For further details, contact Fire Department Technical Services at ryan.smith@calgary.ca OR 403-801-6595.

53. Prior to the commencement of construction, alteration or demolition operations, a fire safety plan, accepted in writing by the Fire Department and the authority-having jurisdiction, shall be prepared for the site and conform to the requirements of the AFC 2014, Division B, 5.6.1.3. This document is required as a Building Permit condition for approval.

Note:

For further details, contact Fire Department Technical Services at ryan.smith@calgary.ca OR 403-801-6595.

54. As conveyed by River Engineering, Part 1:

All electrical and mechanical equipment within a building must be located at or above the designated flood level; and a sewer back up valve must be installed in every building.

The location is within the 1:100 Flood Fringe, as per Council approved regulatory flood maps located at: <https://www.calgary.ca/pda/pd/calgary-land-use-bylaw-1p2007/land-use-bylaw-1p2007-maps.html>. As such, development is subject to the Land Use Bylaw (LUB), Part 3, Division 3, Clauses 55, 59, & 60.

Flood elevation(s) applicable are as follows:

- The official designated flood level (1:100 flood elevation) is 1039.5m (geodetic)
- The draft 2020 AEP model 1:20 flood elevation is 1037.9m (geodetic)

Building Opening Elevation for Development within the Flood Hazard Area:

All building openings (basement windows, walk out basements, etc.) and adjacent landscaping grades are recommended to be at or above the 2020 AEPA 1:20 flood elevation. A 1:20 flood means a flood level that has a 5% chance of occurring in any year. The 1:20 flood elevation is 1037.9m (geodetic).

Note:

For further details, contact River Engineering at kyle.mckee@calgary.ca or 403-651-9485 OR sandra.davis@calgary.ca or 403-268-4344.

55. As conveyed by River Engineering, Part 2:

Groundwater Seepage:

Due to the location (proximity to the river), and due to the geography and nature of the soils in the area, groundwater levels are a concern for subgrade structures, and shall be considered in design. Structures with subsurface components, including parking garages and basements, should be designed for structural stability under elevated groundwater conditions during river flooding, or so that the foundation of such structures is above the groundwater elevation during a 1:100 river flood.

The following should be considered in future basement design:

- a. Design the building to prevent structural damage from elevated groundwater levels by floodwaters. Elevated groundwater levels may impact foundation dewatering, foundation water proofing, and structural design.
- b. Basements should not be utilized for the storage of immovable or hazardous materials that are flammable, explosive, or toxic.
- c. A sump pump with battery backup should be installed in the basement.
- d. The sump pump outfall pipe should be looped and discharged above the designated flood elevation (1039.5m, geodetic).
- e. A separate electrical circuit should be installed for the sump pump with the operating switch located above the designated flood elevation (1039.5m, geodetic).
- f. Installation of backflow prevention valve(s) on sewer lines or the elimination of gravity flow basement drains.
- g. No primary living spaces (i.e. bedrooms) below the designated flood elevation (1039.5m, geodetic).
- h. A water alarm should be installed in the basement to warn of groundwater seepage.

Note:

The designated flood elevation is 1039.5m (geodetic).

For further details, contact River Engineering at kyle.mckee@calgary.ca or 403-651-9485 OR sandra.davis@calgary.ca or 403-268-4344.

56. As conveyed by River Engineering, Part 3:

Inglewood Barrier:

Based on information gathered in the 2013 flood event, and analysis contained in the 2020 draft Alberta Environment and Protected Areas inundation maps, the Inglewood Flood Barrier provides mitigation up to a 1:100 flood. Design up to the 1:100 flood will increase resilience to flooding, but because of the decreased risk, River Engineering would support a relaxation of the designated flood elevation to the 1:20 flood elevation or higher.

The designated flood elevation is 1039.5m (geodetic).
The 1:20 flood elevation is 1037.9m (geodetic).

Living Spaces:

Due to the potential for overland and/or groundwater flooding during a 1:100 flood event, River Engineering advises against placing living spaces (i.e. bedrooms, secondary suites) below the designated flood elevation. Water can enter basements rapidly during a flood and become a life safety hazard, resulting in evacuations, and damage to the building and dwelling contents.

Densification:

Densification as a result of this development increases the risks associated with life safety, property damage and losses, as well as resident displacement during a flood. It is recommended that emergency plans for egress are put in place in the event of a flood. For information on how to prepare for emergencies, please refer to <https://www.calgary.ca/emergencies/preparedness.html>.

Note:

For further details, contact River Engineering at kyle.mckee@calgary.ca or 403-651-9485 OR sandra.davis@calgary.ca or 403-268-4344.

57. As conveyed by River Engineering, Part 4:

Province of Alberta Disaster Recovery:

The design of the building on the parcel may affect its ability to qualify for the Province of Alberta Disaster Recovery Program assistance, therefore it is recommended that the applicant contact the Alberta Emergency Management Agency at 1-888-671-1111 or drp.info@gov.ab.ca, to review any pertinent matters about the subject development. Note recent changes to the disaster assistance program in 2021 implemented a \$500,000 funding cap per homeowner application, and a one-time limit on disaster financial assistance per property.

Province of Alberta Flood Hazard Map Update:

Be advised that the Province of Alberta has recently updated the provincial flood hazard maps which form the basis for The City of Calgary's Land Use Bylaw flood hazard areas. These updates include a new approach to defining the flood hazard areas along the Bow and Elbow Rivers. For more information on the Provinces project, please see www.floodhazard.alberta.ca.

These updates may result in changes to the regulatory zones and designated flood elevations for the proposed development area. Changes to the Land Use Bylaw in response to the updated flood hazard maps are anticipated to be completed in 2025. For more information, please see <https://www.calgary.ca/rivervalleys>.

Note:

For further details, contact River Engineering at kyle.mckee@calgary.ca or 403-651-9485 OR sandra.davis@calgary.ca or 403-268-4344.

58. Water, sanitary and storm connections are available from 16A ST SE.

For further information, contact Utility Specialists at:

WA-ResourcesDevelopmentApprovals@calgary.ca OR 403-268-2693 OR jennifer.derbywagner@calgary.ca.

59. Show details of servicing and metering on Development Site Servicing Plan. Provide adequate water meter locations (100mm or larger, room adjacent to an exterior wall, 50mm or less, label water meter location) where services enter building. If static pressure exceeds 550 kPa install pressure reducing device after meter.
60. Maintain a 3.0m separation between Enmax facilities (power poles, light standards, transformer pads, catch basins, etc.) with the proposed water service.
61. Review with Fire Prevention Bureau at 403-815-1114 for on-site hydrant coverage and Siamese connection location(s). A site servicing (hydrant location plan) stamped by the Fire Prevention Bureau is to be submitted at the Development Site Servicing Plan stage. Principal entrance(s) are to be labeled on the plan.
62. Redundant services are to be disconnected at the source and new service installed at the owners expense.
63. Each unit must be individually metered.
64. Each titled parcel must have separate (direct) service connections to public mains.

For further information, contact Utility Specialists at:

WA-ResourcesDevelopmentApprovals@calgary.ca OR 403-268-2693 OR jennifer.derbywagner@calgary.ca.

65. Ensure that the water service separation from the foundation wall or piles is:
- 4.0m (100mm service or larger), or
 - 3.0m (50mm service or smaller), or
 - 2.0m when the foundation wall or piles extends vertically a minimum of 2.0m below the invert of the water pipe.
66. The applicant must apply for water and sewer connections as per City Standards.
67. The allowable stormwater run-off coefficient shall be 50 L/s/ha.
68. Surface ponding (trapped lows) should be designed to contain all the flow generated from the 100 year storm events.

69. Where possible, discharge of roof leaders should be directed onto grassed or pervious areas to help reduce the volume of runoff. Alternatively, the roof leaders may be directed to the on-site storm sewer system.
70. Controlled stormwater discharge is required for the subject site.
71. All on-site sewers are to be designed to City of Calgary specifications.
72. Ensure elevations of building slab and/or any building openings are 0.3m minimum above trap low spill elevations or the 100 year elevation, whichever is higher. The minimum grade within the lot adjacent to trap low must be 0.3m higher than the 1:100 year elevation in the trap low or spill elevation, whichever is higher. This minimum grade must be achieved within a 6.0m distance from the common property line of the lot and the road right-of-way.
73. Storm Redevelopment Fees (\$84 / m frontage) will be required at the service connection stage.
74. Stormwater emergency escape routes must be to a public roadway.
75. Locate any / all services and / or utilities in the field.

Coordinate with the utility owner(s) for the removal and/or relocation of existing utilities located within the subject parcel or the registration of an easement, or utility right of way for the protection of the utilities. All of the above is contingent to the satisfaction of the affected utility owner(s).

76. Any / all tree planting proposed to be located within road rights of way shall require a line assignment from Utility Line Assignments. This application consists of a letter, on letterhead, requesting approval to plant trees in the boulevard and six (6) scaleable landscape plans (1:250 or 1:500 preferred) indicating the following information:
 - a. Property lines
 - b. Curb/sidewalks
 - c. Species and caliper of proposed trees (evergreen and poplar trees are not permitted in boulevards)
 - d. Existing features (streetlight poles, hydrants, existing trees, utilities, etc.)
 - e. Dimensions from property line to all of the above features

Include the Development Permit number in your letter. Shrub and flowerbeds are not permitted in City boulevards. Due to the number of applications reviewed by this office, it will typically take two weeks for a response. The letter can be addressed to the Supervisor, Utility Line Assignments, 6th floor, 800 Macleod Trail SE, Calgary, Alberta T2P 2M5, Location #8026. Alternatively, the required information can be submitted to the ULA Support email as a PDF at ulasupport@calgary.ca.

For further details, contact ulasupport@calgary.ca.

77. For questions and concerns regarding waste storage facilities, refer to the Development Reviews: Design Standards for the Storage and Collection of Waste, found at:

<http://www.calgary.ca/UEP/WRS/Pages/Commercial-Services/Development-Permits-Waste-Recycling.aspx>

Garbage, recyclable materials and food and yard (organics) waste and recycling storage and/or collection areas shall be maintained and clear of snow and ice.

Secondary suites may not be eligible to receive a separate set of waste and recycling containers from The City of Calgary. Suites are expected to share the waste storage with the associated primary dwelling unit.

78. As advised by the Calgary Emergency Management Agency (CEMA):
- a. CEMA recommends that the design and construction of future structures strategically consider and mitigate, as best as possible, the impacts on the infrastructure and/or property in the event of a flood, where this parcel is in the 1:100 flood inundation level and therefore may be potentially affected overland flooding in the future.
 - b. CEMA encourages the consideration of all hazards, specifically relevant to Calgary (see Calgarys Disaster Risk Report 2022 for reference), and those in direct proximity to this parcel (freight rail corridor), as part of the design process to ensure Calgarys resilience.
 - c. The National Institute for Building Sciences Natural Hazard Mitigation Saves Report (2019) and Canadas Emergency Management Strategy (2021) speak to an average return on investment of 6:1 for every dollar spent on mitigation efforts. Where possible, build above minimum building code requirements to ensure this community is more resilient to impacts from severe weather events.
- Note:
For further details, contact CEMA at michelle.feragen@calgary.ca OR 403-268-8850.
79. Ensure that development services (water, sanitary and storm) will not conflict with trees.

Mobility Engineering

80. The locations and design of driveways must be approved by Development Engineering. New driveways including driveway modifications, removal and rehabilitations of unused driveway crossings or relocations, sidewalks, wheelchair ramps, and lane paving must be constructed to City standards at the developers expense. Obstructions such as storm catch basins, hydrants, power poles, etc., must be relocated to City standards at developers expense.
81. Garage aprons / parkade access / loading areas / parking stalls at rear must tie to the existing lane grades. Lane grades will be provided on the grade slip issued by Development Servicing. It is the responsibility of developer, contractor, or homeowner to set the elevations of the garage slab based on the lot grading and to ensure that garage is operationally accessible and that it ties to established land grades. Lane grades are not to be altered without the approval of Roads.

82. The City does not grant approval for the placement of underground irrigation sprinkler systems in City owned lands or boulevards that are adjacent to the development site and are installed at the developers risk. The City of Calgary will not assume liability or responsibility for repair or replacement in event it has been damaged or destroyed during construction on City owned lands or boulevards by city workers or its authorized contractors.
83. In accordance with the [Encroachment Policy \(9M2020\)](#) adopted by Council on March 16, 2020 , encroachments of retaining walls, planters, entry features, building projections, etc. are not permitted to extend into the City right-of-way. New encroachments that are a result of this development are to be removed at the developers expense. Encroachments are subject to approval by the Encroachment Administrator, Real Estate & Development Services.
84. The development site is located within a residential parking zone as defined by the City of Calgary Traffic By-law and, as such, no long term non-residential parking is permitted on-street.
85. In keeping with the principles of Crime Prevention Through Environmental Design (CPTED), landscaping and fencing materials adjacent to pedestrian routes are to be of a height that minimizes potential hiding places and maximizes visual surveillance of the pedestrian route.

March 25, 2025

**DP 2024-07897 – 1614 16A STREET SE
RESPONSE TO DTR DATED ON MARCH 6, 2025**

PLANS HAVE BEEN AMENDED & NUMBERED WITH A RED CIRCLE

BYLAW DISCREPANCIES

1. 535 As per Planning: After discussing with the team, we have agreed to consider 17 St SE as a lane for the purposes of this DP. 535 no longer applies to this project.
2. The Mobility storage lockers have been relocated inside the courtyard. No longer attached to Building #1 to maintain the 6.5m separation from Building #2. The bicycle lockers have been relocated as well. See amended drawings.

Prior to Decision Requirements:

Planning:

4. Landscape schedule revised.
5. Building sections updated to show mechanical equipment located in the basement, is mounted above the 1:20 flood level.
6. One water meter area has now been shown per building.

Communities

0.5 Parking Rate

Other Areas of the City

Within 600.0m of Existing LRT or BRT Bus Stop

A

- Acadia
- Albert Park / Ridsson Heights
- Altadore
- Banff Trail
- Bankview
- Bayview
- Bel-aire
- Beltline
- Bonavista Downs
- Bowness
- Braeside
- Brentwood
- Bridgeland / Riverside
- Britannia

C

- Cambrian Heights
- Canyon Meadows
- Capitol Hill
- Charleswood
- Chinatown

D

- Dalhousie
- Downtown Commercial Core
- Downtown Commercial Core
- Downtown East Village
- Downtown West End

E

- Eagle Ridge
- Eau Claire
- Elbow Park
- Elboya
- Erlton

F

- Fairview
- Forest Heights
- Forest Lawn

G

- Garrison Green
- Garrison Woods
- Glamorgan
- Glenbrook
- Glendale

Hillhurst

Hounsfield Heights / Briar Hill

Huntington Hills

I

Inglewood

K

- Kelvin Grove
- Killarney / Glengarry
- Kingsland

L

- Lake Bonavista
- Lakeview
- Lincoln Park
- Lower Mount Royal

M

- Manchester
- Maple Ridge
- Marlborough
- Mayfair
- Mayland Heights
- Meadowlark Park

N

- North Glenmore Park
- North Haven
- North Haven Upper
- Oakridge
- Ogden

P

- Palliser
- Parkdale
- Parkhill
- Point McKay
- Pump Hill

Q

Queens Park Village

R

- Ramsay
- Renfrew
- Richmond
- Rideau Park
- Rosedale
- Rosemont

S

- Scarboro
- Shaganappi
- South Calgary
- Southview
- Southwood
- Spruce Cliff
- St. Andrews Heigh
- Sunalta
- Sunalta West
- Sunnyside
- Thorncliffe
- Tuxedo Park
- University District
- University Heights
- Upper Mount Roy
- Varsity
- Vista Heights

- Chinook Park
- Cliff Bungalow
- Collingwood
- Crescent Heights
- Currie Barracks

- Greenview
- H**
- Haysboro
- Highland Park
- Highwood

- Mission
- Montgomery
- Mount Pleasant

- Rosscarrock
- Roxboro
- Rutland Park

- West Hillhurst
- Westgate
- Wildwood
- Willow Park
- Windsor Park
- Winston Heights /

Part 4 A to Z Use and Use Rules			D.P. # 2024-07897			
Section / Use	Type	Requirements	Evaluation			
153.1 Backyard Suite	Compulsory	(iii) is located in a detached building located behind the front façade of the main residential building;	C	N/C	N/A	N/I
		(vi) Must not be located on the same parcel or bare land unit as either a Rowhouse Building or a Townhouse use;	C	N/C	N/A	N/I
170.2 Contextual Semi-detached Dwelling	Compulsory	(i) contains two Dwelling Units located side by side and separated by a common party wall extending from foundation to roof;	C	N/C	N/A	N/I
187 Duplex Dwelling	Compulsory	(a) means a building which contains two Dwelling Units, one located above the other, with each having a separate entrance;	C	N/C	N/A	N/I
287 Rowhouse	Compulsory	(i) contains three or more Dwelling Units, located side by side and separated by common party walls extending from foundation to roof;	C	N/C	N/A	N/I
		(ii) where one façade of each Dwelling Unit directly faces a public street;	C	N/C	N/A	N/I
		(iii) where no intervening building is located between the street facing façade of each Dwelling Unit and the adjacent public street;	C	N/C	N/A	N/I
		(iv) where each Dwelling Unit has a separate direct entry from grade to an adjacent public sidewalk or an adjacent public street;	C	N/C	N/A	N/I
		(v) where no Dwelling Unit is located wholly or partially above another Dwelling Unit; and	C	N/C	N/A	N/I
		(vi) may contain a Secondary Suite within a Dwelling Unit in a district where a Secondary Suite is a listed use and conforms with the rules of the district;	C	N/C	N/A	N/I
295 Secondary Suite	Compulsory	(iii) is self-contained and located within a Dwelling Unit;	C	N/C	N/A	N/I
		(iv) must not be located in a Dwelling Unit where another Dwelling Unit is located wholly or partially above or below the Dwelling Unit containing the Secondary Suite; and	C	N/C	N/A	N/I
297 Semi-Detached Dwelling	Compulsory	(a) means a use where a building contains two Dwelling Units located side by side and separated by a common party wall extending from foundation to roof;	C	N/C	N/A	N/I
319 Townhouse	Compulsory	(i) comprising three or more Dwelling Units;	C	N/C	N/A	N/I
		(ii) where each Dwelling Unit has a separate direct entry from grade;	C	N/C	N/A	N/I
		(iii) where no Dwelling Unit is located wholly or partially above another Dwelling Unit; and	C	N/C	N/A	N/I
		(iv) that does not include a Rowhouse Building;	C	N/C	N/C	N/I

Page 8		Residential - Grade-Oriented Infill (R-CG) District			D.P. # 2024-07897			
Rule	Requirements			Evaluation				
				Notes				
				Provided/Variance				
Secondary Suites	If applicable please refer to Secondary Suites Form				See Attached	N/A	N/I	
537 Building Setback from Front Property line	The minimum building setback from a front property line is 3.0m			East to Bldg 1 build-out	2.40	-0.60		
334 Projections into Setback Areas	(3) Portions of a building below the surface of the ground may extend without any limits into a setback area, with the exception of the required front setback area.				C	N/C	N/A	N/I
336 Projections Into Front Setback Area	(1) Unless otherwise referenced in subsection (6), bay windows and eaves may project a max. of 0.6m into the front setback area.				0.31	-0.29		
					0.46	-0.14		
	(2) Landings, ramps other than wheelchair ramps and stairs may project into a front setback area provided:		(a) they provide access to the main floor or lower level of the building; and		C	N/C	N/A	N/I
			(b) the area of a landing does not exceed 2.5m ²		1.82	-0.68		
			Middle Landing - Bldg 1		2.91	0.41		
	(5) In a Developed Area, a porch may project a maximum of 1.8m into a front setback area where:				n/a			
			(a) it forms an entry to the main floor of a Dwelling Unit of a main residential building;		C	N/C	N/A	N/I
			(b) the setback of the porch from the front property line is not less than the minimum setback in the district;		C	N/C	N/A	N/I
			(c) the maximum height of the porch platform is 1.2m measured from grade, excluding stairs and a landing area not exceeding 2.5m ² ; and		Porch Height (m)			
			(d) the portion of the porch that projects into a front setback area is unenclosed, other than by a railing, balustrade or privacy walls located on porches between attached units.		n/a			
				Landing Area (m ²)				
				n/a				
				C	N/C	N/A	N/I	
(6) Eaves may project an additional 0.6m from a porch into the front setback area, as described in subsection (5).				n/a				
335 Length of Portions of a Building in Setback Areas (Front)	(1) On each storey, the total combined length of all projections into any setback area must not exceed 40% of the length of the façade <i>(Does not apply to decks, eaves, porches, ramps, and stairs)</i>			PROVIDE LENGTH AND % VALUES	%	Length	%	Length
	1st st		X 40% =		n/a			
	2nd st		X 40% =					
(2) The max. length of an individual projection into any setback area is 3.1m				n/a				
539 Building Setback from Side Property Line	(1) Subject to subsections (3) through (9), the minimum building setback from any side property line is 1.2m			Both Buildings				
				North	1.20	0.00		
				South	1.21	0.01		
	(2) Subject to subsections (3) through (7), for a laneless parcel, the minimum building setback from any side property line is:		(a) 1.2m; or		n/a			
			(b) 3.0m on one side of the parcel when no provision is made for a private garage on the front or side of a building.		n/a			
	(3) There is no requirement for a building setback from a property line upon which a party wall is located.				Applies	N/A	N/I	
	(4) The minimum building setback from a side property line may be reduced to a zero setback where:		(a) the owner of the parcel proposed for development and the owner of the adjacent parcel register, against both titles, a 1.2m private maintenance easement.		Applies	N/A	N/I	
	(5) The minimum building setback from a side property line may be reduced to a zero setback where the main residential building on the adjoining parcel has a zero setback.				Applies	N/A	N/I	
	(6) For a corner parcel, the minimum building setback from a side property line shared with a street is 0.6m				n/a			
	(7) The building setback from a side property line of 3.0m required in subsection 2(b) may be reduced to zero metres where the owner of the parcel proposed for		(a) where the width of the easement, in combination with the reduced building setback, must be at least 3.0 metres;		n/a			

