

REPORT TO THE SUBDIVISION AND  
DEVELOPMENT APPEAL BOARD

<b>DATE:</b> June 2, 2026	<b>APPEAL NO.:</b> SDAB2026-0074 <b>FILE NO.:</b> DP2026-00795
<b>APPEALS BY:</b> A) Trevor Borden B) Andrew and Stacey Hiew	
<b>FROM A DECISION OF THE DEVELOPMENT AUTHORITY for a</b>  <b>New: Accessory Residential Building (garage), Backyard Suite (above garage)</b>  <b>was approved at <u>1420 6 Street NW</u>.</b>	<b>LAND USE DESIGNATION: R-CG</b>  <b>Discretionary</b>
<b>COMMUNITY OF:</b> Rosedale	<b>DATE OF DECISION:</b> April 24, 2026
<b>APPLICANT:</b> Jessica Willsie, Ellergodt Design	<b>OWNERS:</b> Terry Richard Smith and Elizabeth Ann Oberhofer

**Notes:**

- Notice has been given of the hearing pursuant to the *Municipal Government Act* and Land Use Bylaw, including notices to parties who may be affected by the appeal. The final determination of whether a party is an “affected person” will be made by the Board if required.
- This Report is provided as a courtesy only. The Board’s record may include additional materials, including notifications to affected parties and correspondence of a procedural or administrative nature. The Board’s record may be viewed at the Appeal Board office at: 4<sup>th</sup> Floor, 1212 31 Avenue NE, Calgary, Alberta during regular office hours.

In accordance with Sections 678 and 686 of the Municipal Government Act and The City of Calgary Bylaw 25P95, as amended, an appeal to the Subdivision and Development Appeal Board must be filed within the legislated time frame and each Notice of Appeal must be accompanied by the legislated fee.

Municipal Address of Site Under Appeal [required] 1420 6 Street NW

Development Permit/Subdivision Application/File Number [required] DP2026-00795

Name of Appellant [required] Trevor Borden

Agent Name (if applicable)

Street Address [required] 1416 6 Street NW

hdnFullAddress 1416 6 Street NW Calgary AB T2M 3E6

City [required] Calgary

Province [required] Alberta

Postal Code [required] T2M 3E6

Residential Phone # [required] (403) 815-4651

Business Phone #

Email Address [required] bordent@telus.net

## APPEAL AGAINST

Required field. Check one item only: for multiple appeals you must submit another Notice of Appeal.

Development Permit Approval

I do hereby appeal the decision of the Subdivision/Development Authority for the following reasons [required]

Our primary concern is privacy. The 3-foot-high upper windows of the development materially erode the privacy and enjoyment of our heritage home by providing direct, unobstructed sightlines into our bedrooms and overlook into our garden. These windows go against the City of Calgary's Backyard Suites How to Guide. The development includes a balcony on the south side, facing our property, which the Backyard Suites How to Guide gives direction to "avoid."

The attached Microsoft Word file goes into more detail about our home, our privacy concerns and our secondary concerns about massing.

In order to assist the Board in scheduling, please answer the following questions to the best of your ability:

Estimated Presentation Time 20 minutes

Will you be using an agent/legal counsel? [required] No

Do you anticipate any preliminary issues with your appeal? (i.e. jurisdiction, parties status as affected persons, adjournment, etc.)? [required] No

If yes, what are the issues?

Do you anticipate bringing any witnesses/experts to your hearing? [required] No

If yes, how many will you be bringing?

*I confirm and acknowledge that*

- I have read and understood this form;*
- The information I have provided is accurate to the best of my knowledge; and*
- I am responsible for paying the appeal fee and my notice of appeal will not be considered filed until my appeal fee has been received.*