<p>Page 9</p>	<p>development and the owner of the adjacent parcel registers, against both titles, a private access easement:</p>	<p>(b) that provides unrestricted vehicle access to the rear of the parcel.</p>		<p>Applies</p>	<p>N/A</p>	<p>N/I</p>																
		<p>(8) Unless otherwise referenced in subsection (9), on a laned parcel the minimum building setback from a side property line for a private garage attached to a main residential building is 0.6m</p>		<p>n/a</p>																		
		<p>(9) On a laned parcel, the minimum building setback for a private garage attached to a main residential building that does not share a side or rear property line with a street may be reduced to zero metres where the wall of the portion of the building that contains the private garage is constructed of maintenance-free materials and there is no overhang of eaves onto an adjacent parcel.</p>		<p>Applies</p>	<p>N/A</p>	<p>N/I</p>																
<p>337 Projections Into Side Setback Area</p>		<p>(1.1) Portions of a building greater than or equal to 2.4m above grade may project a max of 0.6m into any side setback area.</p>	<p>Bldg 1 - North Bldg 1 - South (Actual 0.56m)</p>	<p>0.56 0.55</p>	<p>-0.04 -0.05</p>																	
		<p>(1.2) Portions of a building less than 2.4m above grade may project a maximum of 0.6m,</p>		<p>n/a</p>																		
		<p>(a) for a Semi-detached Dwelling, only where the side setback area is on the streets side of a corner parcel; and</p>		<p>C</p>	<p>N/C</p>	<p>N/A N/I</p>																
		<p>(1.2) (b) for all other uses:</p> <p>(i) when located on a corner parcel;</p> <p>(ii) where at least one side setback area is clear of all portions of the building measured from grade to a height of 2.4m; or</p> <p>(iii) where the side setback area contains a private maintenance easement required by this Bylaw and no portion of the building projects into the required private maintenance easement.</p>		<p>C</p>	<p>N/C</p>	<p>N/A N/I</p>																
		<p>(1.3) Window wells may project a maximum of 0.8m into any side setback area.</p>		<p>n/a</p>																		
		<p>(2) Window wells and portions of a building, other than eaves, must not project into a 3.0m setback required on a laneless parcel.</p>		<p>C</p>	<p>N/C</p>	<p>N/A N/I</p>																
		<p>(3) Eaves may project a max. of 0.6m into any side setback area.</p>	<p>Bldg 1 - North Bldg 1 - South</p>	<p>0.61 0.60</p>	<p>0.01 0.00</p>																	
		<p>(5) Landings, ramps other than wheelchair ramps and stairs may project in a side setback area provided:</p> <p>(a) they provide access to the main floor or lower level of the building;</p> <p>(b) the area of a landing does not exceed 2.5m²</p> <p>(c) the area of any portion of a landing that projects into the side setback area does not exceed 1.8m²</p> <p>(d) they are not located in a 3.0m side setback area required on a laneless parcel; and</p> <p>(e) they are not located in a side setback area required to be clear of projections, unless pedestrian access from the front to the rear</p>		<p>C</p>	<p>N/C</p>	<p>N/A N/I</p>																
		<p>(10) Central air conditioning equipment may project a maximum of 1.0m into a side setback area:</p>		<p>n/a</p>																		
		<p>(8) Any portion of a building that projects into a side setback area, other than eaves, landings, window wells, ramps and stairs, must not be located closer than 0.9m from the nearest front façade.</p>	<p>North/South - Bldg 1</p>	<p>0.91</p>	<p>0.01</p>																	
		<p>(9) Balconies and decks must not project into any side setback area;</p>		<p>C</p>	<p>N/C</p>	<p>N/A N/I</p>																
<p>335 Length of Portions of a Building in Setback Areas (Side)</p>		<p>(1) On each storey, the total combined length of all projections into any setback area must not exceed 40% of the length of the façade <i>(Does not apply to decks, eaves, porches, ramps, and stairs)</i></p> <table border="1" data-bbox="284 2513 971 2585"> <tr> <td>1st st</td> <td></td> <td>X 40% =</td> <td></td> </tr> <tr> <td>2nd st</td> <td>10.67</td> <td>X 40% =</td> <td>4.27</td> </tr> <tr> <td>__st</td> <td></td> <td>X 40% =</td> <td></td> </tr> <tr> <td>__st</td> <td></td> <td>X 40% =</td> <td></td> </tr> </table>	1st st		X 40% =		2nd st	10.67	X 40% =	4.27	__st		X 40% =		__st		X 40% =		<p>PROVIDE LENGTH AND % VALUES</p>	<p>%</p>	<p>Length</p>	<p>% Length</p>
1st st		X 40% =																				
2nd st	10.67	X 40% =	4.27																			
__st		X 40% =																				
__st		X 40% =																				
		<p>(2) The max. length of an individual projection into any setback area is 3.1m <i>(Includes Window Wells)</i></p>	<p>North/South - Bldg 1</p>	<p>2.74</p>	<p>-0.36</p>																	
<p>540 Building Setback from Rear Property Line</p>		<p>(1) Unless otherwise referenced in subsection (2) the minimum building setback from a rear property line is 7.5m</p>		<p>n/a</p>																		
		<p>(2) On a laned or corner parcel, the minimum building setback from a rear property line is 1.2m</p>	<p>West to Bldg 2</p>	<p>9.03</p>	<p>7.83</p>																	
		<p>(2) Awnings, balconies, bay windows, canopies, chimneys, decks, eaves, fireplaces, fire escapes, landings, porches, and ramps other than wheelchair ramps may project a max</p>		<p>n/a</p>																		

338 Projections Into Rear Setback Area	of 1.5m into any rear setback area.								
	(3) A private garage attached to a building may project without limits into a rear setback area provided it:	(a) does not exceed 4.6m in height, measured from the finished floor of the private garage;						n/a	
		(b) does not exceed 75.0m ² in gross floor area for each Dwelling Unit located on the parcel.	Unit 1					n/a	
			Unit 2					n/a	
		(c) has no part that is located closer than 0.60m to the rear property line; and						n/a	
(d) has no eave closer than 0.6m to a side property line.						n/a			
(4) When an attached private garage has a balcony or deck, the balcony or deck must not be located within 6.0m of a rear property line or 1.2m of a side property line.		Rear					n/a		
		Side					n/a		
		Side					n/a		
335 Length of Portions of a Building in Setback Areas (Rear)	(1) On each storey, the total combined length of all projections into any setback area must not exceed 40% of the length of the façade <i>(Does not apply to decks, eaves, porches, ramps, and stairs)</i>			PROVIDE LENGTH AND % VALUES	%	Length	%	Length	
	1st st		X 40% =		n/a				
	2nd st		X 40% =						
	(2) The max. length of an individual projection into any setback area is 3.1 m.					n/a			
339 Decks	(2) The height of a deck in the Developed Area must not exceed:	(a) 1.5 m above grade at any point, except where the deck is located on the same façade as the at-grade entrance to a walkout basement; and					n/a		
		(b) 0.3m above the main floor level of the closest main residential building on the parcel.					n/a		
	(2.1) Unless otherwise referenced in subsection (3), a privacy wall located on a deck:	(a) must not exceed 2.0m in height when measured from the surface of the deck; and						n/a	
		(b) must not be located between the foremost front façade of the main residential building and the front property line.				C	N/C	N/A	N/I
	(3) A deck attached to a Semi-detached Dwelling, Rowhouse or Townhouse within 1.2m of a party wall must have a solid privacy wall that:	(a) is a min. of 2.0m in height;						n/a	
		(b) is a max. of 3.0m in height; and						n/a	
(c) extends the full depth of the deck.					C	N/C	N/A	N/I	
340 Balconies	(1) Unless otherwise referenced in this Part, an open balcony must not project more than 1.85m from the building façade to which it is attached.						n/a		
	(2) Unless otherwise referenced in this Part, the floor area of a recessed balcony must not exceed 10.0m ²						n/a		
	(2.1) Unless otherwise referenced in this Part, a privacy wall located on a balcony:	(a) must not exceed 3.0m in height when measured from the surface of the balcony; and						n/a	
		(b) must not be located between the foremost front façade of the main residential building and front property line.				C	N/C	N/A	N/I
	(3) A balcony attached to a Contextual Semi-detached Dwelling, Semi-detached Dwelling, Rowhouse Building or Townhouse within 1.2m of a party wall must have a privacy wall that:	(a) is a min. of 2.0m in height;						n/a	
		(b) is a max. of 3.0m in height; and						n/a	
(c) extends the full depth of the balcony.					C	N/C	N/A	N/I	
544 Balconies	(1) Where a balcony is located on the roof of the first or second storey of a main residential building and does not overhang any façade of the storey below, the balcony may have a maximum floor area that equals 50.0 per cent of the horizontal cross section of the storey below.						Percentage (%)		
							n/a		
								Area (m ²)	
								n/a	
	(2) A balcony attached to a Contextual Single Detached Dwelling, Contextual Semi-detached Dwelling, or Rowhouse Building that is a permitted	(a) may be located on a side façade of a building:	(i) where it forms part of the front façade and is not recessed back more than 4.5m from the front façade; or					n/a	
			(ii) where it is on the street side of a corner parcel;				C	N/C	N/A
(b) may be located on a rear façade of a building where:		(i) it does not form part of the side façade unless the side façade is on the street side of a corner parcel;				C	N/C	N/A	N/I
		(ii) a privacy wall is provided where the balcony is facing a side property line shared with a contextually adjacent building; and				C	N/C	N/A	N/I

	use:	(iii) the privacy wall is a minimum of 2.0m in height and a maximum of 3.0m in height; and	Minimum	n/a		
			Maximum	n/a		
		(c) must not have a balcony on the rear façade with a height greater than 6.0m, when measured vertically at any point from grade to the platform of the balcony.		n/a		
541 Building Height	(1) Unless otherwise referenced in subsections (2), (3) and (4), the maximum building height is 11.0m measured from grade.		Building 1	9.97	-1.03	
				10.12	-0.88	
				10.04	-0.96	
				10.04	-0.96	
			Building 2	8.60	-2.40	
				8.79	-2.21	
				8.75	-2.25	
				8.75	-2.25	
	(2) Where a building setback is required from a property line shared with another parcel designated with a low density residential district, the M-CG District or H-GO District, the maximum building height:	(a) is the greater of:	(i) the highest geodetic elevation of a main residential building on the adjoining parcel; or (ii) 7.0m from grade; measured at the shared property line; and		C	N/C
		(b) increases at a 45 degree angle to a max of 11.0m measured from grade.			N/A	N/I
(3) On a corner parcel, the max area of a horizontal cross section through a building at 9.5m above average grade must not be greater than 75.0% of the max area of a horizontal cross section through the building between average grade and 8.6m						
	Prim. Bldg Cnr 1	Prim. Bldg Cnr 2	Geo 9.5m Above Avrge Grade	X		
	Prim. Bldg Cnr 3	Prim. Bldg Cnr 4	Geo 8.6m Above Avrge Grade			
		X 75% =		Percentage (%)		
				n/a		
	Max. Area	Max. Area allowed at 9.5m		Area(m ²)		
				n/a		
(4) Where not located on a corner parcel, the maximum building height is 8.6m for any portion of a main residential building located between the rear property line and 60.0% parcel depth or the contextual building depth average, whichever is greater.						
	Height Required Beyond	24.00 m	and Rear Property Line	Building 2	8.75	
	18.36	20.43	39.56		0.15	
	C.A.B. #1	C.A.B. #2	Parcel Depth			
349 Roof Equipment Projection	(2) Mechanical equipment may project a maximum of 0.3m from the surface of a roof on a building.			n/a		
531 Parcel Width	The minimum parcel width is 7.5m for a parcel containing a Duplex Dwelling			n/a		
532 Façade Width	The minimum width of a street facing façade of a unit is 4.2m			6.40	2.20	
535 Building Depth and Separation	(1) Unless otherwise referenced in subsections (2) and (3) the maximum building depth is 65.0% of the parcel depth for a building containing a unit.			Percentage (%)		
				77.20%	12.20%	
				Building Depth (m)		
	65%	x	39.56 Parcel Depth	=	25.70 Max Bldg Depth	Building 2
					30.54	4.84
	(a) there is more than one main residential building on the parcel;			2	1	
	(b) 50.0% or more of the units on the parcel are contained in main residential buildings located within the first 60.0% of the parcel depth; and			Number of Units within First 60.0% of Parcel Depth		
(2) On a laned parcel, there is no maximum building depth for a main residential building wholly contained to the rear of 40.0% parcel depth where:				2	0	
	39.56	Parcel Depth (m)				
	23.74	40% / 60.0% Parcel Depth (m)				
	4	Total Number of Units				
	2	Required Number of Units in Front 60.0%				
	<i>Note: The Main Residential Building exempt from Building Depth must be WHOLLY contained within rear 60.0%; otherwise see subsection (1).</i>					
	(c) where the minimum separation distance of the main residential buildings on the front portion of the parcel and the main residential buildings contained on the rear portion of the parcel is 6.5m			3.65	-2.85	

	(3) For a main residential building that is located on a corner parcel there is no maximum building depth where the minimum building setback from the side property line shared with another parcel is 3.0m for any portion of the building located between the rear property line and:	(a) 50.0 per cent parcel depth; or <input type="text"/> Parcel Depth		Side Setback Dimension (m)				
		(b) the building depth of the main residential building on the adjoining parcel; <input type="text"/> C.A.B. Building Depth		n/a				
		whichever is closer to the rear property line.						
		3.0m Building Side Setback Required beyond <input type="text"/> 0.00 m and the rear property line		Subsection (b) Applies				
For parcels designated R-CG use this calculation:								
529 Density	The maximum density for parcels designated R-CG District is 75 units per hectare.		Units	4	0			
	<input type="text"/> 75	<input type="text"/> 602.93 (m2) <input type="text"/> 0.0602930 (ha)	<input type="text"/> 4.00	Units	U.P.H	66.34	-8.66	
	For multi-residential parcels reverting to low density uses in section 573, use the density maximum for that multi-residential district:							
	Enter UPH of MDR district below:	The max density for parcels designated multi-residential is the density requirement of that district.		Units	n/a			
<input type="text"/>	<input type="text"/> Enter m ² Above	(m2) (ha)	=	Units	U.P.H	n/a		
365 Exempt Addition	In order for the exemption in section 25(2)(a) to apply to an exterior alteration or addition to an existing Duplex Dwelling, Semi-detached Dwelling or Single Detached Dwelling: (b) the addition may be a maximum of:							
	(i) 40.0m ² in floor area for any portion at a height less than or equal to:	(A) 7.5m measured from grade where the existing building has a walkout basement; or (B) 6.0m measured from grade where the existing building does not have a walkout basement; and			n/a			
	(ii) 10.0m ² in floor area for any portion not exceeding the highest point of the existing roof;				n/a			
339.1 Porches <i>(must meet all requirements to be exempt)</i>	In a Developed Area, a porch is exempt from parcel coverage where:	(a) the porch is located between the façade of the main residential building and:	(i) the front property line; or		C	N/C	N/A	N/I
			(ii) the side property line on the street side of a corner parcel;		C	N/C	N/A	N/I
		(b) the porch is unenclosed on a minimum of two sides, other than by a railing, balustrade, or privacy walls located on porches between attached units when the porch is at or exceeds the contextual front setback; and			C	N/C	N/A	N/I
		(c) there is no enclosed floor area or balcony located directly above the roof of the porch.			C	N/C	N/A	N/I
534 Parcel Coverage	(2) Unless otherwise referenced in subsection (3), the maximum cumulative building coverage over all the parcels subject to a single development permit containing a Contextual Semi-Detached Dwelling, Contextual Single Detached Dwelling, Cottage Housing Cluster, Rowhouse Building, Semi-Detached Dwelling, Single Detached Dwelling or Townhouse is:	(a) 45.0% of the area of the parcels subject to a single development permit for a development with a density of less than 40 units per hectare;		Applies	Does Not Apply			
		(b) 50.0% of the area of the parcels subject to a single development permit for a development with a density 40 units per hectare or greater and less than 50 units per hectare;		Applies	Does Not Apply			
		(c) 55.0% of the area of the parcels subject to a single development permit for a development with a density of 50 units per hectare or greater and less than 60 units per hectare; or		Applies	Does Not Apply			
		(d) 60.0% of the area of the parcels subject to a single development permit for a development with a density of 60 units per hectare or greater.		Applies	Does Not Apply			
	(3) The maximum parcel coverage referenced in subsections (1) and (2), must be reduced by:	(a) 21.0m ² where one motor vehicle parking stall is required on a parcel that is not located in a private garage; and		Applies	Does Not Apply			
		(b) 19.0m ² for each required motor vehicle parking stall that is not located in a private garage where more than one motor vehicle parking stall is required on a parcel.		Applies	Does Not Apply			
(4) For all other uses, the maximum parcel coverage is 45.0%			Applies	Does Not Apply				
Determine correct percentage of parcel coverage and input values below					%	%		
	<input type="text"/> 4	Number of Units						

	60.0%	602.93	Parcel Area (m ²)	minus	Required Stalls	=	361.76	Max. Coverage	60.04%	0.04%	
	Parcel Coverage Totals								m ²	m ²	
	Building 1	Building 2	Garage(s)	Other	Total						
	143.22	135.41	76.49	6.85	361.97			361.97	0.21		
Accessory Building	If applicable please refer to Accessory Residential Building Form							See Attached	N/A	N/I	
542 Landscaping Requirements <i>Applies with 3 or more units</i>	(3) All areas of a parcel, except for those portions specifically required for motor vehicle access, motor vehicle parking stalls, loading stalls, garbage facilities, or any purpose allowed by the Development Authority, must be a landscaped area.							C	N/C	N/A	N/I
	(4) All setback areas adjacent to a street, except for those portions specifically required for motor vehicle access, must be a landscaped area.							C	N/C	N/A	N/I
	(5) Amenity space provided outdoors at grade must be included in the calculation of a landscaped area.							C	N/C	N/A	N/I
	(6) Any part of the parcel used for motor vehicle access, motor vehicle parking stalls, loading stalls and garbage or recycling facilities must not be included in the calculation of a landscaped area.							C	N/C	N/A	N/I
	(7) A minimum of 30.0% of the landscaped area must be covered with soft surfaced landscaping.							Percentage (%)			
	222.55 Landscaped Area (m ²)							28.97%	-1.03%		
								Area (m ²)			
								64.47	-2.30		
	(8) All soft surfaced landscaped area must be irrigated by an underground irrigation system, unless otherwise provided by a low water irrigation system.							C	N/C	Low H2O Irrig.	N/I
(9) Mechanical systems or equipment that are located outside of a building must be screened.							C	N/C	N/A	N/I	
542.2 Planting Requirements <i>Applies with 3 or more units</i>	(4) The requirement for the provision of 1.0 tree is met where:	(a) a deciduous tree has a minimum calliper of 60mm;	0	# Provided			Calliper (mm)				
		(b) a coniferous tree has a minimum height of 2.0m	0	# Provided			Height (m)				
	(5) The requirement for the provision of 2.0 trees is met where:	(a) a deciduous tree has a minimum calliper of 85mm;	0	# Provided			Calliper (mm)				
		(b) a coniferous tree has a minimum height of 4.0m	0	# Provided			Height (m)				
	(6) The requirement for the provision of 3.0 trees is met where an existing deciduous tree with a calliper greater than 100mm is preserved.	0	# Provided			Calliper (mm)					
	(2) A minimum of 1.0 tree and 3.0 shrubs must be provided for each 110.0m ² of parcel area.	6	Required Trees	602.93			# of Trees		0	-6	
		17	Required Shrubs	Parcel Area (m ²)			# of Shrubs		19	2	
	(3) Shrubs must be a minimum height or spread of 0.6m at the time of planting.							0.60	0.00		
	(7) For landscaped areas with a building below, planting areas must have the following minimum soil depths:	(a) 1.2m for trees;							n/a		
		(b) 0.6m for shrubs; an							n/a		
(c) 0.3m for all other planting areas.								n/a			
(8) The soil depths referenced in (7) must cover an area equal to the mature spread of the planting material.								Requires review by planner or technician	N/A	N/I	
(1) A driveway must not have direct access to a major street unless:	(a) there is no practical alternative method of vehicular access to the parcel; and						C	N/C	N/A	N/I	
	(b) a turning space is provided on the parcel to allow all vehicles exiting to face the major street.						C	N/C	N/A	N/I	
(2) A driveway connecting a street to a private garage must:	(a) be a min of 6.0m in length along the intended direction of travel for vehicles measured from:		(i) the back of the public sidewalk to the door of the private garage; or				n/a				
			(ii) a curb where there is no public sidewalk to the door of a private garage, and				n/a				

	storage locker.		2	0		
	2 Number of Units					
13(90.3) Mobility Storage Locker	(a) has a door with a minimum width of 0.9m that has direct access to grade;		1.63	0.73		
	(b) has a minimum length of 2.8m;		2.74	-0.06		
	(c) has a minimum width of 1.2m;		1.22	0.02		
	(d) has a minimum height of 1.8m		2.43	0.63		
122 Standards for Motor Vehicle Parking Stalls	(3) The minimum depth of a motor vehicle parking stall is 5.9m where it is required for: (a) a Contextual Single Detached Dwelling, Duplex Dwelling, Secondary Suite, Semi-detached Dwelling or Single Detached Dwelling	4 stalls = 5.79m (-0.11m)	C	N/C	N/A	N/I
	(4) The minimum width of a motor vehicle parking stall required for a Dwelling Unit is: (a) 3.0m where both sides of a stall abut a physical barrier; (b) 2.85m where one side of a stall abuts a physical barrier; and (c) 2.5m in all other	2 stalls = 2.95m (-0.05m)	C	N/C	N/A	N/I
	(15) Motor vehicle parking stalls for a Backyard Suite, Contextual Semi-detached Dwelling, Contextual Single Detached Dwelling, Duplex Dwelling, Secondary Suite, Semi-detached Dwelling and Single Detached Dwelling must be: (a) hard surfaced; and (b) located wholly on the subject parcel.		C	N/C	N/A	N/I

Page 16		Accessory Residential Building			D.P. # 2024-07897					
Rule	Requirements			Notes		Evaluation				
						Provided/Variance				
345 Accessory Residential Building	(1) The min. building setback for an Accessory Residential Building is::	(a) 1.2m from a side or rear property line shared with a street; or				n/a				
		(b) 0.6m from a side or rear property line in all other cases.				1.20	0.60			
	(2) The min. building setback for an Accessory Residential Building that does not share a side or rear property line with a street may be reduced to zero m when:	(a) the Accessory Residential Building is less than 10.0m ²				C	N/C	N/A	N/I	
		(b) the wall of the Accessory Residential Building is constructed of maintenance-free materials and there is no overhang of eaves onto an adjacent parcel; or				C	N/C	N/A	N/I	
		(c) the owner of the adjacent parcel grants a 1.5m private maintenance easement that must:	(i) be registered against the title of the parcel proposed for development and the title of the adjacent parcel; and				C	N/C	N/A	N/I
			(ii) include a 0.60m eave and footing encroachment easement.				C	N/C	N/A	N/I
	(3) An Accessory Residential Building must not be located in the actual front setback area.					C	N/C	N/A	N/I	
	(4) A private garage on laneless parcel may be located in required 3.0m side setback, except along street side of a corner parcel.					C	N/C	N/A	N/I	
	(5) The min. distance between any façade of an Accessory Residential Building 10.0m ² or more and a main residential building or a building containing a Secondary Suite is 1.0m					C	N/C	N/A	N/I	
	(6) The height of an Accessory Residential Building must not exceed:	(a) 4.6m, measured from the finished floor of the building;				3.94		-0.66		
		(b) 3.0m at any eaveline, when measured from the finished floor of the building; and				2.89		-0.11		
		(c) one storey,				C	N/C	N/A	N/I	
		(c) one storey, which may include an attic space that:	(i) is accessed by a removable ladder;				C	N/C	N/A	N/I
	(ii) does not have windows;				C	N/C	N/A	N/I		
(iv) has a max. height of 1.5m from the attic floor to the underside of any rafter.					n/a					
346 Restrictions on Use of Accessory Residential Building	(1) The finished floor of an Accessory Residential Building, other than a private garage, must not exceed 0.6m above grade.					C	N/C	N/A	N/I	
	(2) An Accessory Residential Building must not be used as a Dwelling Unit, unless a Backyard Suite has been approved.					C	N/C	N/A	N/I	
	(3) An Accessory Residential Building must not have a balcony or rooftop deck.					C	N/C	N/A	N/I	
	(4) The area of a parcel covered by all Accessory Residential Buildings located on a parcel:			(i) the building coverage of the main residential buildings; or			C	N/C	N/A	N/I
(a) must not exceed the less of:		(ii) 75.0m ² for each Dwelling Unit located on the parcel; and			Per unit	19.12	-55.88			

Page 17		Secondary Suite - R-CG		D.P. # 2024-07897			
Rule	Requirements			Evaluation			
				Notes			
Note: Remember to check any applicable district rules							
351 Secondary Suite	(1) For a Secondary Suite the minimum building setback from a property line, must be equal to or greater than the minimum building setback from a property line for the main residential building.			C	N/C	N/A	N/I
	(2) Except as otherwise stated in subsection (2.1) and (3), the maximum floor area of a Secondary Suite, excluding any area covered by stairways and landings, is 100.0m ² :		(a) in the R-C1L, R-C1Ls, R-C1, R-C1s, R-C1N, R-1, R-1s and R-1N District; or	n/a			
			(b) when located on a parcel with a parcel width less than 13.0m.	n/a			
	(2.1) There is no maximum floor area for a Secondary Suite wholly located in a basement. Internal landings and stairways providing access to the basement may be located above grade.			Applies		N/A	N/I
295 Secondary Suite	(c) has a maximum floor area of 100.0 square metres, excluding any area covered by stairways and landings;			n/a			

354 Accessory Suite - Density	(3) There must not be more than one Backyard Suite located on a parcel, except in the R-CG and R-2M Districts where one Backyard Suite may be located on any bare land unit.		C	N/C	N/A	N/I
	(1.1) There must not be more than one Secondary Suite contained within a Dwelling Unit.		C	N/C	N/A	N/I
	(3) A Secondary Suite or a Backyard Suite must not be separated from the main residential use on a parcel by the registration of a condominium or subdivision plan.		C	N/C	N/A	N/I
Additional Notes						

Residential - Grade-Oriented Infill (R-CG) District			D.P. #	2024-07897		
Rule	Requirements		Evaluation			
			Notes			
535 Building Depth and Separation	(1) Unless otherwise referenced in subsections (2) and (3) the maximum building depth is 65.0% of the parcel depth for a building containing a unit.		Percentage (%)			
			77.20%	12.20%		
			Building Depth (m)			
	65%	x 39.56 Parcel Depth	= 25.70 Max Bldg Depth	30.54	4.84	
	(2) On a laned parcel, there is no maximum building depth for a main residential building wholly contained to the rear of 40.0% parcel depth where: <i>Note: The Main Residential Building exempt from Building Depth must be WHOLLY contained within rear 60.0%; otherwise see subsection (1).</i>		(a) there is more than one main residential building on the parcel;		2	1
			(b) 50.0% or more of the units on the parcel are contained in main residential buildings located within the first 60.0% of the parcel depth; and		Number of Units within First 60.0% of Parcel Depth	
			39.56 Parcel Depth (m)	23.74 40% / 60.0% Parcel Depth (m)	2	0
			4 Total Number of Units	2 Required Number of Units in Front 60.0%		
	(c) where the minimum separation distance of the main residential buildings on the front portion of the parcel and the main residential buildings contained on the rear portion of the parcel is 6.5m		5.89		-0.61	
			Side Setback Dimension (m)			
(3) For a main residential building that is located on a corner parcel there is no maximum building depth where the minimum building setback from the side property line shared with another parcel is 3.0m for any portion of the building located between the rear property line and:		(a) 50.0 per cent parcel depth; or				
		 Parcel Depth				
		(b) the building depth of the main residential building on the adjoining parcel;				
		 C.A.B. Building Depth				
whichever is closer to the rear property line. 3.0m Building Side Setback Required beyond 0.00 m and the rear property line		n/a				
		Subsection (b) Applies				

Bylaw Discrepancies		
Regulation	Standard	Provided
537 Building Setback from Front Property line	The minimum building setback from a front property line is 3.0m	Plans indicate the east setback area, when measured to Building 1's build-out, as being 2.40m (-0.60m).
336 Projections Into Front Setback Area	(2) Landings, ramps other than wheelchair ramps and stairs may project into a front setback area provided: (b) the area of a landing does not exceed 2.5m ²	Plans indicate the middle east landing for Building 1 as being 2.91m ² (+0.41m ²).
541 Building Height	(4) Where not located on a corner parcel, the maximum building height is 8.6m for any portion of a main residential building located between the rear property line and 60.0% parcel depth or the contextual building depth average, whichever is greater.	Plans indicate Building 2 height as being 8.75m (+0.15m).
535 Building Depth and Separation	(1) Unless otherwise referenced in subsections (2) and (3) the maximum building depth is 65.0% of the parcel depth for a building containing a unit.	Plans indicate the building depth for Building 2 as being 77.20% (+12.20%) or 30.54m (+4.84m). Note: Section 535(2) cannot be applied as the development does not comply with building separation.
542 Landscaping Requirements	(7) A minimum of 30.0% of the landscaped area must be covered with soft surfaced landscaping.	Plans indicate 28.97% (-1.03%) or 64.47m ² (-2.30m ²) of soft landscaping provided.
542.2 Planting Requirements	(2) A minimum of 1.0 tree and 3.0 shrubs must be provided for each 110.0m ² of parcel area.	Plans do not indicate any compliant trees provided (-6 trees). Note: Trees less than 60mm calliper Or outside the parcel are not counted towards tree requirement.
546.3 Waste, Recycling and Organics	For developments of three or more units, garbage, recycling, and organics must be stored in a screened location approved by the Development Authority	Plans do not indicate any screening for the Waste, Recycling and Organics.
546 Motor Vehicle Parking Stalls	(2) Notwithstanding subsection (1), the minimum number of motor vehicle parking stalls is calculated based on the sum of all units and suites at a rate of 0.5 stalls per unit or suite for the area listed in Table 2.1 below.	Plans do not indicate any compliant stalls (-4 stalls). Note: Refer to discrepancies below.
122 Standards for Motor Vehicle Parking Stalls	(3) The minimum depth of a motor vehicle parking stall is 5.9m where it is required for: (a) a Contextual Single Detached Dwelling, Duplex Dwelling, Secondary Suite, Semi-detached Dwelling or Single Detached Dwelling	Plans indicate the parking stall depths as being 5.79m (-0.11m).
	(4) The minimum width of a motor vehicle parking stall required for a Dwelling Unit is: (a) 3.0m where both sides of a stall abut a physical barrier;	Plans indicate 2 stalls as being 2.95m (-0.05m) each in width.

13(90.3) Mobility Storage Locker	(b) has a minimum length of 2.8m;	Plans indicate the lockers as being 2.74m (-0.06m). Note: Measurements are taken to the interior of the lockers.
Permitted Contextual Use Rules		
Regulation	Standard	Provided
<i>N/A as per Section 347.1(5) A Contextual Semi-detached Dwelling must not be located on a parcel that contains more than one main residential building.</i>		

FILE: DP2024-07897

DATE RECEIVED: February 20 2025

Bylaw Discrepancies		
Regulation	Standard	Provided
535 Building Depth and Separation	(1) Unless otherwise referenced in subsections (2) and (3) the maximum building depth is 65.0% of the parcel depth for a building containing a unit.	Plans indicate the building depth for Building 2 as being 77.20% (+12.20%) or 30.54m (+4.84m). Note: Section 535(2) cannot be applied as the development does not comply with building separation.
Permitted Contextual Use Rules		
Regulation	Standard	Provided
<i>N/A as per Section 347.1(5) A Contextual Semi-detached Dwelling must not be located on a parcel that contains more than one main residential building.</i>		

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FILE: DP2024-07897

DATE RECEIVED: March 31 2025

Bylaw Discrepancies		
Regulation	Standard	Provided
535 Building Depth and Separation	(1) Unless otherwise referenced in subsections (2) and (3) the maximum building depth is 65.0% of the parcel depth for a building containing a unit.	Plans indicate the building depth for Building 2 as being 77.20% (+12.20%) or 30.54m (+4.84m). Note: Section 535(2) cannot be applied as the development does not comply with building separation.
Permitted Contextual Use Rules		
Regulation	Standard	Provided
<i>N/A as per Section 347.1(5) A Contextual Semi-detached Dwelling must not be located on a parcel that contains more than one main residential building.</i>		



Re: DP2024-07897 COMPLETENESS REVIEW - 1614 16A ST SE

Dear Applicant,

I am the file manager who will be leading the review of your development permit application.

A review of your application has been undertaken and it has been determined that your application is a complete application. A comprehensive review is now underwa

For more information about the development permit process please visit www.calgary.ca/dpprocess.

Please track your application, using your Job Access Code (JAC) DP2024-07897-56862, at www.calgary.ca/vista.

Should you have any questions or concerns, please contact me at your convenience.

Regards,

JENNY SEPULVEDA
Planner 1
jenny.sepulveda@calgary.ca
www.calgary.ca/PDMap



Re: Discussion DP2024-07897 Building depth

From Sepulveda, Jenny <Jenny.Sepulveda@calgary.ca>

Date Thu 3/13/2025 10:29 AM

To Meadows, Melanie D. <Melanie.Meadows@calgary.ca>; Kunz, Naomi <Naomi.Kunz@calgary.ca>

Thank you both.

Jenny

From: Meadows, Melanie D. <Melanie.Meadows@calgary.ca>

Sent: Wednesday, March 12, 2025 12:36 PM

To: Kunz, Naomi <Naomi.Kunz@calgary.ca>; Sepulveda, Jenny <Jenny.Sepulveda@calgary.ca>

Subject: RE: Discussion DP2024-07897 Building depth

Hi Jenny,

I looked at the plans and the bylaw check and in my opinion the bylaw check is considering this a 'laned' parcel but the reason Subsection 2 wasn't applied is because the building separation doesn't comply. If they met the 6.5 metre separation then it would meet the building depth rule. I think that's what you were saying too Naomi.

Now the question becomes do we want to 'relax' the building separation rule? I recently attended a workshop and the building separation came up, it was noted that the intent of the rule is to provide useable at grade amenity and access to sunlight. We have in some instances allowed for a small upper level cantilever to 'encroach' within that separation but generally we look for compliance. In this case I would say the location and scale of the mobility storage does not meet the intent of the separation rule. Not super happy with the lockers either. If they were to relocate them elsewhere then I think the development would be supportable. That is assuming it meets policy .

Also happy to chat if needed.

Thanks

Mel

Melanie Meadows

Leader, Development Services

Development & Subdivision Application Services | Community Planning

Planning and Development Services

T 403.268.2089 | **C** 403.862.1283 | www.calgary.ca

Check out www.calgary.ca/pdmap to learn more about the development activity in your community.

From: Kunz, Naomi <Naomi.Kunz@calgary.ca>

Sent: Tuesday, March 11, 2025 12:47 PM

To: Sepulveda, Jenny <Jenny.Sepulveda@calgary.ca>; Meadows, Melanie D. <Melanie.Meadows@calgary.ca>

Subject: RE: Discussion DP2024-07897 Building depth

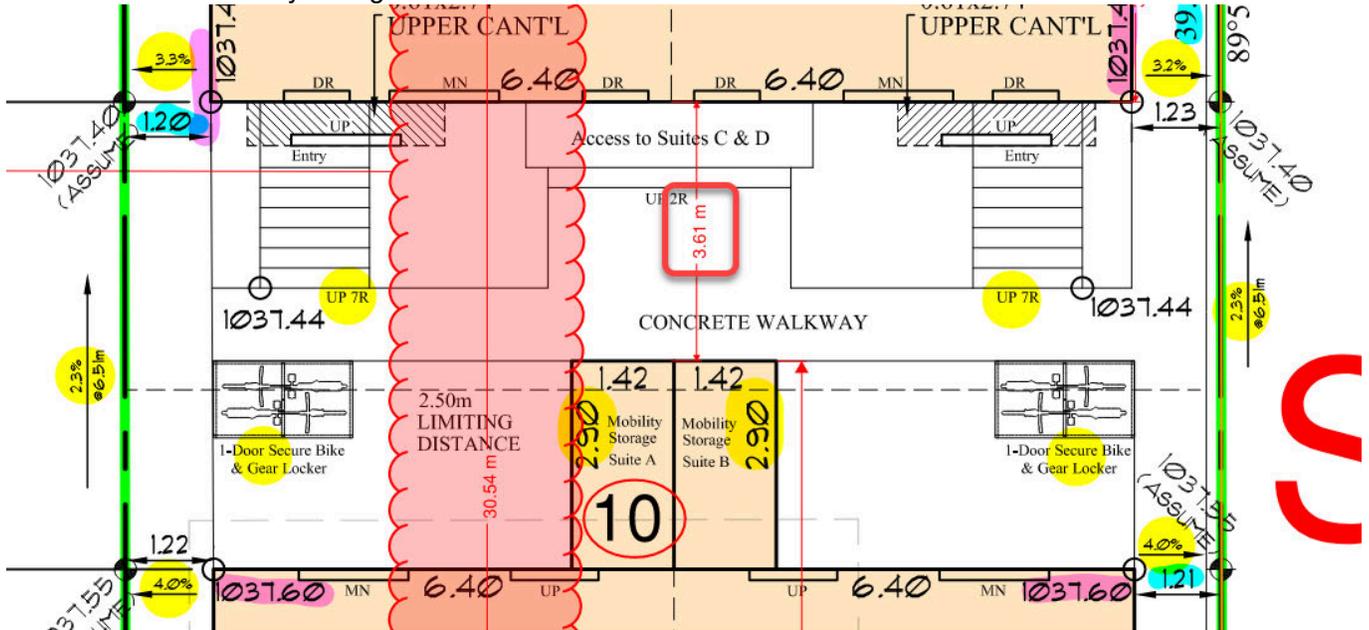
Hi Jenny,

I just updated the DP# in the subject line to this one [POSSE - DP2024-07897 - DP \(Development Permit\)](#)

This is an interesting scenario I haven't seen come up before.

In my opinion, I think I would consider this to be a 'laned parcel' because the LUB doesn't specify that a lane has to be a certain roadway class – just that it's primarily intended to give access to the rear of buildings (Section 78) which I think describes 17 St SE. Would you agree, Mel?

I looked at the Bylaw Check and noted that the bylaw checker also noted the discrepancy due to the building separation – on the Feb 20th plans they indicated the building separation is only 3.61 metres which accounts for the mobility storage lockers.



I think depending on if those mobility storage lockers are movable or if they are part of the building would determine how I would look at this one.

I hope this helps – feel free to call me if you want to chat more about the 'lane' etc.

Naomi Kunz

Senior Planning Technician

Development & Subdivision Application Services | Community Planning

Planning & Development Services

E: naomi.kunz@calgary.ca P: 403-620-8355

Visit www.calgary.ca/pdmap to learn more about the development activity in your community.

From: Sepulveda, Jenny <Jenny.Sepulveda@calgary.ca>

Sent: Monday, March 10, 2025 3:02 PM

To: Meadows, Melanie D. <Melanie.Meadows@calgary.ca>

Cc: Kunz, Naomi <Naomi.Kunz@calgary.ca>

Subject: Discussion DP2024-08302 Building depth

Hi Melanie and Naomi

I'd like to discuss the approach for this file with you. I previously spoke with Naomi about it, but after speaking with the applicant, I have a few more questions.

This application includes a **Semi-Detached Dwelling (2 buildings)**, **Secondary Suite (4 suites)**, and an **Accessory Residential Building (garage)**. However, it does not comply with **Section 535**

SDAB2025-0066

– **Building Depth and Separation.** Specifically:

- **Building depth for Building 2** exceeds the allowable limit, measuring **77.20% (+12.20%) or 30.54m (+4.84m).**
- **Section 535(2)** cannot be applied because the development does not meet the building separation requirements.

I initially sent a **DR2** asking for adjustments, as I wasn't open to granting a relaxation. However, after speaking with the applicant, they argued that compliance with **Section 535** is unnecessary because **17 St SE functions as a back lane.**

Upon further review, I found that the **Calgary Transportation Plan (CTP)** does not classify 17 St SE as a collector road, unlike Waterview. **Mobility believes** that since the CTP is statutory, it should be taken into account. However, the **Bylaw checker considers it a road.** In practice, it seems to function as a mix of both.

We have two potential approaches:

1. **Grant a relaxation**, based on the argument that 17 St SE can technically be considered a lane.
2. **Reassess its classification** as a lane and request a bylaw check again.

Let me know your thoughts.

Thanks,
Jenny

From: Aktug, Kerim <Kerim.Aktug@calgary.ca>
Sent: Monday, March 10, 2025 6:58 AM
To: Sepulveda, Jenny <Jenny.Sepulveda@calgary.ca>
Subject: RE: DP2024-08302 Building depth

Nope I incorrectly measured it the last time.

Kerim Aktug

Planning Technician, Land Use Bylaw Application Review
Community Planning, Planning & Development Services
The City of Calgary | Mail code: #8073
C 403.333.6015 | calgary.ca
800 Macleod Tr. S.E.
P.O. Box 2100, Station M, Calgary, AB Canada T2P 2M5

From: Sepulveda, Jenny <Jenny.Sepulveda@calgary.ca>
Sent: Friday, March 7, 2025 12:23 PM
To: Aktug, Kerim <Kerim.Aktug@calgary.ca>
Subject: DP2024-08302 Building depth

Hi Kerim

SDAB2025-0066

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I hope this email finds you well.

I was reviewing the partial bylaw check for this DP and was surprised to see that the building depth has increased. I also noticed your note regarding the drawings not being to scale—do you think that could be a factor in this change?

I spoke with this applicant and no changes have been done to cause this. I was about to grant a relaxation for the 1.23m discrepancies but 2.14m is too much.

Please let me know your thoughts.

Thank you,

Jenny Sepulveda (she/her)

Planner, North Planning Area

Community Planning

Planning & Development Services

The City of Calgary

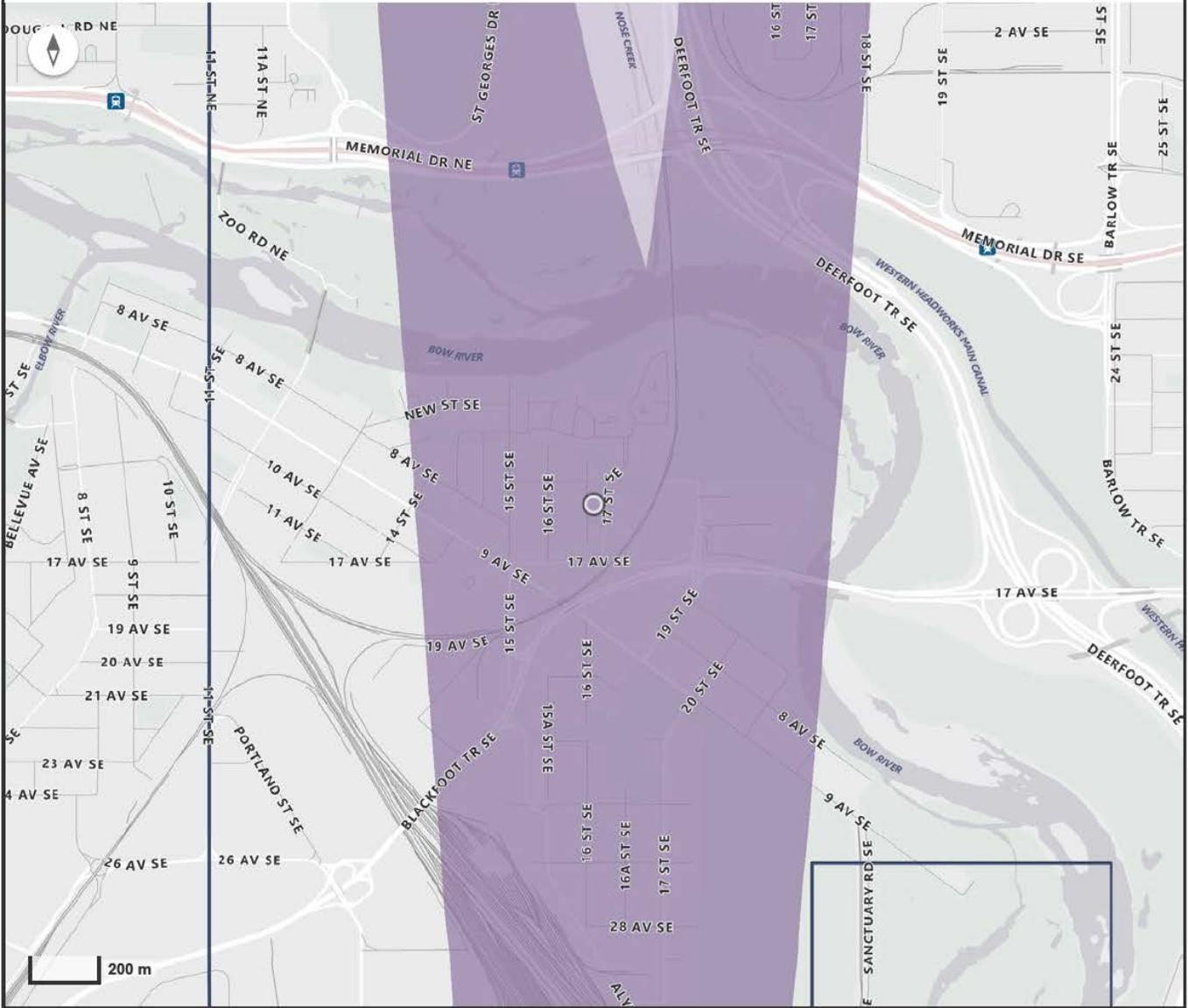
C 587.891.4619 | **E** jenny.sepulveda@calgary.ca

Floor 5, Municipal Building - 800 Macleod Tr. S.E.

P.O. Box 2100, Station M, Calgary, AB Canada T2P 2M5

Check out www.calgary.ca/dmap to learn more about the development activity in your community.