Submission Date 2026-05-13 21:15:55 MST

*The Board collects and uses personal information under the authority of sections 4(a) and (c) and 13(1) of the Protection of Privacy Act, SA 2024, cP-28.5 and sections 678 and 686 of the Municipal Government Act, RSA 2000 c. M-26 for the purposes of administering and adjudicating appeals before the Board. By clicking the link, calling the phone number, or otherwise participating, you are acknowledging and agreeing that your name, phone number, email address, image, or other personal information may be displayed during the videoconference, referenced in the Board's publicly available written decision, and/or included in the recording of the proceedings. If you make written or verbal submissions to the Board, those submissions including personal information contained in those submissions such as your name, phone number, email address, and an audio, visual, or audio-visual recording of verbal submissions will be publicly available (and may be posted on the Board's website as part of a public report) and may be referenced in the Board's publicly available written decision. The Board may use your contact information in the future for follow-up consultation for feedback regarding the appeal process. All information will be kept by the Board in accordance with the Board's information retention policies from time to time. If you have any questions regarding the collection, use, or retention of this information, contact the Tribunal Coordinator of the City Appeal Boards at 403-268-5312, or [info@calgarysdab.ca](mailto:info@calgarysdab.ca).*

If you require further information regarding appeal deadlines and procedures, please contact the SDAB office at:

Website: [calgary.ca/sdab](http://calgary.ca/sdab)

Phone: (403) 268-5312

Email: [info@calgarysdab.ca](mailto:info@calgarysdab.ca)

We appeal the Development Authority's approval of DP2026-00795, 1420 6 Street NW, because it will have a significant negative impact on the privacy, use and enjoyment of our property.

Our lovely 1925 bungalow is on the south adjoining parcel. It has large, east-facing bedroom windows that look onto professionally designed gardens. Our home is well maintained and has high-efficiency heating, new insulation that includes foam in the attic and bump-outs, on-demand hot-water, and quality windows. That is, our home is worth of preserving and protecting as heritage asset.

Our primary concern is privacy. The 3-foot-high upper windows of the development materially erode the privacy and enjoyment of our heritage home by providing direct, unobstructed sightlines into our bedrooms and overlook into our garden. These windows go against the City of Calgary's *Backyard Suites How to Guide*. The development includes a balcony on the south side, facing our property, which the *Backyard Suites How to Guide* gives direction to "avoid."

Our secondary concern relates to massing and appropriateness for RC-G in a designated Heritage Guideline Area. The development requests a relaxation into the encroachment into the side yard chamfer on the north side, has garage eaves 0.39 m from the property line on the south side (our side), and a carport roof that nearly touches the property line. The encroachment and lack of stepped roof lines on the north side maximizes shadowing and minimizes sunlight access for the property on the north (the neighbours at 1422 6 Street NW). The development is on a 37.5 foot lot, half a lot smaller than the typical lot in Rosedale, and therefore the development requires the full width of the lot. This is a large development for the parcel. We support the appeal of this development by our neighbours at 1422 6 Street NW as the development maximizes their solar losses, contrary to the *Backyard Suites How to Guide*.

In accordance with Sections 678 and 686 of the Municipal Government Act and The City of Calgary Bylaw 25P95, as amended, an appeal to the Subdivision and Development Appeal Board must be filed within the legislated time frame and each Notice of Appeal must be accompanied by the legislated fee.

Municipal Address of Site Under Appeal [required]	1420 6 Street NW
Development Permit/Subdivision Application/File Number [required]	DP2026-00795
Name of Appellant [required]	Andrew and Stacey Hiew
Agent Name (if applicable)	
Street Address [required]	1422 6 Street NW
hdnFullAddress	1422 6 Street NW Calgary AB T2M 3E6
City [required]	Calgary
Province [required]	Alberta
Postal Code [required]	T2M 3E6
Residential Phone # [required]	(403) 668-4344
Business Phone #	
Email Address [required]	staceyferrara@hotmail.com

## APPEAL AGAINST

Required field. Check one item only: for multiple appeals you must submit another Notice of Appeal.

Development Permit Approval

I do hereby appeal the decision of the Subdivision/Development Authority for the following reasons [required]

We appeal the Development Authority's approval of DP2026-00795 at 1420 6 Street NW because, as currently designed, the new second-level backyard suite will have significant negative impacts on the privacy, use and enjoyment of our adjacent property to the north at 1422 6 Street NW. The sources of such negative impacts include: (i) window type/size and placement; (ii) minimal/no reduction in massing; and (iii) maximum reduction in sunlight and increased shadowing into our home and outside deck, courtyard, garden and lawn area (all of which are heavily used and enjoyed) due to placement of the new 2 storey structure at the setback allowance on the northern property line.

In order to assist the Board in scheduling, please answer the following questions to the best of your ability:

Estimated Presentation Time 30 minutes

Will you be using an agent/legal counsel? [required] No

Do you anticipate any preliminary issues with your appeal? (i.e. jurisdiction, parties status as affected persons, adjournment, etc.)? [required] No

If yes, what are the issues?

Do you anticipate bringing any witnesses/experts to your hearing? [required] Unknown

If yes, how many will you be bringing?

*I confirm and acknowledge that*

- *I have read and understood this form;*
- *The information I have provided is accurate to the best of my knowledge; and*
- *I am responsible for paying the appeal fee and my notice of appeal will not be considered filed until my appeal fee has been received.*

Submission Date 2026-05-20 08:22:27 MST

*The Board collects and uses personal information under the authority of sections 4(a) and (c) and 13(1) of the Protection of Privacy Act, SA 2024, cP-28.5 and sections 678 and 686 of the Municipal Government Act, RSA 2000 c. M-26 for the purposes of administering and adjudicating appeals before the Board. By clicking the link, calling the phone number, or otherwise participating, you are acknowledging and agreeing that your name, phone number, email address, image, or other personal information may be displayed during the videoconference, referenced in the Board's publicly available written decision, and/or included in the recording of the proceedings. If you make written or verbal submissions to the Board, those submissions including personal information contained in those submissions such as your name, phone number, email address, and an audio, visual, or audio-visual recording of verbal submissions will be publicly available (and may be posted on the Board's website as part of a public report) and may be referenced in the Board's publicly available written decision. The Board may use your contact information in the future for follow-up consultation for feedback regarding the appeal process. All information will be kept by the Board in accordance with the Board's information retention policies from time to time. If you have any questions regarding the collection, use, or retention of this information, contact the Tribunal Coordinator of the City Appeal Boards at 403-268-5312, or [info@calgarysdab.ca](mailto:info@calgarysdab.ca).*

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Website: [calgary.ca/sdab](http://calgary.ca/sdab)

Phone: (403) 268-5312

Email: [info@calgarysdab.ca](mailto:info@calgarysdab.ca)

We appeal the Development Authority's approval of DP2026-00795 at 1420 6 Street NW because, as currently designed, the new second-level backyard suite will have significant negative impacts on the privacy, use and enjoyment of our adjacent property to the north at 1422 6 Street NW. The sources of such negative impacts include (i) window type/size and placement (ii) minimal/no reduction in massing and (iii) maximum reduction in sunlight and increased shadowing into our home and outside deck, courtyard and lawn area (all of which are heavily used and enjoyed) due to placement of the new 2 storey structure at the setback allowance on the northern property line.

**Windows:** Our greatest concern is that the window in the unit's bathroom on the north face of the structure provides a direct line of sight/bird's eye views into our backyard and bedroom windows. The view from this window into our backyard will directly overlook our primary outdoor living space where we spend most of our leisure time and entertain guests.

We have similar concerns regarding the three tall windows abutting each other on the west face of the structure. While these windows face the primary residence, their location on the wall along the unit's internal stairs, including the landing that's three steps lower, will provide residents with direct sight lines to our back raised deck and east facing 'sunseat' just inside the French doors which will be further exposed during the half of the year when deciduous trees are without their leaves.

The City of Calgary's Policy to Guide Discretion for Secondary Suites and Backyard Suites (the "Policy") suggests that windows be off-set and frosted, and the City's Backyard Suites How-to Guide (the "Guide") illustrates and calls out windows on the side facade being placed higher than the resident's eye level. None of these neighbour-friendly approaches have been adopted.

**Massing:** The new 2-storey backyard structure is currently located at the property's northern setback allowance, meaning that it's as close to our property as it can be. In fact, the proposal is so close to the northern setback allowance that it spills into it as an encroachment is required for roof eaves along the roofline and half-way up as well. We appreciate that the roof is sloped to match the house but with this being at the roofline of the new 2-storey building, the impact in massing reduction is minimal. Based on the current plans, this the only form of massing reduction that has been applied and the failure to do more will result in a relatively massive new structure towering over our backyard. Our 1935 heritage bungalow is already dwarfed by their 2-storey primary residence. If built according to current plans, with no other form of articulation or stepping of the second story, the appearance of height of the new 2 storey garage will be felt greatly by our neighbouring bungalow with much used and loved backyard with single-level garage.