Airport Vicinity Protection Area (AVPA) map



Noise Exposure Forecast Contours Airport Vicinity Protection Area Boundary

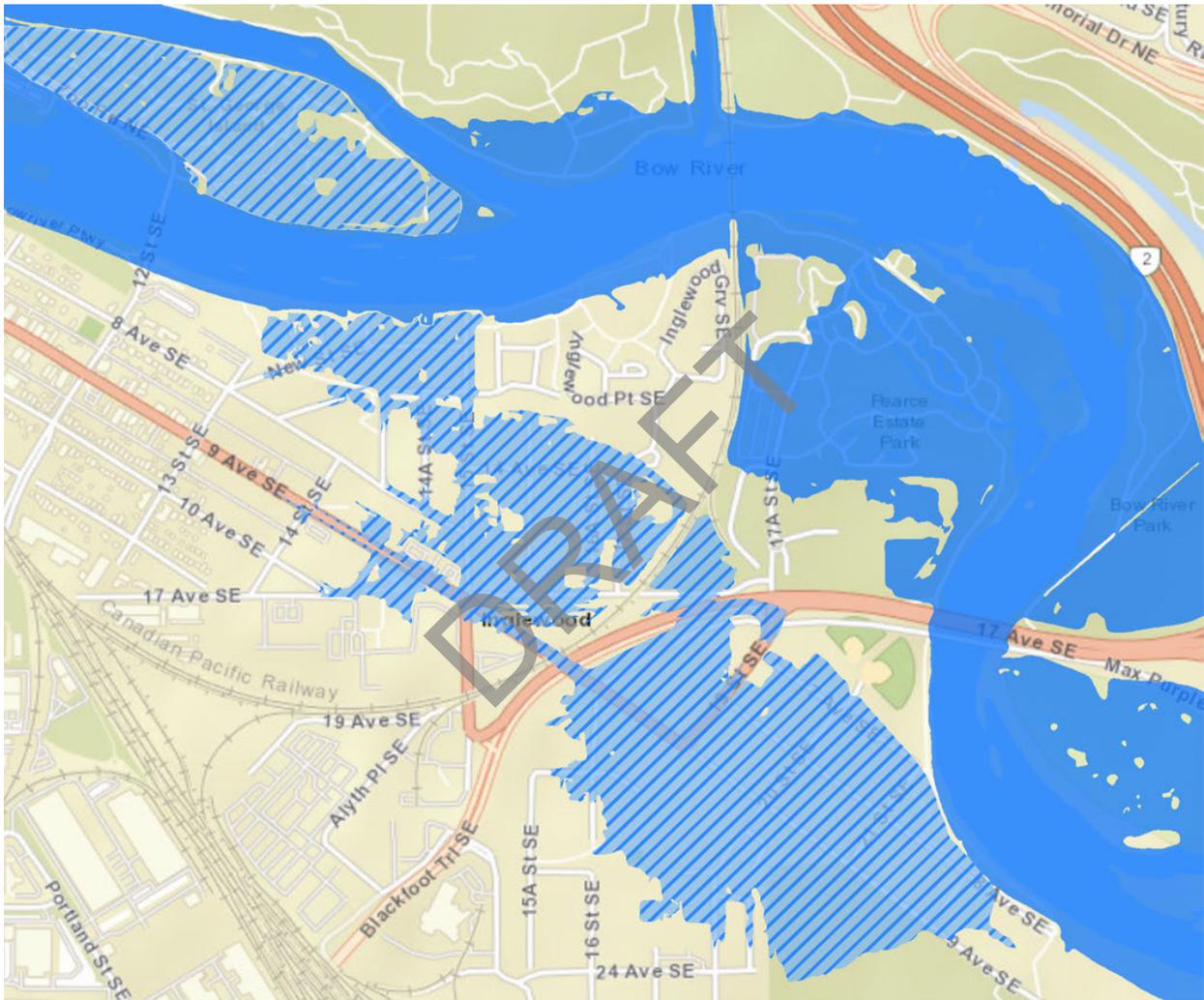


Search result

1614 16A ST SE

[Show more results](#)

Flood Inundation Map



1:100 Open Water Flood



- Directly Flooded
- Protected by Flood Berm
- Flood Berm
- Other Flood**
- Directly Flooded

Map Projection: Mercator Auxiliary Sphere
Map Datum: World Geodetic System 1984
Flood Level Datum: Canadian Geodetic Vertical Datum of 1928

The flood information as depicted is subject to change, therefore the Government of Alberta assumes no responsibility for discrepancies at the time of use.



ENMAX Power Corporation
 141 – 50 Avenue SE
 Calgary, AB T2G 4S7
 Tel (403) 514-3000
 enmax.com

2024-11-22

File No: DP2024-07897

Location: 1614 16A ST SE

ENMAX Power Corporation (EPC) has reviewed the above permit application dated 2024-11-19 and based on the information provided and as of the above noted date the proposed development does not conflict with ENMAX facilities in respect of the requirements set forth in 10-002 Overhead System (Table 7) and 12-002 Underground Systems of the Alberta Electrical Utility Code (AEUC) under the *Safety Codes Act* (Alberta). This non-conflict letter does not reduce or limit responsibility to comply with all laws and regulations regarding utility facilities and all requirements under the *Alberta Occupational Health & Safety Act* (OHS) (including any code or regulations thereunder)(OHS) and the applicant shall observe all such laws and regulations when commencing any work related to the permit application. If a situation arises where there is a discrepancy between ENMAX required setbacks and the AEUC or the OHS, the stricter set of requirements shall govern. Please refer to ENMAX Ground Disturbance Guidelines while working near ENMAX Facilities.

Pursuant to Section 225(1) of Part 17 of the *OHS Code*, anyone working near overhead powerlines must maintain safe limits of approach as provided in Schedule 4, Table 1 of the *OHS Code* or Table 1 in the AEUC. Anyone excavating must contact Utilities Safety Partners for locations of all buried facilities. All contractors, prime or sub (excavating company) must contact hotdigs@enmax.com to obtain a permission letter prior to disturbing the ground within 2 metres of any ENMAX underground facility. As a condition of this no-conflict letter, and despite any existence of a permit, the applicant must contact EPC Lineinspection@enmax.com or call (403) 514-3117 prior to the commencement of any construction where any workers or equipment will be within 7.0m of existing overhead EPC facilities. If EPC is contacted in accordance with the above, no construction work shall be commenced thereafter unless and until EPC determines the minimum safe limit of approach distance in relation to the overhead facilities present at the project site.

****NOTE:** This letter provided by ENMAX Power Corporation is intended for information purposes only and is not in any manner intended to nor shall be construed to derogate from applicant's obligations to follow any applicable law. The provision of this no-conflict letter is not a representation that work will meet any legislative or regulatory obligations. This no-conflict letter is provided as of the date first note above – the applicant is still required to perform their own due diligence prior to any development activities and resolve any conflicts (new or existing) at the Developer's sole expense. ENMAX expressly disclaims any liability related to applicant's responsibility to comply with such laws and regulations and ENMAX's required setbacks.

If you require any additional information regarding this Development Permit, please contact the Project Administrator at EPC_Permits@enmax.com. **For new services inquiries, please contact ENMAX GetConnected at GetConnected@enmax.com.**

Sincerely,

Marcelo Singson P.Eng
 Distribution Engineering

QR Code for ENMAX Ground
 Disturbance Guidelines





Peter Condic <[REDACTED]>

Automatic reply: [External] 1614 16A Street SE - Community Engagement

1 message

CLWARD9 - Vacant <CLWARD9@calgary.ca>

Sat, Jan 25, 2025 at 1:21 PM

To: [REDACTED] <[REDACTED]>

Thank you for contacting the Ward 9 office.

This email is to acknowledge the receipt of your message. Every incoming email is read, reviewed, and considered. Due to the high volume of email we receive, it may not be possible to provide a personalized response to every message.

If you require immediate assistance, please consider the following resources:

- Most of the inquiries we receive are for **City of Calgary Services** which are best resolved through **311**. As the resource created to handle these types of requests, 311 responds to a broad range of questions and services inquiries, directing issues to the appropriate business unit for action. Additionally, data collected from these requests helps The City identify service gaps and guide additional resources for common concerns. For **City of Calgary services information** and non emergency related support (ie: bylaw-related issues, potholes, snow removal, tax inquiries...) please **contact 311** through the **online portal**, **mobile app**, or by **calling 3-1-1**.
- For **land use or development permit** matters, please visit the **Development Map** and search the file number or street address to find the contact information of the file manager.
- To see **planning matters** on an upcoming Public Hearing agenda, please visit **Calgary.ca/PlanningMatters**.
- To see upcoming **Committee and Council meeting** agendas or past meeting minutes, visit **Calgary.ca/PH**.
- To learn more about how to **participate in Calgary City Council meeting**, please visit **gccarra.ca/participate-in-city-council**
- If you or someone you care about is **in crisis and needs support**, please contact the **Distress Centre** by **phone, text, or chat: (403)266-4357**.
- For information about **community or social resources** available in Calgary, **call, text, or chat with 2-1-1**.
- If you see an **unhoused neighbour** in need of assistance, please call the **Alpha House HELP Team** (formerly known as the DOAP Team) at **403.998.7388**. If someone is in serious distress or non responsive, call 9 1 1.
- For **encampment** concerns, please call the **Alpha House Encampment Team** at **403.805.7388**
- For **needle debris** concerns, please call the **Alpha House Needle Response Team** at **403.796.5334**
- Report **traffic concerns** to Calgary Police (ie: speeding, pedestrian safety, school/playground zones, dangerous intersections...)
- Visit the **Streetlight Outages Map** to view and report streetlight outages.
- For **all other questions or concerns** or if you are unsure of who to contact, **please call 3-1-1**.
- The **Ward 9 website** is updated regularly with both community-specific and city-wide communications. Please visit **gccarra.ca** to learn more.

Please Note: The City of Calgary supports a safe and respectful work environment where trust and respect are expected of our employees and fellow citizens. While the vast majority of correspondence with our office falls into this category, for those

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1/28/25, 11:55 AM

Gmail - Automatic reply: [External] 1614 16A Street SE - Community Engagement

communications that do not, individuals should be aware that we have a zero tolerance policy for any language or behaviour that is abusive, violent, or aggressive.

Thank you,

The Ward 9 Office

Councillor Gian Carlo Carra, City of Calgary

W: gccarra.ca

NOTICE -

This communication is intended ONLY for the use of the person or entity named above and may contain information that is confidential or legally privileged. If you are not the intended recipient named above or a person responsible for delivering messages or communications to the intended recipient, YOU ARE HEREBY NOTIFIED that any use, distribution, or copying of this communication or any of the information contained in it is strictly prohibited. If you have received this communication in error, please notify us immediately by telephone and then destroy or delete this communication, or return it to us by mail if requested by us. The City of Calgary thanks you for your attention and co operation.

*INGELWOOD COMMUNITY ASSOCIATION
1740 24TH AVE SE
CALGARY, ALBERTA
T2G 1P9*

21 February 2025

Calgary Development Authority
Per developmentmap.ca
Development and Building Approvals

Dear Jenny Sepulveda:

Re: DP2024-07897 – 1614 16A St SE

The Inglewood Planning Committee has reviewed the application regarding the Development Permit DP2024-07897 and hereby submit our objections to this permit. Both the Municipal Development Plan (MDP) and the Inglewood Area Redevelopment Plan (IARP) direct densification as to be compatible and sensitive to the community in mid-block in low-density areas. The relevant policies are:

MDP Policy.

Section 2.2.5, Strong Residential Neighbourhoods, encourages growth and change that is similar in scale and built form.

Section 2.3.2a, Respecting and Enhancing Neighbourhood Character, requires that development respect the existing character of low-density residential areas.

Section 2.3.2b, ensures that there is an appropriate transition in development intensity, uses and built forms between low-density areas and more intensive multi-residential areas.

Section 2.3.2c, ensures that new development complements the established character of the area and does not create dramatic contrasts in the physical development pattern.

ARP Policy.

Section 2.3.2 States the new development should respect the surrounding housing and contribute to an attractive streetscape.

Section 2.3.6. Talks about increasing density intensity up to 30 units/acre (74 units/ha) at sites “not surrounded by existing development”. This application far exceeds that limit at 144 units/ha.

Section 2.4.6. Addresses redesignation conditions deemed inappropriate where new development is completely surrounded by lower density housing.

The Inglewood Community Association submits that DP2024-07897 does not take into consideration any of these policies. The “proposed development does not complement the established character of the area and creates a dramatic contrast in physical development patterns to what is found in the area.”¹ Further the “intensification of the proposed mid-block

development compared with the neighbourhood is insensitive to the surrounding area; noncompliant with section 2.2.5 of the MDP¹ and multiple sections of the ARP. As to the density of the project it has been ruled that although development meets the requirements under a Land Use District that a proposed development can be “just too large for the parcel and is not sensitive to and is not compatible with the existing housing on the block”¹

Lastly, we are concerned with the increased density combined with the lower parking ratio and the effect it will have on the daily lives of current and future residents. The cumulative affects already seen along 17th St will present challenges that we do not feel have been addressed.

If you have any questions, you can reach me at design@icacalgary.com

Yours truly,

INGLEWOOD COMMUNITY ASSOCIATION
Planning Committee
Glen Kerr, Planning Chair.

1. SDAB2024-0060(Re), 2024 CGYSDAB 60 (CanLII)

Samnick, Cyrille

From: ICA Design <design@icacalgary.com>
Sent: Tuesday, December 10, 2024 8:43 AM
To: DP Circ
Cc: Sepulveda, Jenny
Subject: [External] Re: Electronic Submission for DP2024-07897 - 1614 16A ST SE

This Message Is From an External Sender
This message came from outside your organization.
ATTENTION: Do not click links or open attachments from external senders unless you are certain it is safe to do so. Please forward suspicious/concerning email to spam@calgary.ca

Good morning. The Inglewood Community Association has reviewed this permit and are in opposition to its issuance. The permit is not showing up on the DP site so I'm filing our objection here. The community is in opposition as the design does not comply with the Inglewood ARP. Specifically the DP is in contravention of:

- 2.3.2, 'respect the surrounding housing,'
 - 2.3.6 '12-30 units per acre ...not surrounded by existing development',
 - 2.4.6 'the site is not completely surrounded by lower density housing. ...sites on the edge of lower density areas are most appropriate...'
- in the ARP.

Further the multi car garage backs onto a busy connector road and we would ask if a traffic study has been completed.

Please do not hesitate to contact us should you have questions in this regard.

Glen Kerr
Planning Chair

On Tue, Nov 19, 2024 at 3:35 PM <DP.circ@calgary.ca> wrote:



A **Development Permit** application has been submitted for **New: Dual Semi-detached (2 buildings), Secondary Suite (4 suites), Accessory Residential Building (garage, storage unit)** to The City of Calgary. Please find the circulation package containing the application details, attached.

Councillor's Offices, please note that this circulation has been provided for your information only.

For all other circulation referees,

We kindly ask that you submit your comments through the [Development Map](#). Comments for DP2024-07897 are **due by December 10, 2024**, except when Council Approved Policy, such as Intermunicipal Development Plans, allows for alternate commenting timelines. If the application is for a Permitted use and you are unable to comment through the Development Map, please send comments to the Circulation Team at DP.circ@calgary.ca.

Submitting comments through the Development Map helps streamline the application process.

Sincerely,

The Circulation Team

DP.circ@calgary.ca

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--

ICA Design
website: icacalgary.com

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Comment Summary



Permit #: DP2024-07897
Address: 1614 16A ST SE
Job Description: New: Semi-detached Dwelling (2 buildings), Secondary Suite (4 suites), Accessory Residential Building (garage)

Name:	Rhonda Woolverton	Created Date:	January 29, 2025
Phone:		Circulation Referee:	N
Email:	[REDACTED]	Number:	566455228
Address:	1613 16A Street SE		
Overall:	In opposition of this application		

General Comment

See email attachment

Attachments

[SUPPORTING DOCUMENT - CIRCULATION COMMENTS - RW Comments.pdf](#)

Name:	Khris Huxley	Created Date:	January 29, 2025
Phone:		Circulation Referee:	N
Email:	[REDACTED]	Number:	566455239
Address:	1620 16A Street SE		
Overall:	In opposition of this application		

General Comment

See attached pdf

Attachments

[SUPPORTING DOCUMENT - CIRCULATION COMMENTS - KH Comments.pdf](#)

Name:	Shauna Olsen	Created Date:	January 29, 2025
Phone:		Circulation Referee:	N
Email:	[REDACTED] t	Number:	566455501
Address:			
Overall:	In opposition of this application		

General Comment

See attached pdf

Attachments

[SUPPORTING DOCUMENT - CIRCULATION COMMENTS - SO Comments.pdf](#)

Name:	Sarah England	Created Date:	January 29, 2025
Phone:		Circulation Referee:	N
Email:	[REDACTED]	Number:	566455506
Address:			
Overall:	In opposition of this application		

General Comment

See attached pdf

Attachments

[SUPPORTING DOCUMENT - CIRCULATION COMMENTS - SE Comments.pdf](#)

Name:	Inglewood Community Association	Created Date:	February 21, 2025
Phone:	4032643855	Circulation Referee:	Y
Email:	idi@icacalgary.com	Number:	570934023
Address:	Circulation Referee No Address		
Overall:	In opposition of this application		

Area of Concern

Building (massing, façade, height, shadowing, etc.)
Parking or loading zones

General Comment

As per the attached letter the Inglewood Community Association is opposed to this application based on contravention to the MDP an ARP rules and local concerns with traffic and parking.

Attachments

[SUPPORTING DOCUMENT - CIRCULATION COMMENTS - INGELWOOD COMMUNITY ASSOCIATION DP2024-07897 1614 16A St Feb 21.docx](#)

Name:	Gian-Carlo Carra	Created Date:	March 17, 2025
Phone:	4032682477	Circulation Referee:	Y
Email:	eaward9@calgary.ca	Number:	575939080
Address:	Circulation Referee No Address		
Overall:	Neither in support nor in opposition of this application		

Area of Concern

Other

142

General Comment

I don't love that we're treating 17th St SE as an alleyway. Some frontage / eyes on the street should be mandatory.

Attachments

Name:	Inglewood Community Association	Created Date:	April 7, 2025
Phone:		Circulation Referee:	Y
Email:	design@icacalgary.com	Number:	580828452
Address:	Circulation Referee No Address		
Overall:	In opposition of this application		

Area of Concern

Building (massing, façade, height, shadowing, etc.)

Environmental preservation

Other

General Comment

Oppose as the application contravenes the ARP section 2.3.6, density mid block and relaxation of flood level is unwarranted

Attachments

Name:	Gian-Carlo Carra	Created Date:	April 9, 2025
Phone:	4032682477	Circulation Referee:	Y
Email:	eaward9@calgary.ca	Number:	581308629
Address:	Circulation Referee No Address		
Overall:	In opposition of this application		

Area of Concern

Other

General Comment

I am really sad about how we're failing the rear condition of this lot. 17th St Se should be a frontage.

Attachments



Re: [External] DP2024-07897 1614 16A street SE

From Khris Huxley [redacted] >
Date Wed 12/4/2024 3:13 PM
To Gu, Jay <Jay.Gu@calgary.ca>; [redacted] >
Cc [redacted]; Sepulveda, Jenny <Jenny.Sepulveda@calgary.ca>

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Thanks Jay
I didnt see Jenny cc ed on the reply, but hopefully you forwarded separately (i tried to add her email address)
I have also added Shauna, another neighbour onto this email chain
Thanks in advance

Khris Huxley
Regional Director
Northview Apartment REIT
Phone: [redacted]
Cell: [redacted]
Email: [redacted]
 Description: Description: nvreit email signature portrait
Website: northviewreit.com Description: Description: twitter logo [Twitter](#)

On Dec 4, 2024, at 2:29 PM, Gu, Jay <Jay.Gu@calgary.ca> wrote:

Good afternoon Khris,

Thanks for the email. I have cc'd Jenny Sepulveda who is the File Manager of DP2024-07897. She should be able to assist you with the questions below.

Jay Gu, AICP
Planner 2, South Area Planning
Community Planning
Planning & Development
The City of Calgary | Mail code: #8073
M 587.215.2730 | E Jay.Gu@calgary.ca

Floor 5, Municipal Building – K4, 800 Macleod Tr. S.E.
P.O. Box 2100, Station M, Calgary, AB Canada T2P 2M5

ISC: PROTECTED



Check out www.calgary.ca/pdmap to learn more about the development activity in your community.

From: Khris Huxley [REDACTED]
Sent: Tuesday, December 3, 2024 6:54 PM
To: Gu, Jay <Jay.Gu@calgary.ca>
Cc: [REDACTED]
Subject: [External] DP2024-07897 1614 16A street SE

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Hello - I am writing to inquire about this proposed development. How many parking stalls will be provided for under the proposal - will it be 6 or 8 assigned stalls. If there are 4 units and each has 2 vehicles we will be quadrupling the parking and traffic on the street. Is out possible to request a copy of the architectural plans for this development?
I have concerns about increasing density without adding sufficient off street parking for all vehicles. How many city bins will be at the rear of the house? Will it be 12 bins in total, 3 per unit? Seems absurd that there might be so many bins now in the back street.
Overall I oppose this development unless adequate parking has been provided.

Khris Huxley 1620 16A Street SE

NOTICE -

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SDAB2025-0066



[External] Re: DP2024-07897 1614 16A street SE

From Khris Huxley [REDACTED] m>
Date Sat 1/18/2025 6:52 PM
To Sepulveda, Jenny <Jenny.Sepulveda@calgary.ca>; Gu, Jay <Jay.Gu@calgary.ca>
Cc [REDACTED]; Gu, Jay <Jay.Gu@calgary.ca>

This Message Is From an Untrusted Sender

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Hello - I am again writing to object to this development. Having reviewed the plans, I see 8 dwelling units replacing a single dwelling. That's absurd to insert such a large multifamily development into our street. Gross overshadowing and privacy issues will be created, and obviously parking and garbage collections will be ridiculous.
Khris Huxley
1620 16A street SE

On Dec 4, 2024, at 3:22 pm, Sepulveda, Jenny <Jenny.Sepulveda@calgary.ca> wrote:

Hi Khris,

My apologies I didnt see you email earlier. I replied to Rhonda.

Thanks for reaching out with your concerns.

I identified that there is an internal problem —an error in our system caused the disappearance of the DP in DMAP. Please rest assured that we are actively working to resolve this issue.

I can confirm that this will not affect the notice period, and if an extension is required, we will make the necessary adjustments to ensure fairness.

If you would like to learn more about this application, please refer to the following information.

The application review

In addition to your comments, several other factors will be taken into account including the Land Use Bylaw rules; applicable planning policies; circulation comments from external and internal referees (for example, the Community Association and City departments); and all relevant planning considerations. When a thorough review of the application has been completed, a decision will be recommended to the approving authority.

For more information about the Development Permit process please visit www.calgary.ca/dpprocess.

For status updates and more information on your specific Development Permit please visit www.calgary.ca/pdmap.

How do I view the application plans and available information?

For your convenience, while the application is under review, we're offering online viewings of permit drawings and documents using Microsoft OneDrive. If you'd like to schedule a digital viewing, please complete our [Viewing Authorization Form](#). You can then send an email to PropertyResearch@calgary.ca attaching the filled out form and providing a date (Monday – Friday) you'd like to view the Development Permit, allowing for 1 business days' notice. The plans will be available on your appointment day from 9AM to 4PM. Please note these documents are copyright-protected and you may not download them during the viewing.

If your preference is to view the permit drawings and documents from a computer at the Municipal Building (3rd Level, 800 Macleod Trail S.E.) please also email PropertyResearch@calgary.ca and provide a date (Monday – Friday) you'd like to

view the Development Permit, allowing for 1 business days' notice. We'll email you to confirm your appointment after we've verified the availability of you date.

Notification of Decision

If the Development Authority approves the application, the decision will be advertised on the Public Notice section of our website the following Thursday. For a listing of Development Permits that have been approved and advertised, please visit our website at www.calgary.ca/publicnotices. Please note that, in keeping with Land Use Bylaw 1P2007, the official notification of the decision to approve the application is by the Public Notice advertisement. **No other public notification process will be initiated and the File Manager is not required to notify you directly.**

Appealing the decision

An appeal against the Development Authority's decision to approve the Development Permit application or the conditions of approval may be made within 21 days after the [Public Notice advertisement](#). The public notice advertisement will identify the body to which an appeal must be filed.