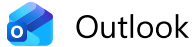
The Policy states that the building mass of a Backyard Suite should be moderated with respect to neighbouring properties using architectural elements such as stepped rooflines and articulated facades, and the Guide explains that height should be transitioned from neighbouring parcels to reduce the perceived height of the backyard suite from the neighbouring yard.

**Shadowing:** According to Shade Map App, the addition of a second storey on the garage in the backyard of 1420 6 Street NW bearing a height of 7.5 m will result in remarkable reductions in the amount of sunlight received at various locations of concern within our adjacent property to the north. In particular, the amount of sunlight reaching our east facing 'sunseat' will be reduced by approximately 50%. This shade modelling app also shows similarly concerning reductions in the amount of sunlight received in the early fall months in the area where we plant our vegetable container garden - at exactly the time when our home-grown produce needs direct sunlight to finish ripening for the long-awaited harvest. Over the course of a year, all of

our professionally designed perimeter landscaping (which was designed by an associate of Lois Hole, Alberta's favourite gardener and former Lieutenant Governor of Alberta) will suffer from reductions in total sunlight due to increased shadowing, possibly pushing up against the tolerance limits of more sensitive species.

The Guide explains that backyard suites should be located to maximize sunlight access for neighbouring parcels and includes an example that directly applies to this situation - backyard suites should be located closer to the shared property line on the south side of the lot so that the neighbouring parcel to the north (ours) has better access to the southern aspect sun angle.

We also support the appeal of this development by our neighbours at 1416 6 Street NW. We, as abutting neighbours, shouldn't bear the brunt of the new backyard suite introduced by our neighbour that will reap the benefits.



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**[External] materials for SDAB2026-0074**

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**From** Trevor Borden <bordent@telus.net>

**Date** Mon 5/25/2026 8:16 AM

**To** Calgary SDAB Info <Info@calgarysdab.ca>

**Cc** staceyferrara@hotmail.com <staceyferrara@hotmail.com>; Terry Smith <smithtr9037@gmail.com>

1 attachment (445 KB)

20260534 garage construction appeal material v03-3.pdf;

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[Report Suspicious](#)

I plan to participate in the hearing scheduled for 10:45 am on Tuesday June 2nd. I will refer to the attached PDF file.

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Trevor Borden  
403-815-4651

# 1420-6<sup>th</sup> Street NW Backyard Suite

Submission for the appeal against approval of  
DP2026-00795

Appeal Number: SDAB2026-0074

Submitted by the residents of 1416-6<sup>th</sup> Street NW



# Proposed wall facing south

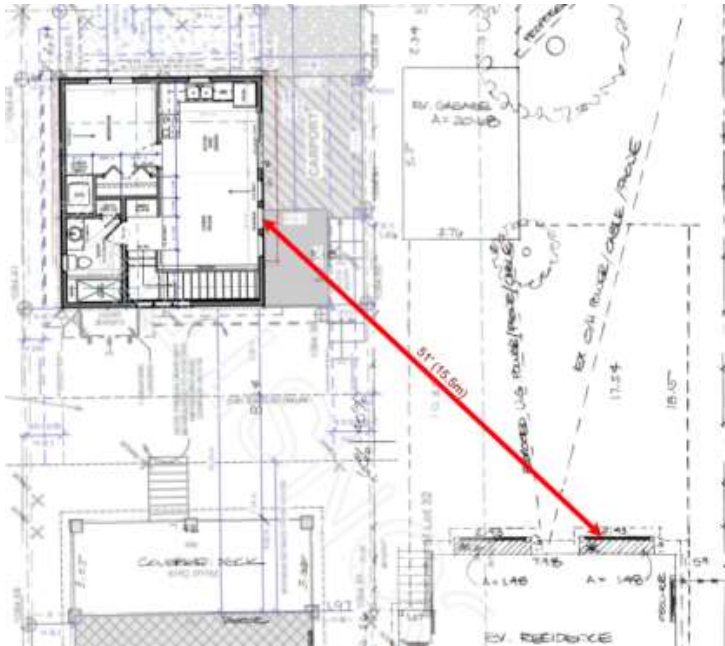


Window Dimensions: 2'6" x 3'

# Bedroom windows



# Line of sight and view from bedroom 1



iPhone photo taken while seated in typical location. (1:1, no zoom)

# Line of sight and view from bedroom 2



iPhone photo (1:1, no zoom)

# Relevant guidelines for protection of privacy

- Backyard Suites How-to guide

## Windows

### Design principles

- Windows should generally be placed to provide views to the street, the lane or into the yard shared with the primary residence.
- The location of neighbouring buildings and trees should be considered when determining window placements. Windows on side facades are more appropriate where direct views of neighbouring yards are screened with trees or where the window overlooks a neighbouring garage.
- Some windows on the side facade will be supported to break up the visual mass of the wall where the windows are obscured or placed higher in wall to prevent direct overlooking.

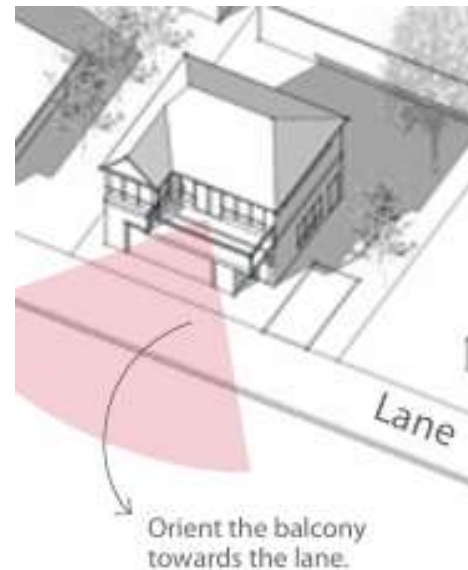
# Relevant guidelines for protection of privacy

- Backyard Suites How-to guide

## Balconies

### Design principles

- Balconies should face onto the street, the lane or into the yard that contains the suite. Direct side views of neighbouring yards should be avoided and may be screened using privacy walls or trees.



# Trees for screening

- Trees can screen windows, amenity spaces and buildings. Locating the new backyard suite to take advantage of existing trees can enhance privacy for tenants and neighbours and reduce the visual mass of the new suite.



# Relevant guidelines for mitigating impacts of massing

## Height and massing

### Design principles

- Height should be transitioned from neighbouring parcels to reduce the perceived height of the backyard suite from the neighbouring yard.
- Building facades should be articulated to reduce the appearance of height and volume.
- Rooflines should be articulated to provide more visual interest and reduce the appearance of height. This can be achieved by lowering the height of the primary façade and stepping the roofline.

## Growth Strategies Heritage Guidelines – North Hill

- Where new development is larger than nearby **heritage assets**, the visual impact of upper storeys of buildings should be reduced by using design measures such as:
  - Using compound roofs (e.g., cross-gabled) to hide the upper storey.
  - Shifting massing away from smaller-scale buildings.
  - Reducing building massing on upper storeys.



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**[External] Submission for Appeal No. 2026-0074**

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**From** stacey ferrara <staceyferrara@hotmail.com>

**Date** Mon 5/25/2026 11:28 AM

**To** Calgary SDAB Info <Info@calgarysdab.ca>

 1 attachment (3 MB)

Appeal No 2026-0074 submitted 05-25-2026 by Stacey Hiew.pdf;

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[Report Suspicious](#)

Hello,

I am submitting the attached materials for the procedural and jurisdictional hearing that's scheduled for June 2, 2026 on behalf of myself and my husband - the owners and residents of 1422 6 ST NW in Calgary.

I will call to confirm your receipt of these materials and confirm our attendance at the meeting.

Please let me know if you have any questions or would like to discuss.

Thank you,  
Stacey Hiew (nee Ferrara)