How Are Your Comments Used?

Your comments assist City staff in reviewing and making a decision on this application and it is the City's practice to keep your comments confidential.

However, if the decision on the application is appealed, all information in our file is disclosed and will become a part of the public record. In such a case, your comments will no longer be confidential.

Thank you for your understanding.

Regards,

Jenny Sepulveda (she/her)
Planner, North Planning Area
Community Planning
Planning & Development Services
The City of Calgary
C 587.891.4619 | E jenny.sepulveda@calgary.ca
Floor 5, Municipal Building - 800 Macleod Tr. S.E.
P.O. Box 2100, Station M, Calgary, AB Canada T2P 2M5

Check out www.calgary.ca/dmap to learn more about the development activity in your community.

From: Khris Huxley <[redacted]>
Sent: Wednesday, December 4, 2024 3:13 PM
To: Gu, Jay <Jay.Gu@calgary.ca>; spolsen@telus.net <spolsen@telus.net>
Cc: [redacted]; Sepulveda, Jenny <Jenny.Sepulveda@calgary.ca>
Subject: Re: [External] DP2024-07897 1614 16A street SE

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Thanks Jay
I didnt see Jenny cc ed on the reply, but hopefully you

forwarded separately
(i tried to add her email address)
I have also added Shauna, another neighbour onto this email chain
Thanks in advance

Khris Huxley
Regional Director
Northview Apartment REIT
Phone: [redacted]
Cell: [redacted]

 signature portrait
Website: northviewreit.com  [Description: Description: twitter-logo Twitter](#)

On Dec 4, 2024, at 2:29 PM, Gu, Jay <Jay.Gu@calgary.ca> wrote:

Good afternoon Khris,

Thanks for the email. I have cc'd Jenny Sepulveda who is the File Manager of DP2024-07897. She should be able to assist you with the questions below.

Jay Gu, AICP
Planner 2, South Area Planning
Community Planning
Planning & Development
The City of Calgary | Mail code: #8073
M 587.215.2730 | **E** Jay.Gu@calgary.ca

Floor 5, Municipal Building – K4, 800 Macleod Tr. S.E.
P.O. Box 2100, Station M, Calgary, AB Canada T2P 2M5

ISC: PROTECTED



Check out www.calgary.ca/pdmap to learn more about the development activity in your community.

From: Khris Huxley [REDACTED] >
Sent: Tuesday, December 3, 2024 6:54 PM
To: Gu, Jay <Jay.Gu@calgary.ca>
Cc: stayhealthy54@hotmail.com
Subject: [External] DP2024-07897 1614 16A street SE

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Hello - I am writing to inquire about this proposed development. How many parking stalls will be provided for under the proposal - will it be 6 or 8 assigned stalls. If there are 4 units and each has 2 vehicles we will be quadrupling the parking and traffic on the street. Is out possible to request a copy of the architectural plans for this development?

I have concerns about increasing density without adding sufficient off street parking for all vehicles. How many city bins will be at the rear of the house? Will it be 12 bins in total, 3 per unit? Seems absurd that there might be so many bins now in the back street.

Overall I oppose this development unless adequate parking has been provided.

Khris Huxley 1620 16A Street SE

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From: Khris Huxley <[REDACTED]>
Sent: January 18, 2025 8:51 PM
To: Sepulveda, Jenny <Jenny.Sepulveda@calgary.ca>; jay.gu@calgary.ca <jay.gu@calgary.ca>
Cc: [REDACTED] Jay Gu <jay.gu@calgary.ca>
Subject: Re: DP2024-07897 1614 16A street SE

Hello I am again writing to object to this development. Having reviewed the plans, I see 8 dwelling units replacing a single dwelling. That's absurd to insert such a large multifamily development into our street. Gross overshadowing and privacy issues will be created, and obviously parking and garbage collections will be ridiculous.

Khris Huxley
1620 16A street SE

Subject: Development Application for 1614 16A Street SE, Inglewood

Dear

My name is Michelle Tran, and my husband, Tim Tran, and I are the owners of 1614 16A Street SE in Inglewood. We are writing to share details about our recent application to develop a dual semi-detached residence on this property.

The proposed development aligns with the R-CG land use designation, supporting Calgary's housing strategy to provide more diverse and affordable housing options. Inglewood already features several multi-unit residential areas, and we believe our project will have a positive impact on both the community and individuals seeking affordable housing.

This property is ideally located within walking distance of key amenities, including the Green Line LRT, local shops, and downtown Calgary. The area's accessibility encourages walking, biking, and public transit as preferred modes of transportation, which could further help alleviate congestion on major roads.

We want to personally keep you informed about this development and are happy to answer any questions you may have. Please feel free to reach out to us via email at

████████████████████.

Thank you for your time and consideration.



[External] DP2024-07897 1614 16A street SE

From Rhonda Woolverton <[REDACTED]m>
Date Sun 1/19/2025 5:43 PM
To Sepulveda, Jenny <Jenny.Sepulveda@calgary.ca>
Cc Khris Huxley <[REDACTED]>; [REDACTED]>; Gu, Jay <Jay.Gu@calgary.ca>

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Dear Ms. Sepulveda,

I am opposed to this proposed development on 1614 16A Street SE, Calgary.

The description on the sign outside the property is not what is being proposed based on the architectural plans I have viewed (or at least how I understand it). I would suggest that this is false misrepresentation of what is actually being proposed for this property?

The plans show 8 dwelling units.

If there are 8 units and each unit has 2 vehicles, the parking on this street will be over maxed; even with the proposed garage, which can only house 4 vehicles. Increasing density without adding sufficient off street parking for all vehicles is a huge concern for 16A Street SE.

With 8 units, the City of Calgary Bins (3 per dwelling unit) will cause unnecessary congestion on 17th Street SE with NO space on 16A Street (to house these bins), due to already limited parking on this street.

Height is still a concern due to gross overshadowing and privacy issues of adjacent homes.

Can the City of Calgary water and sewage infrastructure, accommodate the demands for an additional 8 units on 16A Street SE?

For these reasons, I oppose this development.

Regards,

Rhonda Woolverton
1613 16A Street SE



Outlook

[External] Building next door.

From Shauna Olsen [REDACTED] >

Date Wed 12/4/2024 7:12 PM

To Sepulveda, Jenny <Jenny.Sepulveda@calgary.ca>

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Jenny I'm told to email you in regards to the building that's going up next door on 16 a Street Southeast in Inglewood. I have the same issues at all as all the other residents of the emails that you received about the parking on our street it's already hard to park on our street of all the new buildings ,so I agree with what Chris and the others have sent to you my issue is I'll be right next door to the house we have plenty of trees there on the side and that brings us much privacy and we really appreciate it and now that will all be torn down and you will open my main door my entrance door and will be looking at a wall now who would want to live there. Thankyou Shauna Olsen.



Outlook

[External] Project on 16a street S.E.

From Shauna Olsen [REDACTED] >

Date Sun 1/19/2025 5:56 PM

To Sepulveda, Jenny <Jenny.Sepulveda@calgary.ca>

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I would like to join my fellow neighbors in all their comments, and add that I don't understand why they are building apartment size buildings on our LITTLE street. All these properties had small houses on them. I don't understand why we can't expand and have a garage because it takes up too much land but they can build on the whole land. Again I agree with everything Rhonda and Kris have said. Shauna Olsen.



[External] RE: Comments for DP2024-07897

From England, Sarah (she) <[redacted]>
Date Tue 12/17/2024 11:41 AM
To Sepulveda, Jenny <Jenny.Sepulveda@calgary.ca>

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Hi Jenny,

Thank you for your response.

To ensure all residents have an opportunity to voice their opinions, I believe reposting the development sign would be the best course of action. In order to obtain your email address, I had to contact the City of Calgary customer service to obtain your email address, and I am unsure if other community members would take similar steps. Additionally, it has been difficult for community members to access information about this development, which has prevented them from submitting informed comments.

As a long-time renter in the house that is set to be demolished, this development has personally resulted in the loss of my affordable housing and has displaced me from the neighborhood. While I understand that I no longer have a direct stake in this project due to these circumstances, I am aware that this is a contentious development with wide-reaching impacts and engagement will be important in the success of this development.

Thank you,
Sarah

From: Sepulveda, Jenny <[redacted]>
Sent: Tuesday, December 17, 2024 11:25 AM
To: England, Sarah (she) <[redacted]>
Subject: Re: Comments for DP2024-07897

Hi Sarah

Thank you so much for reaching out, this has been brought to our attention earlier. I completely understand your concern and want to assure you that we are doing everything possible to resolve this issue promptly.

Due to an internal error, the DP temporarily disappeared from the DMap system, preventing comments from being submitted. However, we are able to manually upload comments on your behalf.

Please feel free to send me your comments directly, and I will ensure they are uploaded to the **circ/public comments tab**. Additionally, please share this with others who may also want to submit their comments.

To ensure all residents have a fair opportunity to view and provide feedback, we are considering re-noticing the post once the issue is fully resolved.

Thank you for your patience and understanding. Please let me know if you have any further questions or concerns.

Sincerely,

Jenny Sepulveda (she/her)
Planner, North Planning Area

Community Planning

Planning & Development Services

The City of Calgary

C 587.891.4619 | **E** jenny.sepulveda@calgary.ca
Floor 5, Municipal Building - 800 Macleod Tr. S.E.
P.O. Box 2100, Station M, Calgary, AB Canada T2P 2M5

Check out www.calgary.ca/dmap to learn more about the development activity in your community.

From: England, Sarah (she) [REDACTED]
Sent: Monday, December 16, 2024 12:29 PM
To: Sepulveda, Jenny <Jenny.Sepulveda@calgary.ca>
Subject: [External] Comments for DP2024-07897

This Message Is From an Untrusted Sender

You have not previously corresponded with this sender.

ATTENTION: Do not click links or open attachments from external senders unless you are certain it is safe to do so. Please forward suspicious/concerning email to spam@calgary.ca

Hi Jenny,

A few weeks ago, I noticed a sign inviting comments on the development at 1614 16A Street SE. However, when I checked online and on the development map, the Development Permit details were not available, so I was unable to submit my comments. I had hoped the information would appear after a short delay, but unfortunately, nothing has been posted over the past few weeks. As a result, both myself and other community members were unable to participate in the engagement period for this permit.

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This lack of accessibility has been concerning, as it prevents the community from having their voices heard regarding the proposed development. Could you kindly look into why the DP was not made available and advise if there is a way to address this issue?

I appreciate your assistance and look forward to hearing from you.

Thank you,
Sarah

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Development Authority Appeal Response

Appeal Number: SDAB2025-0066

Development Permit Number: DP2024-07897

Address: 1614 16A ST SE

Description: New: Semi-detached Dwelling (2 buildings), Secondary Suite (4 suites), Accessory Residential Building (garage)

Land Use: Residential – Grade-Oriented Infill (R-CG)

Community: Inglewood

Identified Appeal Body:

Subdivision and Development Appeal Board (SDAB)

Development Authority Attendance: Yes

Use: Discretionary

Notice Posted: Completed as per Bylaw

Public Response(s) Received? Yes, responses included in the Board Report.

Applicable Planning Policies:

- Inglewood Area Redevelopment Plan (the Plan)
- Policy to Guide Discretion for Secondary Suites and Backyard Suites (the Policy)
- The Low Density Residential Guidelines for Established Communities (Infill Guidelines)

Bylaw Relaxations:

The development requires the following Land Use Bylaw relaxations:

<i>Regulation</i>	<i>Standard</i>	<i>Provided</i>
535 Building Depth and Separation	(1) Unless otherwise referenced in subsections (2) and (3) the maximum building depth is 65.0% of the parcel depth for a building containing a unit.	Plans indicate the building depth for Building 2 as being 77.20% (+12.20%) or 30.54m (+4.84m). Note: Section 535(2) cannot be applied as the development does not comply with building separation.

Additional Factors, Considerations, and/or Rationale:

1. Please see the Reasons for Approval.
2. The Development Authority may provide additional materials prior to the merits hearing.

Proposed Dual Semi-Detached w/ 4 Lower Legal Suites - Development Permit Set

1614 - 16A Street SE., Calgary, Alberta

DP# 2024-07897

AMENDED MARCH 25, 2025

LEGAL DESCRIPTION:

LOTS 5 & 6 BLOCK R PLAN 15930

MUNICIPAL ADDRESS:

1614 - 16A STREET SE
CALGARY, ALBERTA

COMMUNITY:

INGLEWOOD

ZONING DESIGNATION:

R-CG DISTRICT

SITE AREA:

602.35 m²

EXISTING HOME TO BE REMOVED:

92.94 m² / 15.4%

PROPOSED PRINCIPAL BUILDING AREA:

345.67 m² / 57.38%

MAXIMUM BUILDING HEIGHT:

11.00 m (from grade)
8.60 m (from grade)

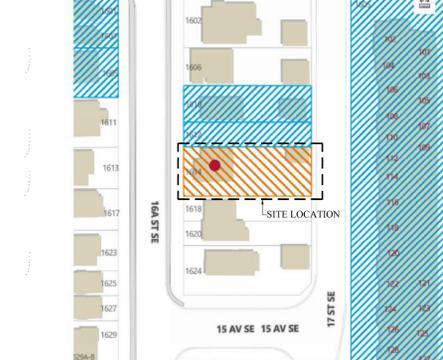
SITE FRONTAGE:

15.23 m

GENERAL REQUIREMENTS:

PROJECT MUST FOLLOW CITY BYLAW IF2007
PROJECT SHOULD BE SENSITIVE TO THE INGLEWOOD ARP
PROJECT SHOULD BE SENSITIVE TO THE CALGARY PLAN ACCOMODATING GROWTH
PROJECT SHOULD BE SENSITIVE TO THE MUNICIPAL DEVELOPMENT PLAN
PROJECT SHOULD BE SENSITIVE TO THE CALGARY TRANSPORTATION PLAN

KEY MAP



	Metric(m ²)	Imperial(sq.ft.)
BUILDING 1		
First Floor	134.52	1448
Second Floor	137.68	1482
Above Ground	272.20	2930
Basement	123.19	1326

	Metric(m ²)	Imperial(sq.ft.)
UNIT A		
First Floor	67.26	724
Second Floor	68.84	741
Above Ground	136.10	1465
SUITE A-1	54.53	587
Mechanical	7.06	76

	Metric(m ²)	Imperial(sq.ft.)
UNIT B		
First Floor	67.26	724
Second Floor	68.84	741
Above Ground	136.10	1465
SUITE B-1	54.53	587
Mechanical	7.06	76

	Metric(m ²)	Imperial(sq.ft.)
BUILDING 2		
First Floor	126.72	1364
Second Floor	130.06	1400
Above Ground	256.78	2764
Basement	102.94	1108

	Metric(m ²)	Imperial(sq.ft.)
UNIT C		
First Floor	63.36	682
Second Floor	65.03	700
Above Ground	128.39	1382
SUITE C-1	51.47	554
Mechanical	7.06	76

	Metric(m ²)	Imperial(sq.ft.)
UNIT D		
First Floor	63.36	682
Second Floor	65.03	700
Above Ground	128.39	1382
SUITE D-1	51.47	554
Mechanical	7.06	76

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ALL WORK TO CONFORM TO THE ALBERTA BUILDING CODE AND ALL OTHER AUTHORITIES HAVING JURISDICTION.

engineers / consultants:
ARC SURVEYS LTD.
8202, 317 41 AVENUE SE
CALGARY, AB T2E 2N4
Office: (403)277-1272
ENVIROMATICS GROUP LTD.
Office: (403)291-0442

builder/developer:

drawing index	
sheet	description
A0	Cover Page
A1	Site Plan Site Photos
A2	Block Plan Streetscape
A3	Landscape Plan Existing Survey
A4	Building #1 West / East Elevation Window Schedules
A5	Building #2 West / East Elevation Window Schedules
A6	Building #1 North / South Elevation
A7	Building #1 Floor Plans
A8	Building #2 Floor Plans
A9	Building #1 Sections A.1
A10	Building #2 Sections B.1
A11	Detached Garage Plans



municipal address:
1614 - 16A STREET SE
Calgary, Alberta
legal description:
LOTS: 5 & 6
BLOCK: R
PLAN #: 15930
zoning:
R-CG
community:
INGLEWOOD (Ward 9)

sheet title	
COVER PAGE	
job no. 24-054	sheet no.
drawn JPC	A0
checked JPC	
date OCTOBER 10, 2024	
scale AS NOTED	



1606 - 16A Street SE 1610 - 16A Street SE 1612 - 16A Street SE 1614 - 16A Street SE SUBJECT PROPERTY 1618 - 16A Street SE 1620 - 16A Street SE



1606 - 17th Street SE 1610 - 17th Street SE 1612 - 17th Street SE 1614 - 17th Street SE SUBJECT PROPERTY 1618 - 17th Street SE 1620 - 17th Street SE

SITE PHOTOS
SCALE N.T.S.

GENERAL NOTES:

- AREA PROTECTED BY FLOOD BERM.
- AIRPORT VICINITY PROTECTION AREA (AVPA) PROJECT IS LOCATED ON THE AVPA MAP WITH A 35dB RATING.
- ALL EXISTING STRUCTURES ON SITE, INCLUDING EXISTING FENCE, TO BE REMOVED.
- CONSTRUCTION ACCESS TO BE FROM THE REAR LANE.
- CITY BOULEVARD IS TO REMAIN FREE OF EXCAVATED MATERIALS AND STORAGE OF CONSTRUCTION MATERIALS IS NOT PERMITTED.

SURVEY COMPLETED BY ARC SURVEYS LTD. (FILE # 243702)
NOTE:
 Title information is based on the C. of T. 171.174.834 which was searched on the 22nd day of August, 2024, and is subject to Zoning Regulations No.: 771.147.064

LEGEND

Elevations are shown thus: X = 1000.00 Metres. (Geodetic)
 Elevations are referred to ASCM 73957 Elev.=1037.00
 Distances are in metres and decimals thereof.

Bearings are Grid (3TM-114°W) and Derived from GNSS Observations.

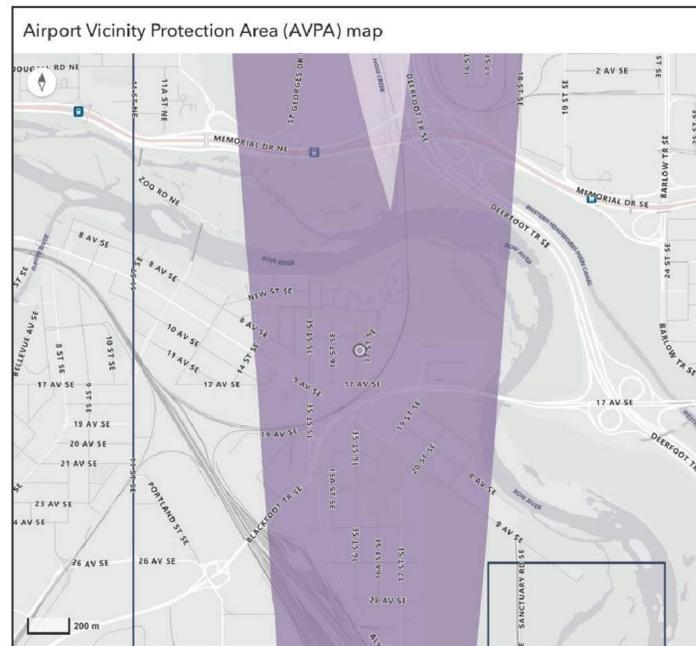
Found Iron Posts are shown thus: _____
 Drill Holes are shown thus: _____
 Found Iron Bars are shown thus: _____
 Magnetic Nails are shown thus: _____
 Calculation points are shown thus: _____
 Fire Hydrants are shown thus: _____
 Water Valves are shown thus: _____
 Gas Valves are shown thus: _____
 Power Poles are shown thus: _____
 Manholes are shown thus: _____
 Lamp Standards are shown thus: _____
 Street Signs are shown thus: _____
 Property lines are shown thus: _____
 Utility Right of Ways are shown thus: _____
 Eaves are shown thus: _____
 Fences are shown thus: _____
 Streetlight Cables are shown thus: _____
 Underground Electrical lines shown thus: _____
 Stormline are shown thus: _____
 Sanitaryline are shown thus: _____
 Combined Storm/Sanitary are shown thus: _____
 Telephone Lines are shown thus: _____
 Waterline are shown thus: _____
 Gasline are shown thus: _____
 Overhead Electrical lines shown thus: _____

All fences are within 0.2 metres of the property lines unless otherwise shown.
 All eaves are measured to fascia unless otherwise shown.
 Unless noted otherwise lines outside of property are not to scale.

GENERAL SITE NOTES:

- ALL EXISTING STRUCTURES ON THE SITE, INCLUDING EXISTING FENCE TO BE REMOVED.
- CONSTRUCTION ACCESS TO BE FROM LANE.
- CITY BOULEVARD IS TO REMAIN FREE OF EXCAVATED MATERIALS + STORAGE OF CONSTRUCTION MATERIALS IS NOT PERMITTED.

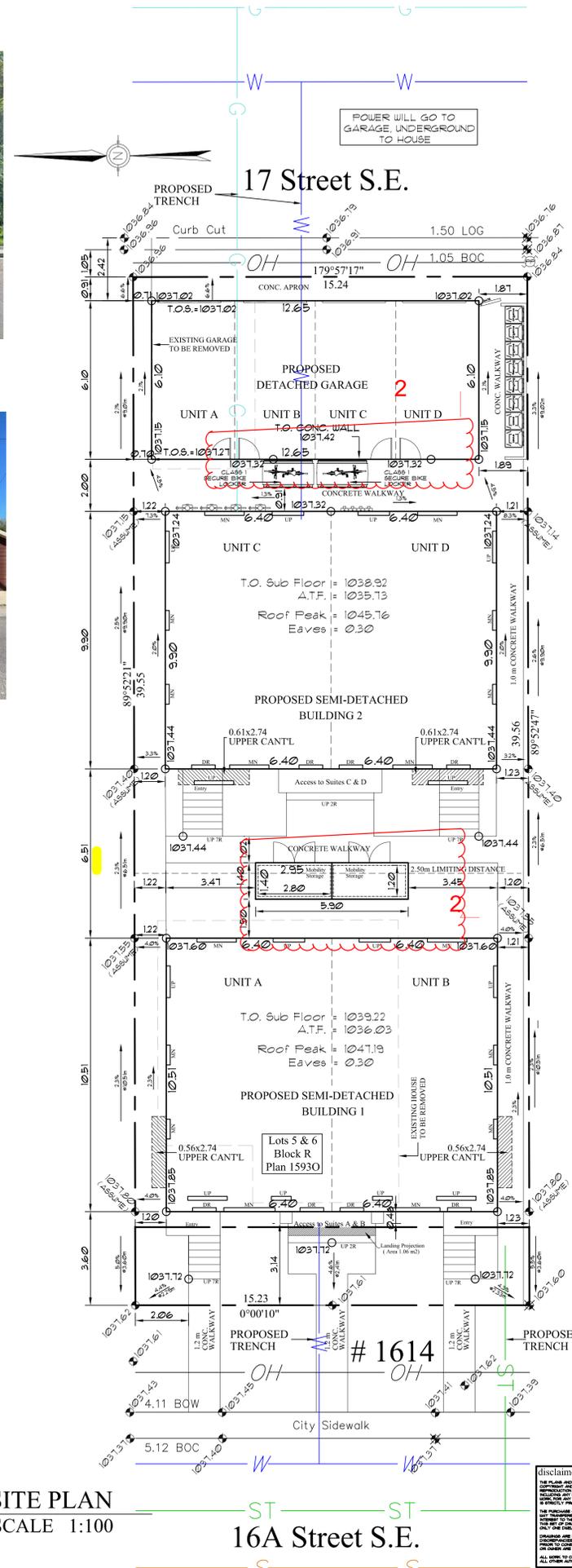
Call Alberta One-Call: 1-800-242-3447



Search result
 1614 16A ST SE
[Show more results](#)

DP 2024-07897

REVISED MARCH 25, 2025



SITE INFORMATION

LOTS: 5 & 6
 BLOCK: R
 PLAN: 15930
 ADDRESS: 1614 16A STREET SE
 COMMUNITY: INGLEWOOD
 ZONING: R-CG
 PROPOSED DEVELOPMENT: 4 - FLEX TOWNHOUSE

PARCEL COVERAGE

PARCEL AREA: 60235 SQM (6483.60 SQFT.)
 TOTAL BLDG FOOTPRINTS: 33647 SQM (364326 SQFT.)
 BUILDING #1: 3459 SQM (36487 SQFT.)
 BUILDING #2: 12678 SQM (136449 SQFT.)
 GARAGE: 1710 SQM (18230 SQFT.)
 PERMITTED COVERAGE: 60%
 PROPOSED COVERAGE: 56.75%

DENSITY (LUB. 539)

TOTAL UNITS: 4
 LOT SIZE: 60235 m² (23260 ha)
 DENSITY: 67 UNITS/ha
 TOTAL GROSS FLOOR AREA (GFA): 52858 m²
 PROPOSED FLOOR AREA RATIO (FAR): 0.88

PARKING (LUB. 546, 546.1 + 546.2)

VEHICULAR PARKING
 REQUIRED # OF STALLS PER DWELLING UNIT: 2
 8 UNITS/SUITES + 0.25 STALLS = 4 STALLS
 TOTAL RESIDENTIAL STALLS + 4 STALLS PROPOSED

MOBILITY STORAGE
 REQUIRED MOBILITY STORAGE LOCKERS + 0.25 LOCKERS PER UNIT OR SUITE NOT PROVIDED WITH PARKING
 4 UNITS/SUITES + 0.25 LOCKERS = 2 LOCKERS
 TOTAL MOBILITY STORAGE LOCKERS + 2 LOCKERS PROPOSED

BICYCLE PARKING STALLS
 BICYCLE PARKING STALLS - CLASS 1 + REQUIRED 1 STALL PER UNIT OR SUITE WHERE VEHICLE PARKING STALL NOT PROVIDED OR MOBILITY STORAGE LOCKER
 TOTAL STALLS REQUIRED + 2 / TOTAL STALLS PROPOSED + 2

LAND USE BYLAW ANALYSIS - IF2021

PARTS LOW DENSITY RESIDENTIAL DISTRICT

- Div. 1: General Rules for Low-Density Residential Land Use Districts
- Div. 11: R-CG Residential-Grade Oriented (until)

536 PERMITTED USES

3473 - Rowhouse Building
 - Must have a porch with projects 2.0m x 1.2m
 - Main floor must not be greater than 1.2m above grade
 - Corner parcels must have an exterior entrance facing each street
 - Must not have an attached private garage

361 - Secondary Suite
 - There is no maximum floor area for a Secondary Suite wholly located in a basement. Otherwise the maximum floor area is 100m²

534 PARCEL COVERAGE

- 60% of the area of the parcel for a development with a density of 60 units/ha or greater
 Parcel Area + 60235 SQM x 60% = 36141 SQM, MAXIMUM
 Provided: 34567 SQM, (97%)

538 BUILDING HEIGHT

- On a leased parcel, there is no maximum building depth.
- (56)222(x2) - where the minimum separation distance of the main residential buildings on the front portion of the parcel and the main residential buildings contained on the rear portion of the parcel is 6.2 metres.

536 BUILDING SETBACK AREAS

- As required in sections 535, 537, 538, 539 + 540
- Minimum front building setback is 3.0 M
- Minimum side/rear setbacks are 1.2 M
- Provided + 1.20 M
- Minimum rear setback on leased or corner parcel is 1.2 M
- Provided + 0.20 M

541 BUILDING HEIGHT

(1) Maximum Building Height is 12m
 (2) (56)222(x2)

(b) Allowing for buildings to be designed in different configurations, should a second building be designed in the rear, there shall be a maximum height of 8.6 metres for the rear building.

542 AMENITY SPACE

(1) For developments of three units or more, each unit and suite must have amenity space that is located outdoors and is labelled on the required landscape plan.
 (2) Amenity space may be provided as common amenity space, private amenity space or a combination of both.

546 WASTE SELECTION AND DISPOSAL

For developments of three or more units, garbage, recycling and organics must be stored in a screened location approved by the Development Authority.

Spot Elevation Legend

0/103.04 Existing Grade
 0/107.02 Proposed Grade

FLOOD NOTES:
 The designated flood elevation for 1:100 flood is 1039.50m
 The Inglewood Barrier flood elevation for 1:20 flood is 1037.90m
 We are requesting that the River Engineering support relaxing the designated flood elevation to the 1:20 floor elevation.
 The proposed Dual Semi-Detached buildings Main Floor Geodetic is based on the 1:20 flood elevation of 1037.90m. The proposed Main Floor Geodetic for Buildings #1 & #2 is 1.32m above the 1:20 flood elevation.

The proposed buildings will be designed as to prevent structural damage by floorwaters.

BASEMENT SUITES:
 The proposed development includes basement suites. To mitigate property damage, all basement suites will have a battery back-up sump pump c/w backflow valve. All basement windows are located above the 1:20 flood elevation. The foundation walls will be treated with waterproofing (watchdog). Furnaces located in the basement suites, will be ceiling hung to maintain the 1:20 flood elevation clearance. Electrical shut-off switch will be installed to the exterior of each building.
 Sub-floor drainage system (interior perimeter weeping tile) recommended to be installed to deal with hydrostatic pressure caused by ground water.

municipal address: 1614 - 16A STREET SE Calgary, Alberta	sheet title SITE PLAN
legal description: LOTS: 5 & 6 BLOCK: R PLAN #: 15930	SITE PHOTOS
zoning: R-CG	date revisions
community: INGLEWOOD (Ward 9)	job no. 24-054
	drawn JPC
	checked JPC
	date OCTOBER 10, 2024
	scale AS NOTED
	sheet no.

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A1

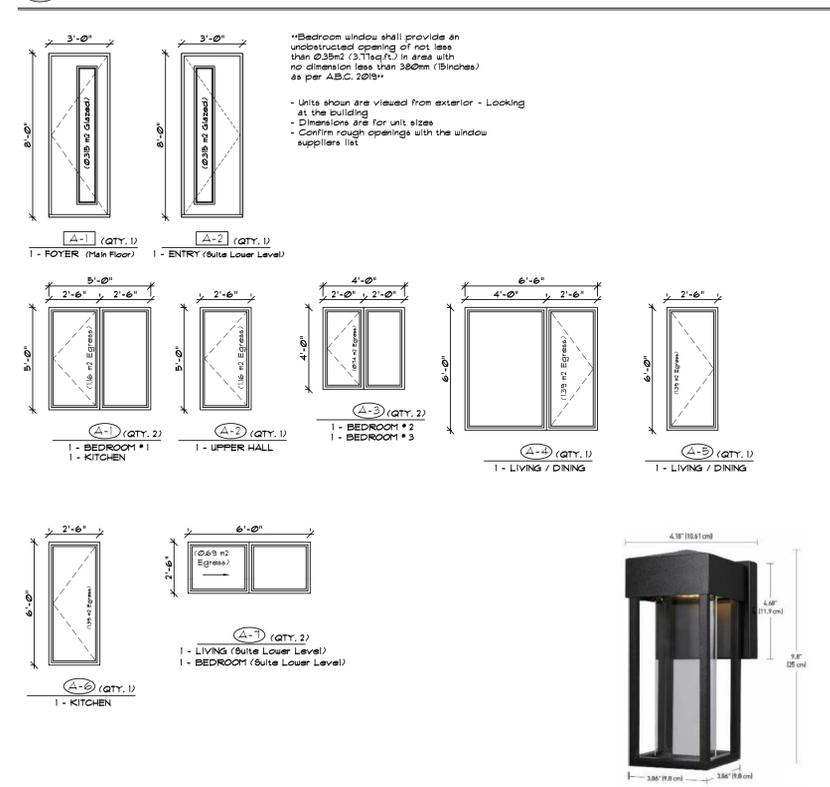
SITE PLAN
 SCALE 1:100
 16A Street S.E.



WEST (FRONT) ELEVATION - (Building #1)
SCALE : 1/4" = 1'-0"

Unit A - Window & Door Schedule - BUILDING #1

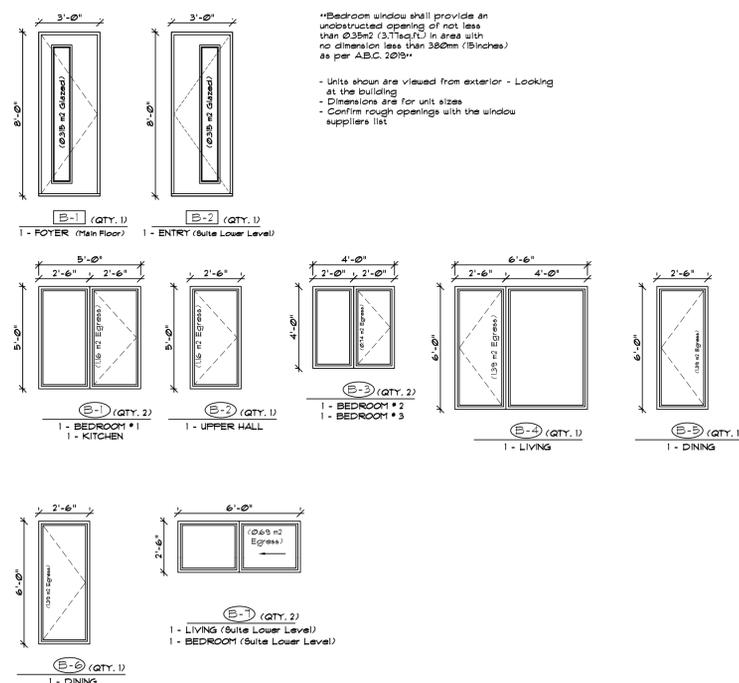
WINDOWS & DOORS MUST COMPLY WITH THE PRESCRIPTIVE AND PERFORMANCE REQUIREMENTS OF SUBSECTIONS 9.36.2. THROUGH 9.36.4. OF THE 2023 ALBERTA BUILDING CODE



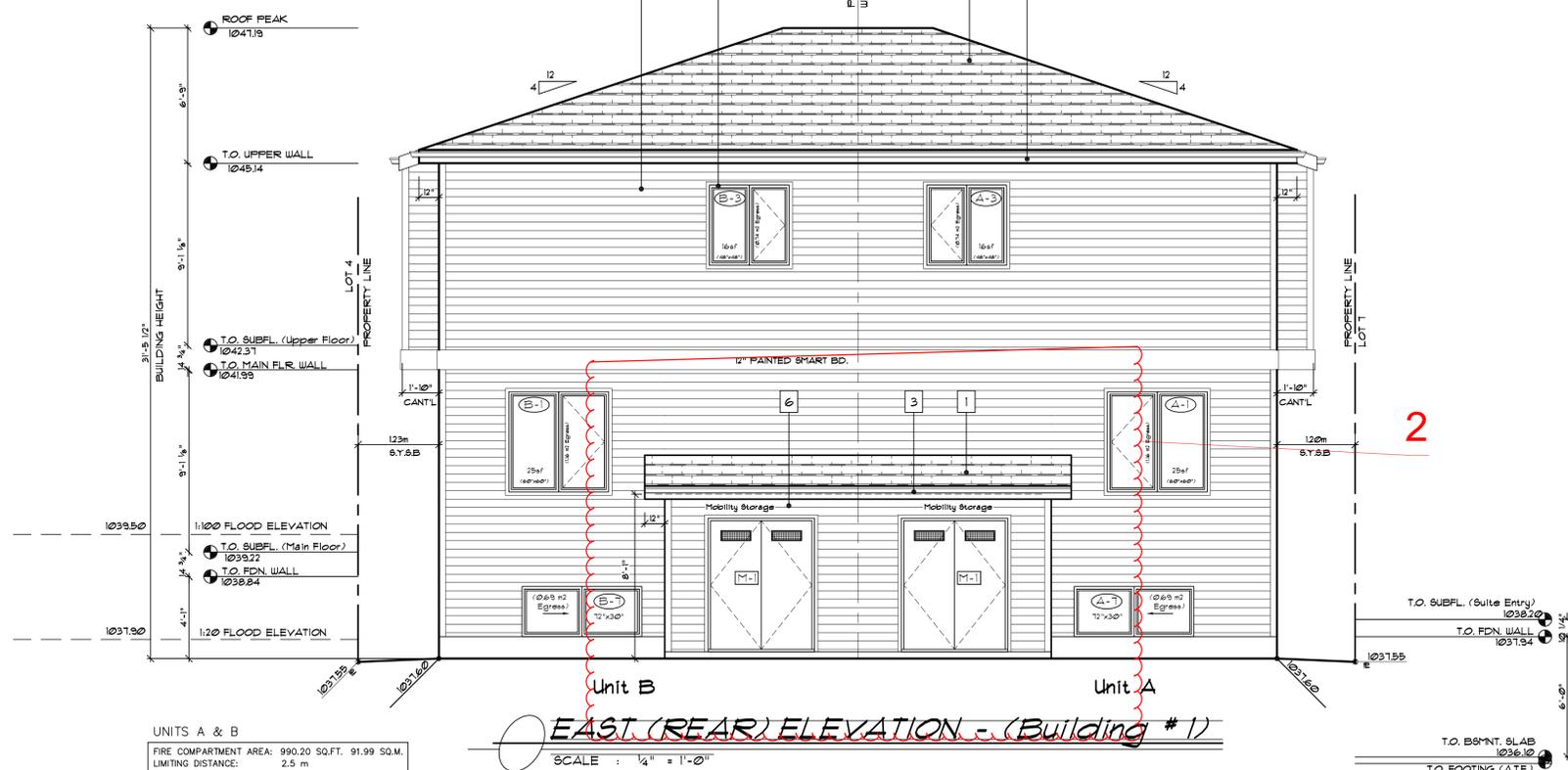
EXTERIOR LIGHTING DETAIL
WALL MOUNTED LED LIGHT
DARK SKY COMPLIANT
SEE ELEVATIONS FOR MOUNTING HEIGHT

Unit B - Window & Door Schedule - BUILDING #1

WINDOWS & DOORS MUST COMPLY WITH THE PRESCRIPTIVE AND PERFORMANCE REQUIREMENTS OF SUBSECTIONS 9.36.2. THROUGH 9.36.4. OF THE 2023 ALBERTA BUILDING CODE



UNITS A & B
FIRE COMPARTMENT AREA: 990.20 SQ.FT. 91.99 SQ.M.
LIMITING DISTANCE: 2.5 m
OPENING LIMITS: 11.00%
OPENING AREA: 106 SQ.FT. 9.85 SQ.M
OPENINGS %: 10.7%



EAST (REAR) ELEVATION - (Building #1)
SCALE : 1/4" = 1'-0"

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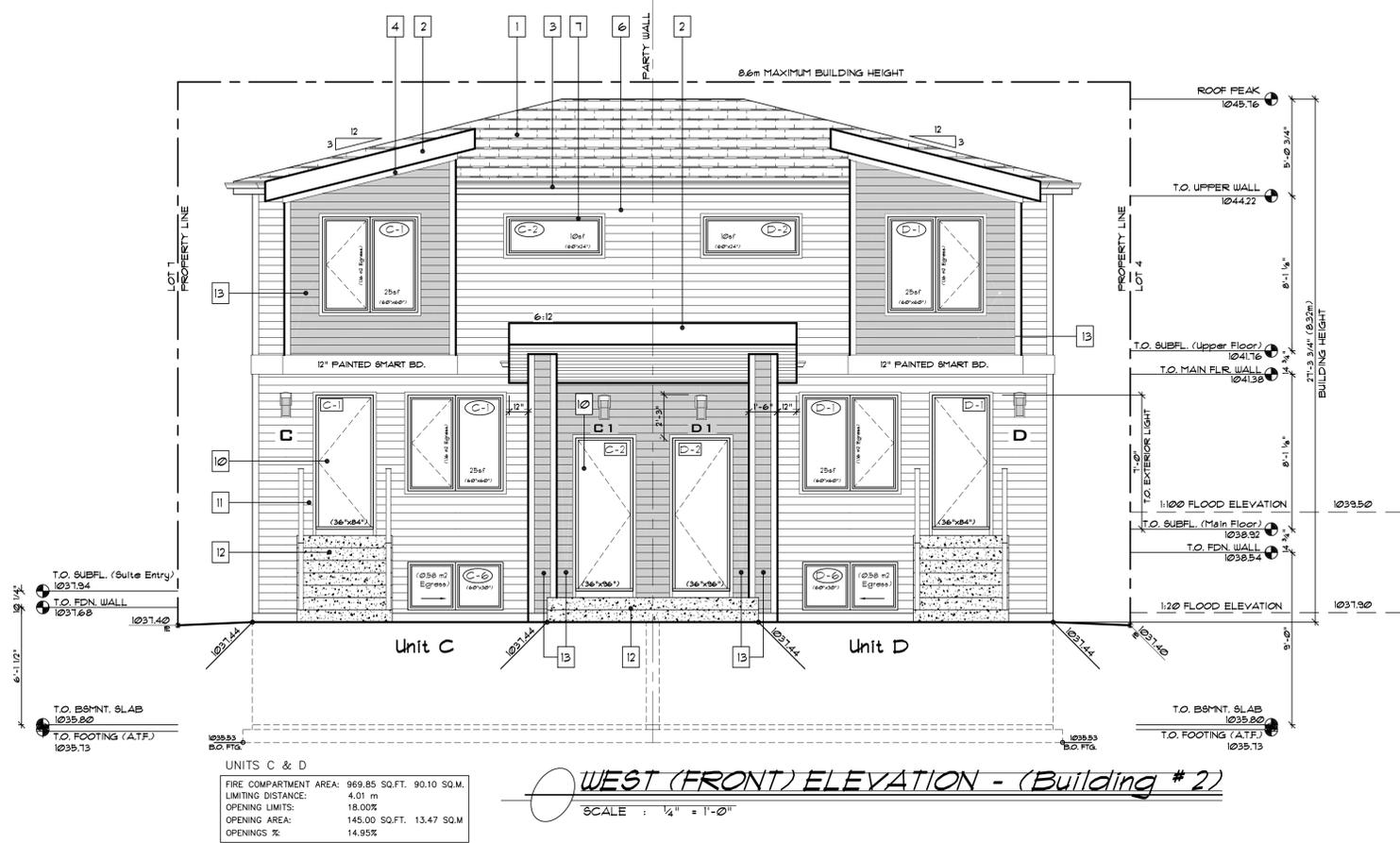
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municipal address:
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Calgary, Alberta
legal description:
LOTS: 5 & 6
BLOCK: R
PLAN #: 15930
zoning:
R-CG
community:
INGLEWOOD (Ward 9)

designer

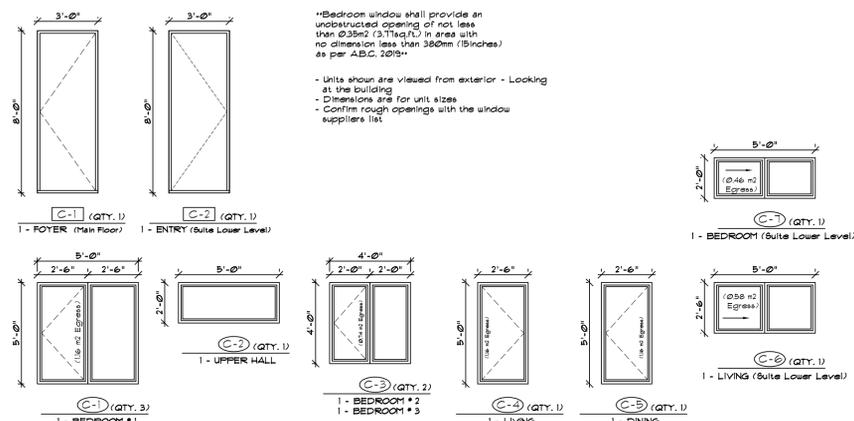
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sheet title
BUILDING #1
WEST ELEVATION
EAST ELEVATION
WINDOW SCHEDULES
job no. 24-054 **sheet no.** A4
drawn JPC
checked JPC
date OCT. 10, 2024
scale AS NOTED



Unit C - Window & Door Schedule - BUILDING # 2

WINDOWS & DOORS MUST COMPLY WITH THE PRESCRIPTIVE AND PERFORMANCE REQUIREMENTS OF SUBSECTIONS 9.36.2. THROUGH 9.36.4. OF THE 2023 ALBERTA BUILDING CODE

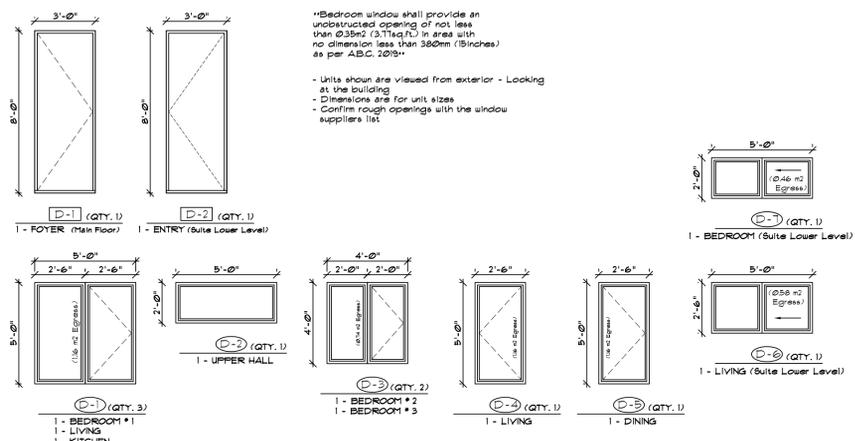


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Unit D - Window & Door Schedule - BUILDING # 2

WINDOWS & DOORS MUST COMPLY WITH THE PRESCRIPTIVE AND PERFORMANCE REQUIREMENTS OF SUBSECTIONS 9.36.2. THROUGH 9.36.4. OF THE 2023 ALBERTA BUILDING CODE



municipal address:
1614 - 16A STREET SE
Calgary, Alberta
legal description:
LOTS: 5 4 6
BLOCK: R
PLAN #: 15930
zoning:
R-CG