# **1420 6 ST NW - Backyard Suite**

**Submission for the appeal against approval of DP2026-00795**

**Appeal Number: SDAB2026-0074**

**Submitted by the owners and residents of 1422 6 ST NW**

# Our House at 1422 6 ST NW

Front View



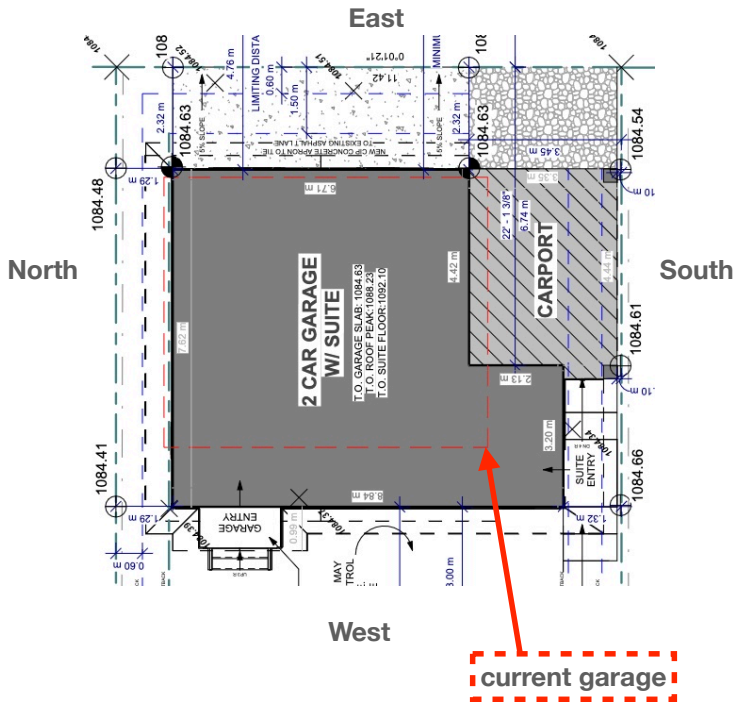
# Our House at 1422 6 ST NW

## Bird's Eye View



# 1420 6 ST NW's Proposed Backyard Suite

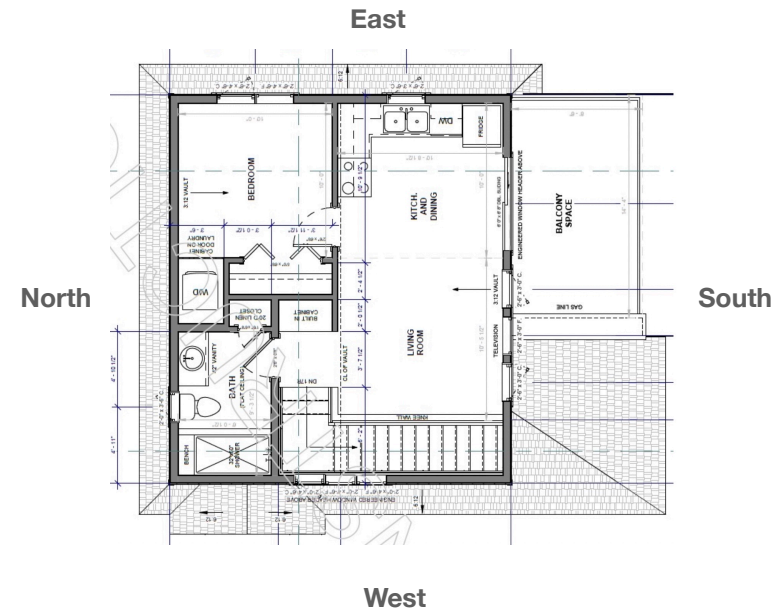
## Footprint relative to current garage



### Proposed new structure

- Additional second level
- > 1m larger to the west and north
- Structure at north setback
- Roof eaves extend beyond north setback
- North facing window in bathroom
- West facing windows at stairs landing
- No articulation on south and west facades
- Carport up to south property line
- South facing balcony on carport

### Floorplan



# City of Calgary's Backyard Suites Requirements

## The "Policy"

PUD2019-1203  
ATTACHMENT 6

**Redline Copy of Proposed Amendments to the *Policy to Guide Discretion***

### Policy to Guide Discretion for Secondary Suites and Backyard Suites

Adopted by Council resolution March 12, 2018  
Amended by Council resolution January 14, 2019

#### A. Planning Objectives

1. To provide guidance to the Development Authority in the use of discretion when evaluating suites.
2. To ensure opportunities for suites are balanced with the potential impacts they may have on communities.
3. To manage privacy issues related to Backyard Suites.

## The "Guide"



**Backyard Suites**  
How-to guide

# Area of Concern - Windows

## City Policy:

Section C 1.  
Additional Policies  
for Backyard Suites

- e. Window placement should allow light penetration into the suite while respecting the privacy of adjacent parcels. Off-setting, frosting, and placing windows to face the lane or street should be considered.