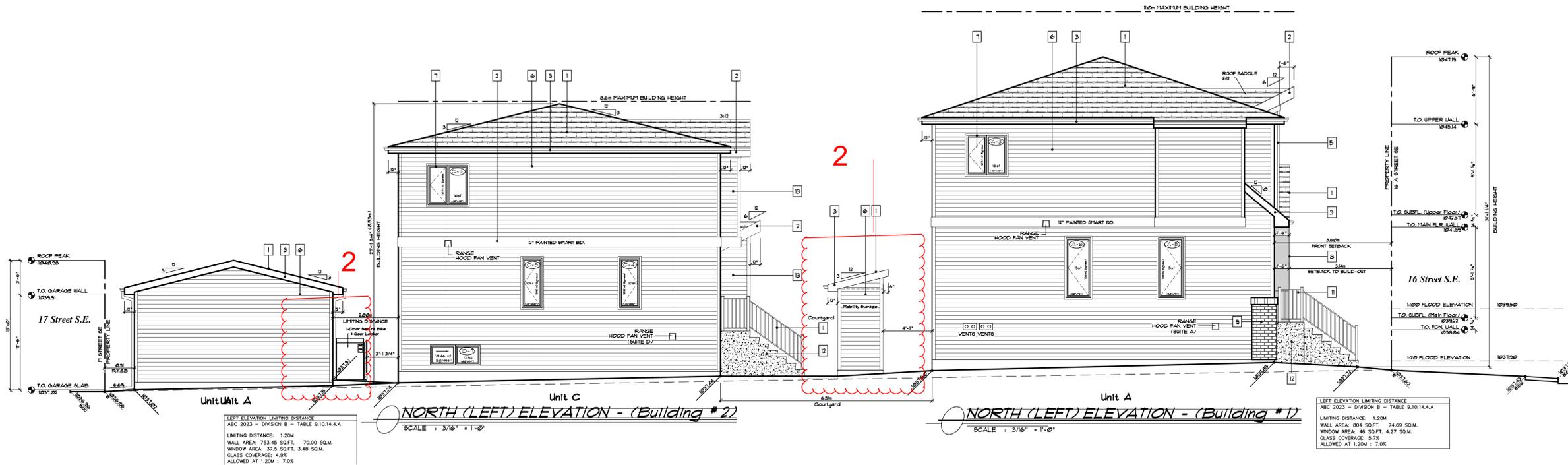
community:
INGLEWOOD (Ward 9)

designer
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suburbia@telus.net

sheet title
BUILDING # 2
WEST ELEVATION
EAST ELEVATION
WINDOW SCHEDULES

job no. 24-094 sheet no.
drawn JPC
checked JPC
date OCT. 10, 2024
scale AS NOTED

A5



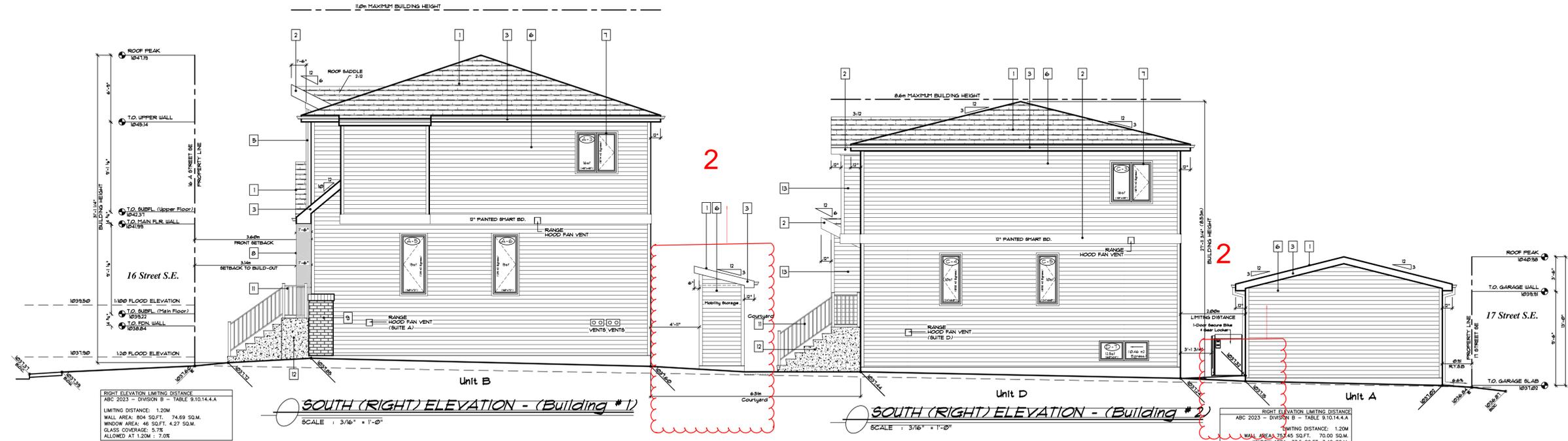
LEFT ELEVATION LIMITING DISTANCE
ABC 2023 - DIVISION B - TABLE 9.10.14.4.A
LIMITING DISTANCE: 1.20M
WALL AREA: 753.45 SQ.FT. / 70.00 SQ.M.
WINDOW AREA: 37.5 SQ.FT. / 3.48 SQ.M.
GLASS COVERAGE: 4.9%
ALLOWED AT 1.20M : 7.0%

LEFT ELEVATION LIMITING DISTANCE
ABC 2023 - DIVISION B - TABLE 9.10.14.4.A
LIMITING DISTANCE: 1.20M
WALL AREA: 804 SQ.FT. / 74.69 SQ.M.
WINDOW AREA: 46 SQ.FT. / 4.27 SQ.M.
GLASS COVERAGE: 5.7%
ALLOWED AT 1.20M : 7.0%

EXTERIOR FINISHES:

- | | |
|---|---|
| 1 ASPHALT SHINGLES (DUAL BLACK) | 7 METAL CLAD, HYBRID WINDOWS (WHITE) |
| 2 12" PAINTED SMART BD, FASCIA (ARCTIC WHITE) | 8 ALUMINUM COMPOSITE PANELS, SPACED EQUALLY (AL-15 or EQUIVALENT) (BLACK) |
| 3 8" ALUMINUM FASCIA (WHITE) | 9 BRICK CLADDING (1-XL BRICK - INTERSTATE BLACK OPAL MATTE) |
| 4 6" PAINTED SMART BD, TRIM (ARCTIC WHITE) | 10 INSULATED ENTRANCE DOOR (ARCTIC WHITE) |
| 5 SMOOTH HARDIE PANEL c/w VERTICAL 2"(WIDE) x 1" TRIM (IRON GRAY) | 11 42" ALUMINUM RAIL 4 PICKETS (BLACK) |
| 6 HORIZONTAL COMPOSITE SIDING c/w 4" CORNER TRIM (HARDI-BOARD - LIGHT MIST) | 12 PRE-CAST CONCRETE STEPS (NATURAL SMOOTH FINISH) |
| | 13 HORIZONTAL COMPOSITE SIDING c/w 4" CORNER TRIM (HARDI-BOARD - IRON GRAY) |

VENTED SOFFIT NOTES:
- VENTED SOFFIT (FRONT & BACK)
- VENTED SOFFIT ON SIDES IF CLEAR OF 12m SETBACK
- NON-VENTED SOFFIT ON SIDES WITHIN 12m SETBACK
** SOFFITS, EAVSTROUGH & DOWNSPOUTS ARE PRE-FINISHED ALUMINUM, WHITE COLOUR**



RIGHT ELEVATION LIMITING DISTANCE
ABC 2023 - DIVISION B - TABLE 9.10.14.4.A
LIMITING DISTANCE: 1.20M
WALL AREA: 804 SQ.FT. / 74.69 SQ.M.
WINDOW AREA: 46 SQ.FT. / 4.27 SQ.M.
GLASS COVERAGE: 5.7%
ALLOWED AT 1.20M : 7.0%

RIGHT ELEVATION LIMITING DISTANCE
ABC 2023 - DIVISION B - TABLE 9.10.14.4.A
LIMITING DISTANCE: 1.20M
WALL AREA: 753.45 SQ.FT. / 70.00 SQ.M.
WINDOW AREA: 37.5 SQ.FT. / 3.48 SQ.M.
GLASS COVERAGE: 4.9%
ALLOWED AT 1.20M : 7.0%

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LOTS: 5 4 6
BLOCK: R
PLAN #: 15930
zoning:
R-CG

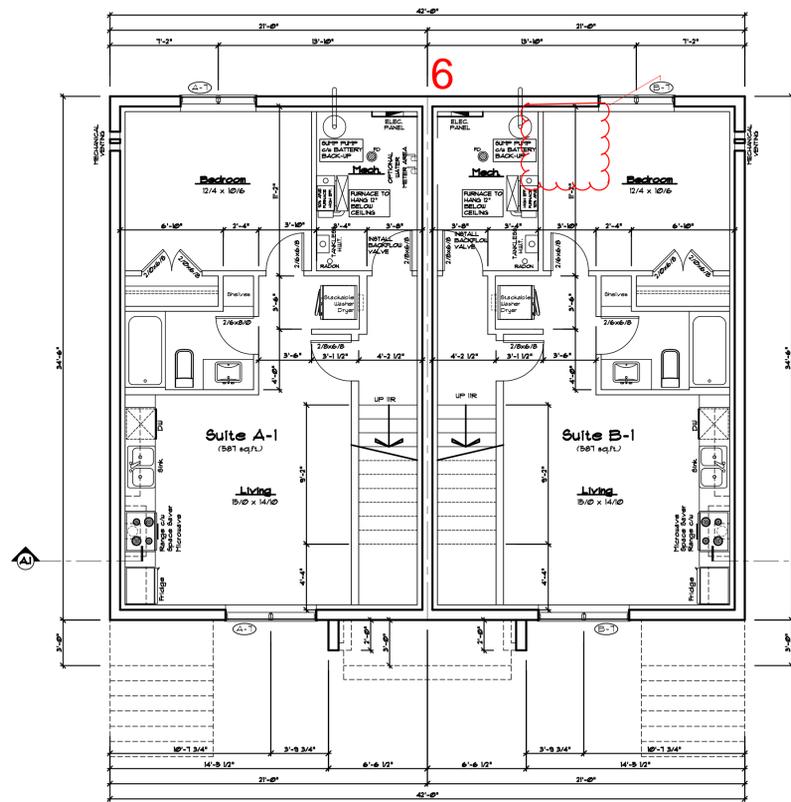
community:
INGLEWOOD (Ward 9)

designer

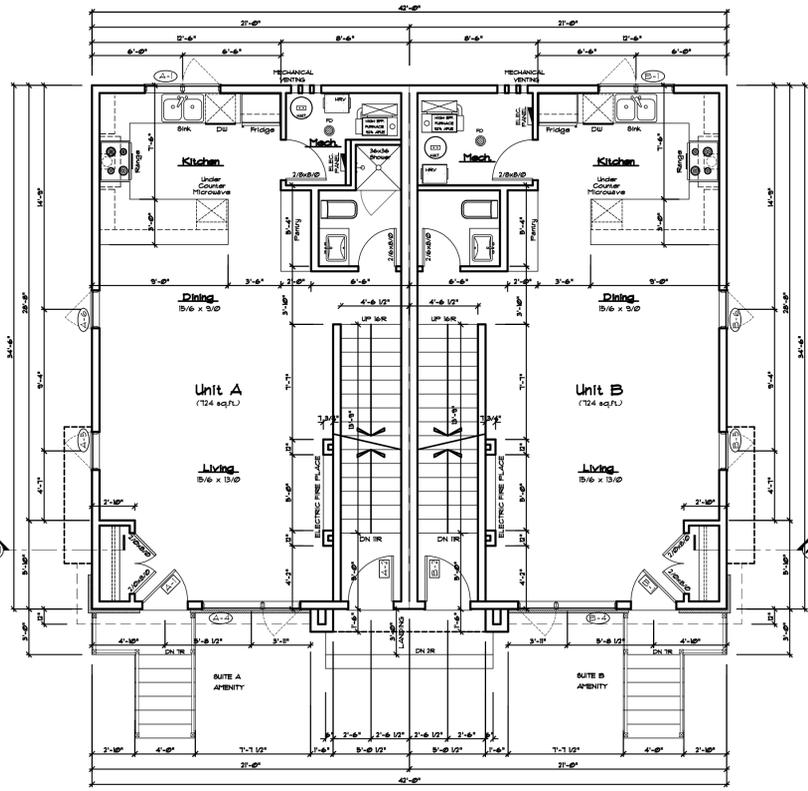
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sheet title
NORTH ELEVATION
SOUTH ELEVATION
WINDOW SCHEDULES

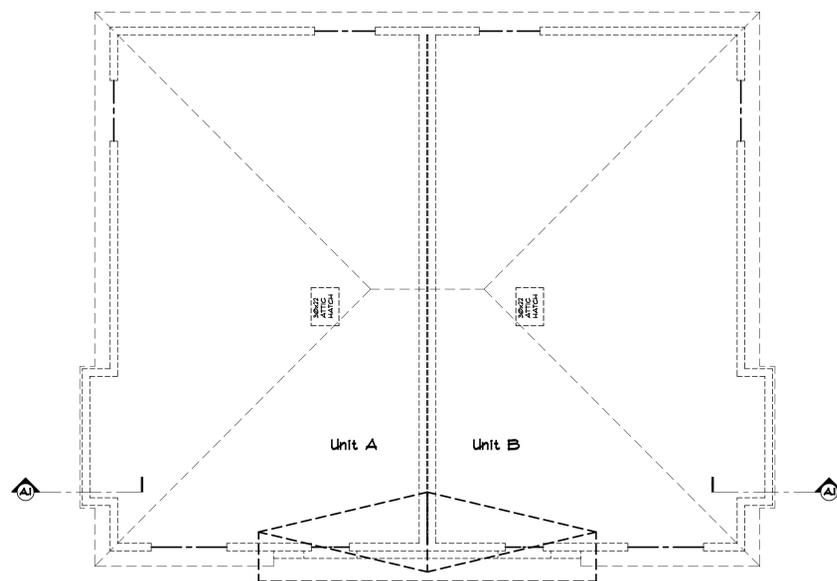
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checked	JPC		
date	OCT. 10, 2024		
scale	AS NOTED		



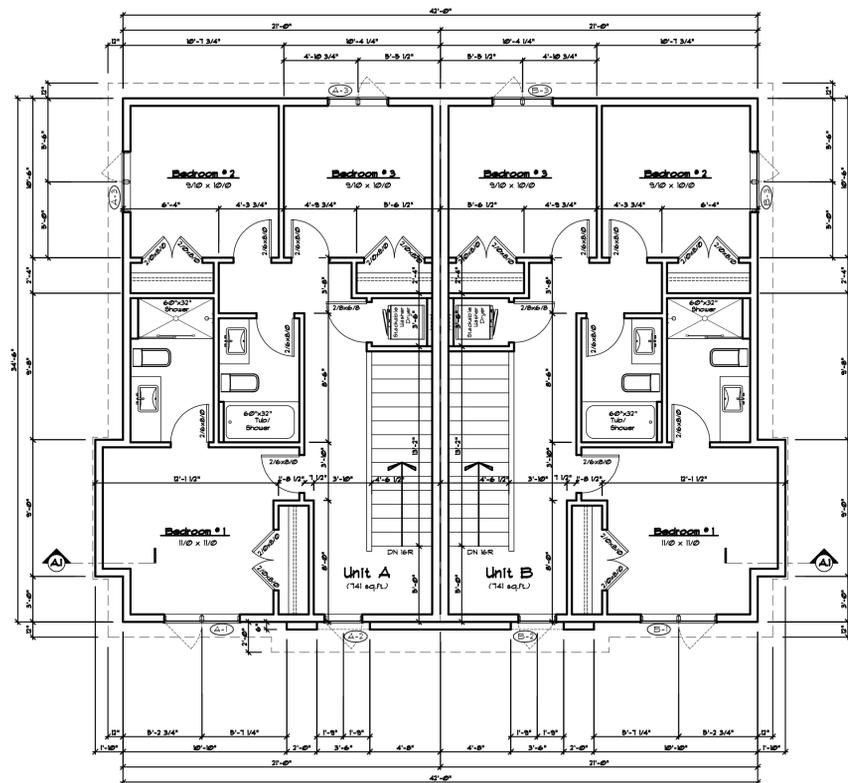
BASEMENT SUITE PLAN (Building #1) TOTAL SUITE AREA: 1114 SQFT.
SCALE: 3/16" = 1'-0" 9'-0" CEILING HEIGHT



MAIN FLOOR PLAN (Building #1) TOTAL MAIN FLOOR AREA: 1448 SQFT.
TOTAL AREA: 2,930 SQFT.
SCALE: 3/16" = 1'-0" 9'-0" CEILING HEIGHT



ROOF PLAN (Building #1)
SCALE: 3/16" = 1'-0"



UPPER FLOOR PLAN (Building #1) TOTAL UPPER FLOOR AREA: 1,482 SQFT.
SCALE: 3/16" = 1'-0" 9'-0" CEILING HEIGHT

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legal description:
LOTS: 5 4 6
BLOCK: R
PLAN #: 15930

zoning:
R-CG

community:
INGLEWOOD (Ward 9)

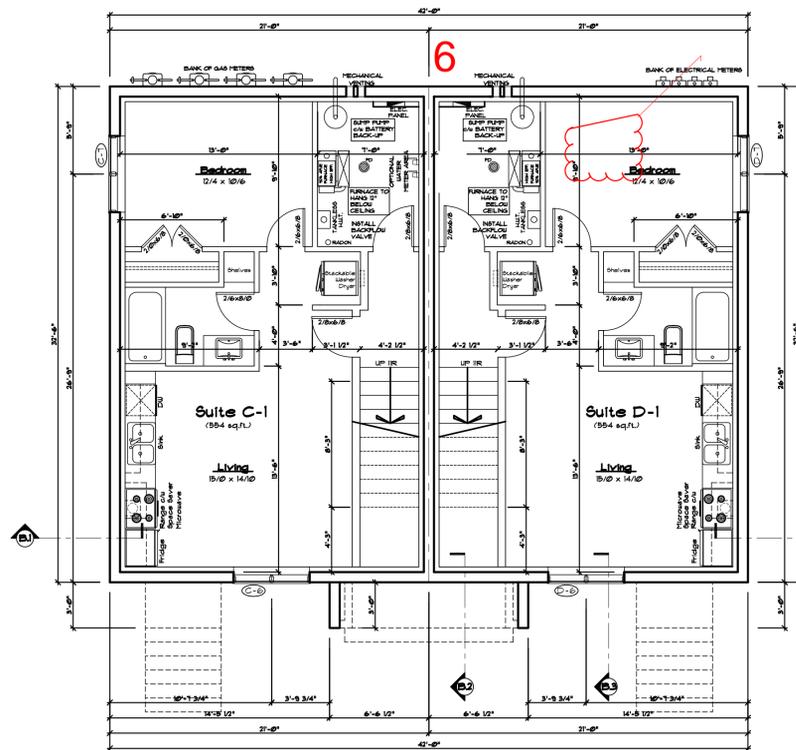
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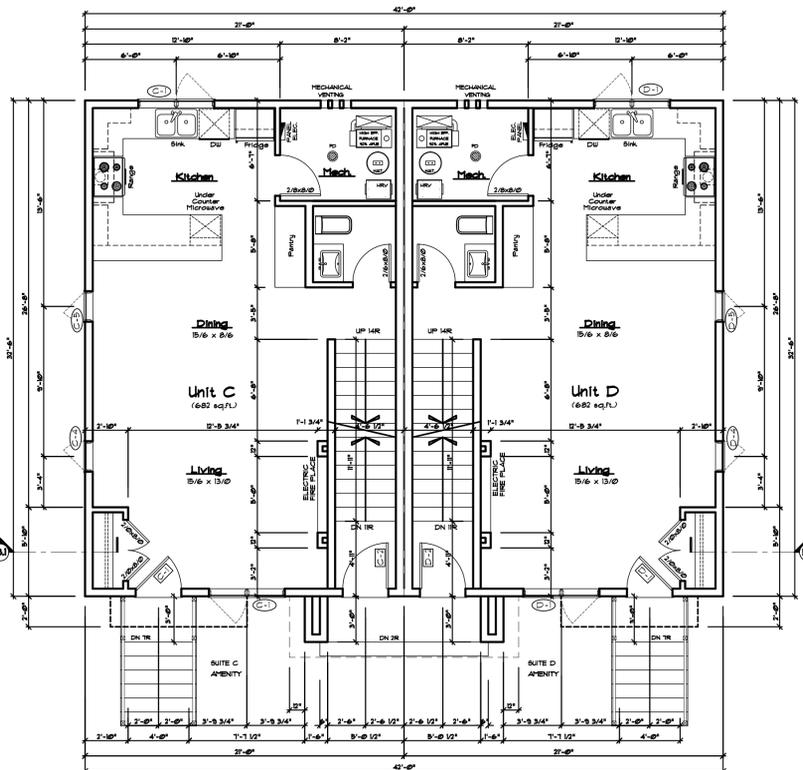
sheet title
BUILDING #1
FLOOR PLANS

job no.	24-054	sheet no.	A7
drawn	JPC		
checked	JPC		
date	OCT. 10, 2024		
scale	AS NOTED		

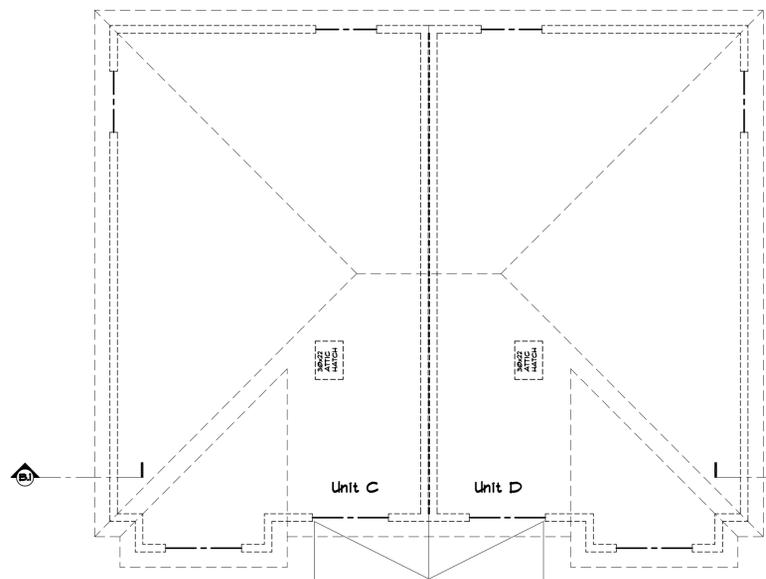
DP 2024-07897
REVISED MARCH 25, 2025



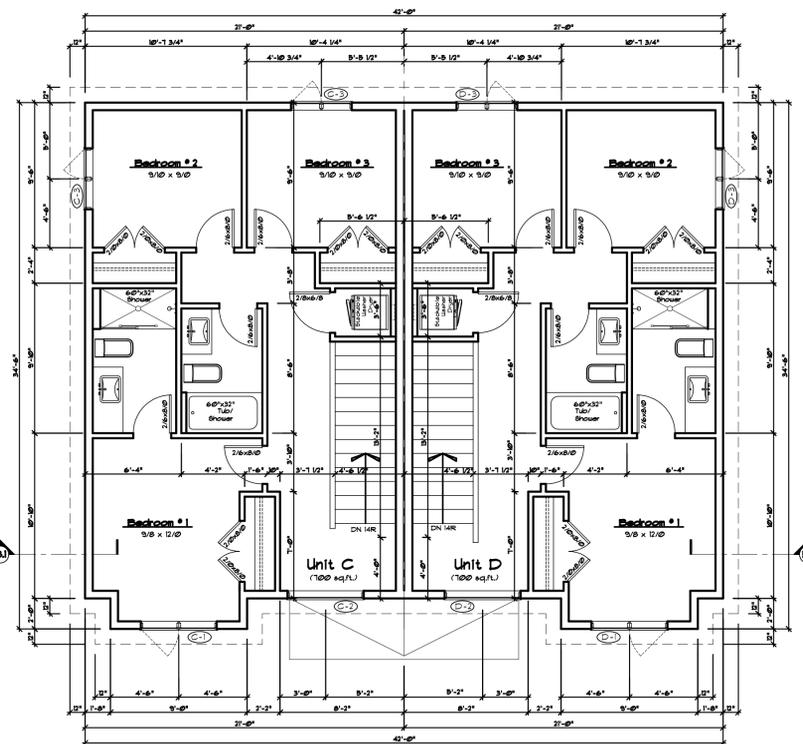
BASMENT SUITE PLAN (Building #2) TOTAL SUITE AREA: 1108 SQFT.
SCALE: 3/16" = 1'-0" 8'-0" CEILING HEIGHT



MAIN FLOOR PLAN (Building #2) TOTAL MAIN FLOOR AREA: 1364 SQFT.
TOTAL AREA: 2,764 SQFT.
SCALE: 3/16" = 1'-0" 9'-0" CEILING HEIGHT



ROOF PLAN (Building #2)
SCALE: 3/16" = 1'-0"



UPPER FLOOR PLAN (Building #2) TOTAL UPPER FLOOR AREA: 1400 SQFT.
SCALE: 3/16" = 1'-0" 8'-0" CEILING HEIGHT

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legal description:
LOTS: 5 4 6
BLOCK: R
PLAN #: 15930

zoning:
R-CG

community:
INGLEWOOD (Ward 9)

designer



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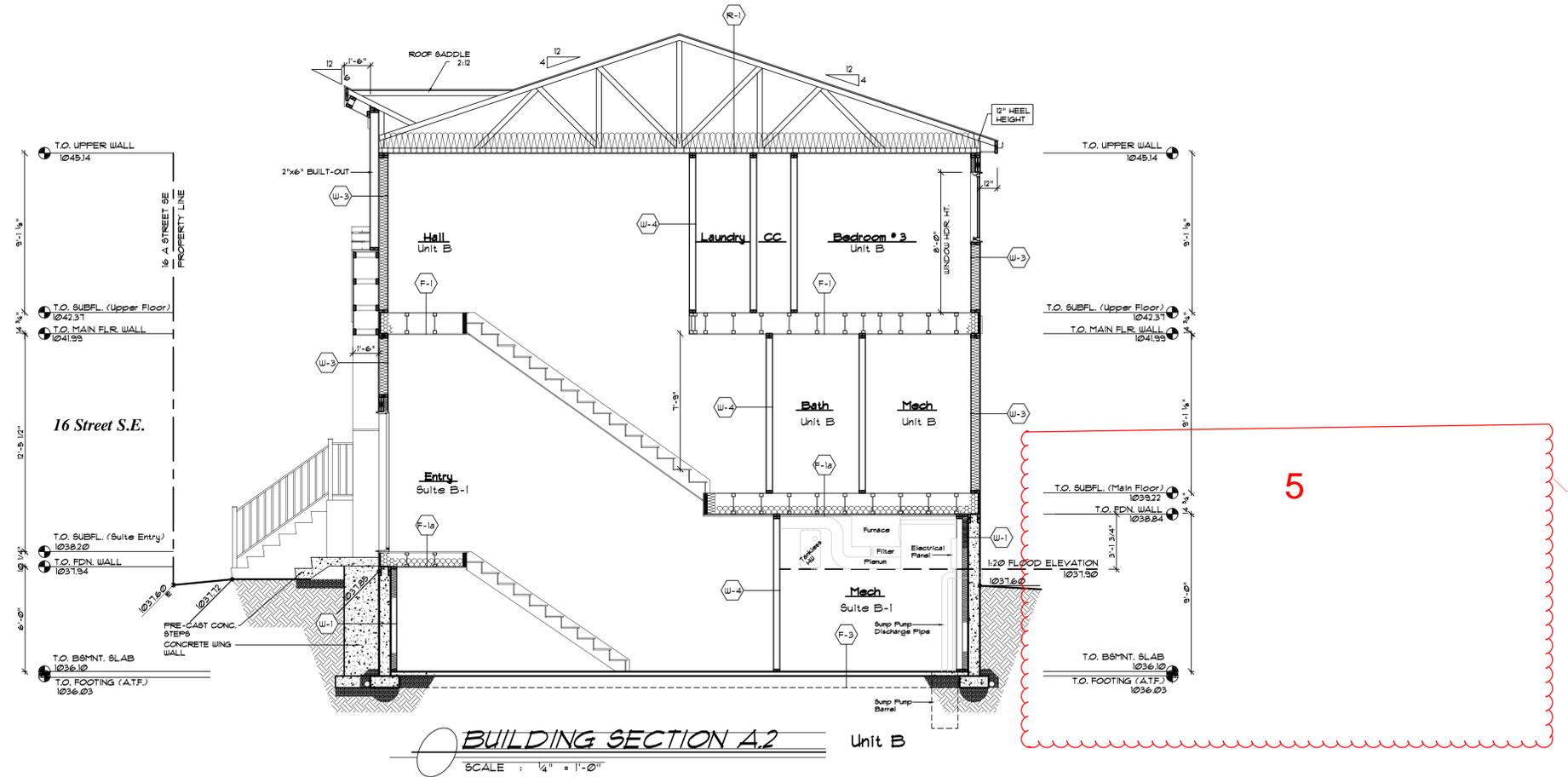
sheet title
BUILDING #2
FLOOR PLANS

job no. 24-054	sheet no.
drawn JPC	A8
checked JPC	
date OCT. 10, 2024	
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 Office: (403)251-0442



municipal address:
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 Calgary, Alberta
legal description:
 LOTS: 5 4 6
 BLOCK: R
 PLAN #: 15930
zoning:
 R-CG
community:
 INGLEWOOD (Ward 9)

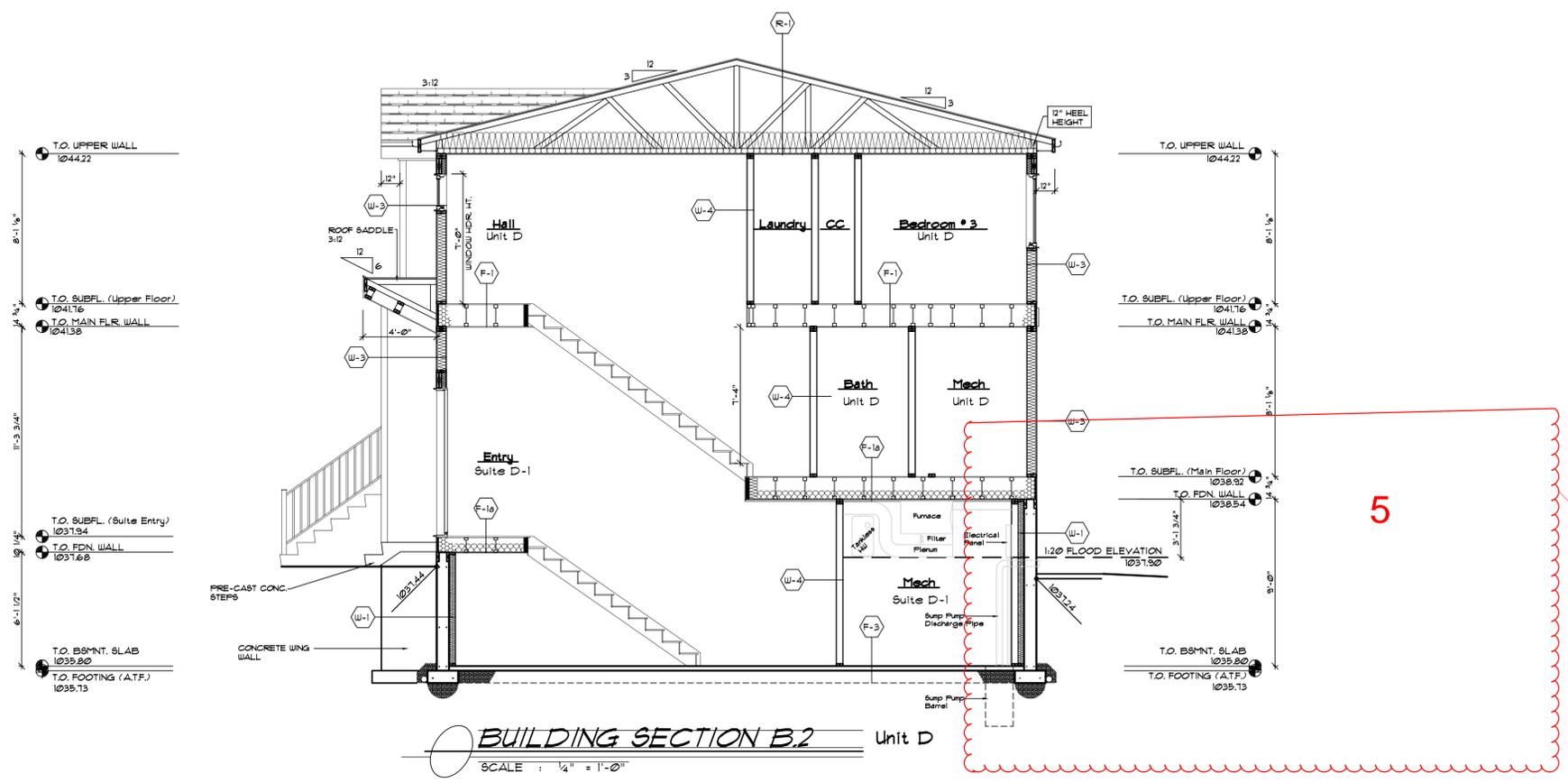
designer

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 RESIDENTIAL DESIGNER
 Tel: (403) 714-7103
 suburbia@telus.net

sheet title
 BUILDING #1
 BUILDING SECTION A.1

job no.	24-054	sheet no.	
drawn	JPC	A9	
checked	JPC		
date	2024		

DP 2024-07891
 REVISED MARCH 25, 2025



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 CALGARY, AB T2G 5K9
 Office: (403) 214-3655
 ENVIROMATICS GROUP LTD.
 Office: (403) 291-0442

municipal address:
 1614 - 16A STREET SE
 Calgary, Alberta
 legal description:
 LOTS: 5 & 6
 BLOCK: R
 PLAN #: 15930
 zoning:
 R-CG
 community:
 INGLEWOOD (Ward 9)

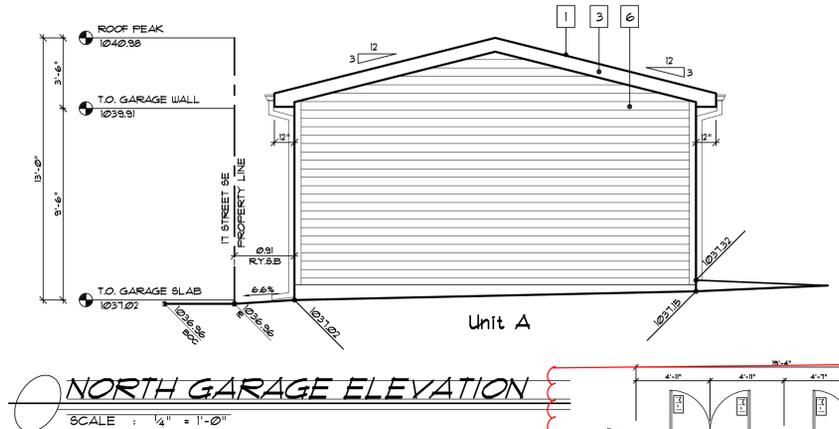
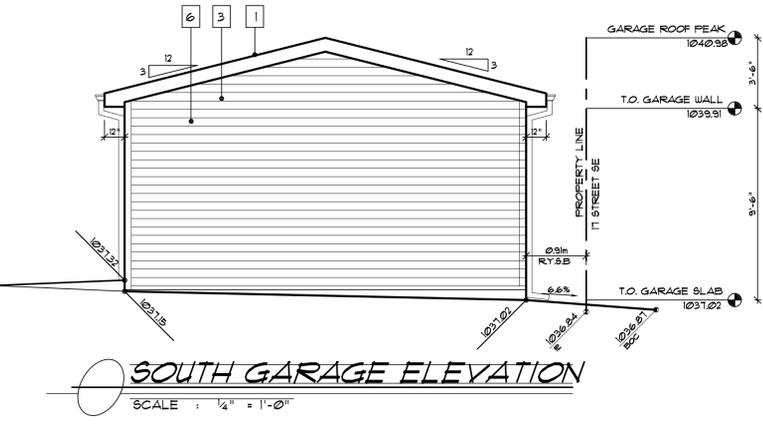
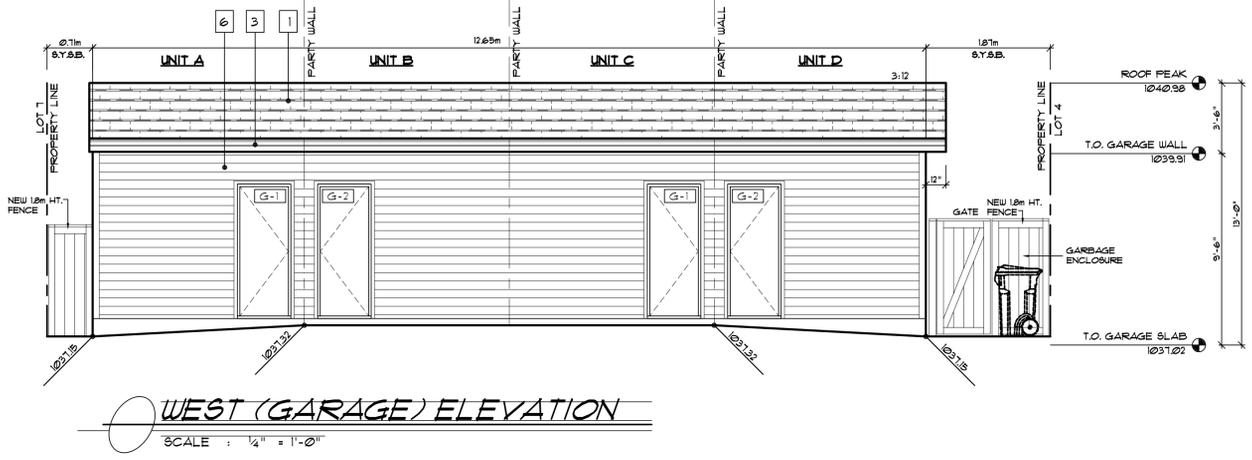
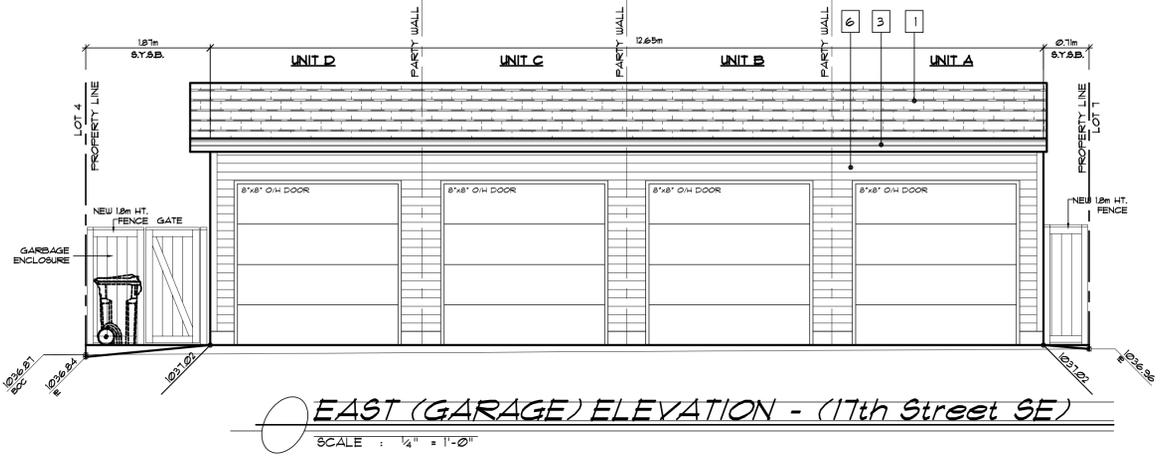
designer

SUBURBIA DESIGN
 RESIDENTIAL DESIGNER
 Tel: (403) 714-7103
 suburbia@telus.net

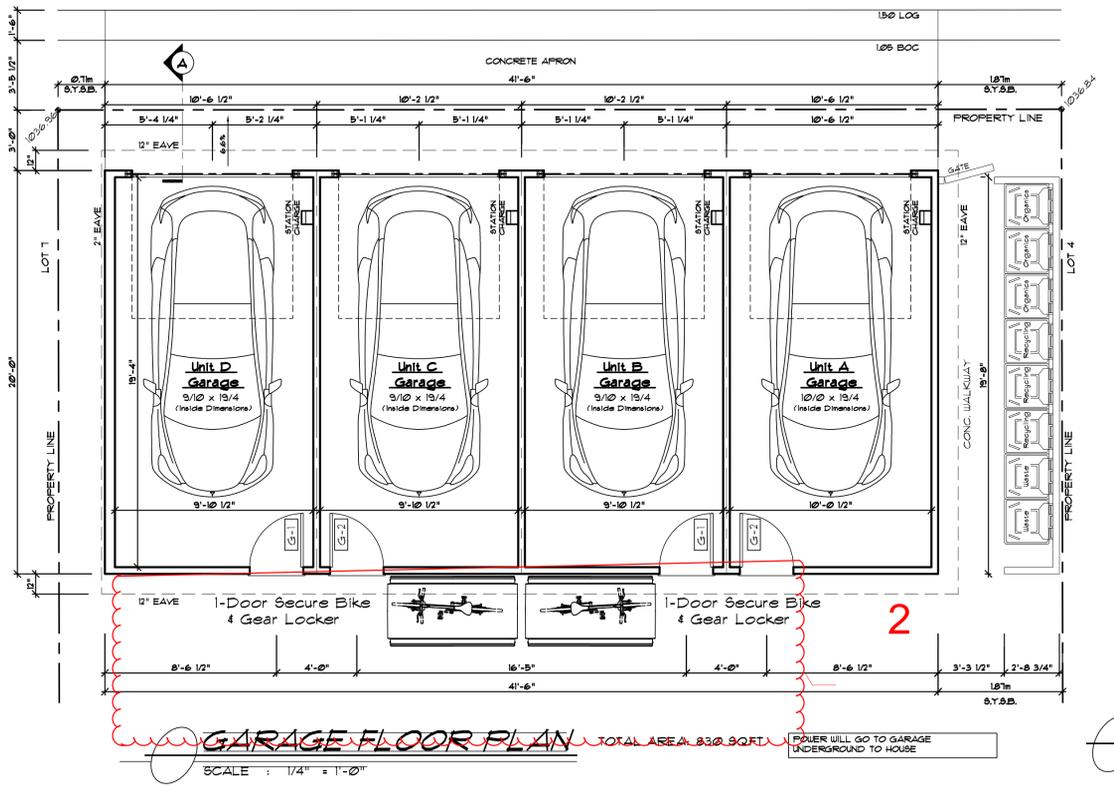
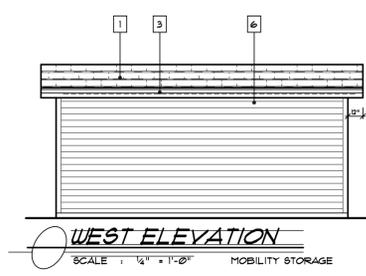
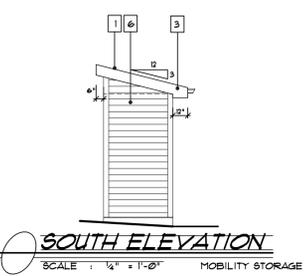
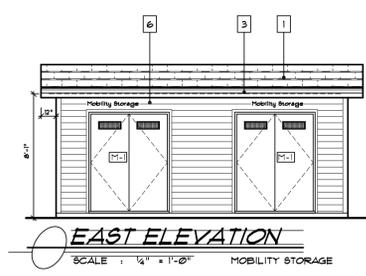
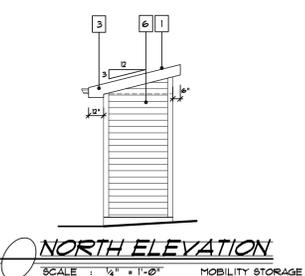
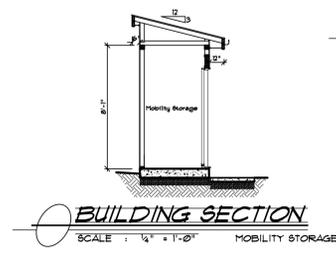
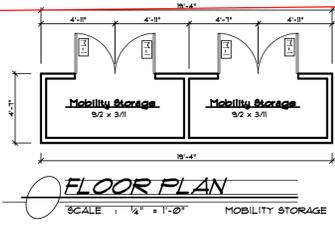
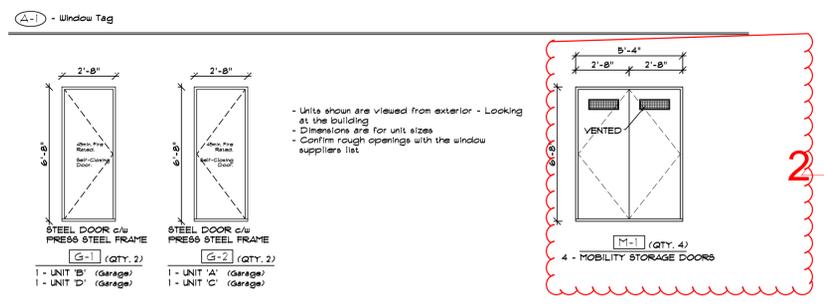
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 BUILDING SECTION B.1

job no.	24-054	sheet no.	A10
drawn	JPC		
checked	JPC		
date	OCT. 10, 2024		
scale			

DP 2024-07897
 REVISED MARCH 25, 2025



Garage / Mobility Storage Lockers - Door Schedule



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engineers / consultants:
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12 - 5080 - 124 STREET SE
CALGARY, AB T2G 5K9
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ENVIROMATICS GROUP LTD.
Office: (403)291-0442

municipal address:
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Calgary, Alberta
legal description:
LOTS: 5 & 6
BLOCK: R
PLAN #: 15930
zoning:
R-CG
community:
INGLEWOOD (Ward 9)

designer
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sheet title
DETACHED
GARAGE PLANS

job no. 24-094 **sheet no.**
drawn JPC **A11**
checked JPC
date OCT. 10, 2024
scale AS NOTED

DP 2024-07097
REVISED MARCH 25, 2025