## City Guide:

5

### Windows

#### Design principles

- Windows should generally be placed to provide views to the street, the lane or into the yard shared with the primary residence.
- The location of neighbouring buildings and trees should be considered when determining window placements. Windows on side facades are more appropriate where direct views of neighbouring yards are screened with trees or where the window overlooks a neighbouring garage.
- Some windows on the side facade will be supported to break up the visual mass of the wall where the windows are obscured or placed higher in wall to prevent direct overlooking.



# Area of Concern - Massing

## City Policy:

Section C 1.  
Additional Policies  
for Backyard Suites

- g. The building mass of a Backyard Suite should be moderated with respect to neighbouring properties using architectural elements such as stepped or sloped rooflines and articulated facades.

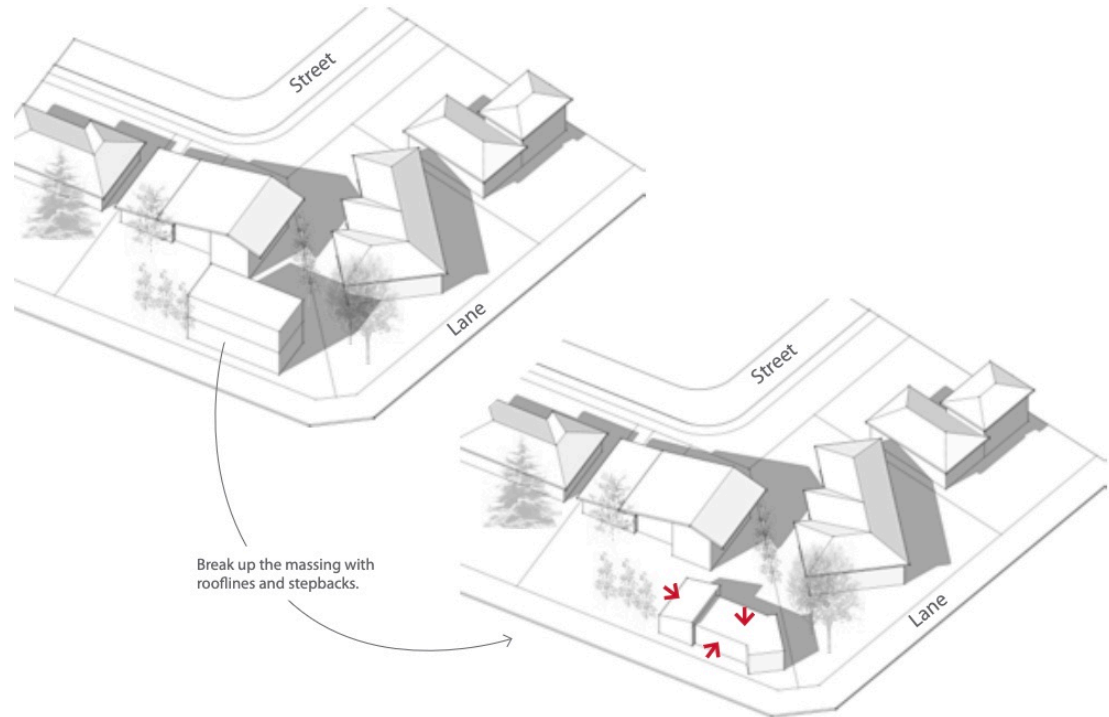
## City Guide:

4

### Height and massing

#### Design principles

- Height should be transitioned from neighbouring parcels to reduce the perceived height of the backyard suite from the neighbouring yard.
- Building facades should be articulated to reduce the appearance of height and volume.
- Rooflines should be articulated to provide more visual interest and reduce the appearance of height. This can be achieved by lowering the height of the primary façade and stepping the roofline.



# Area of Concern - Shadowing

## City Guide:

2

## Sunlight and shadowing

### Design principles

- Locate the backyard suite to maximize sunlight access for neighbouring parcels. On north south blocks the backyard suite should be located closer to the shared property line on the south side of the lot so that the neighbouring parcel to the north has better access to the southern aspect sun angle.
- Angled or stepped rooflines that let more sunlight into yards next to the suite are encouraged.





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## SDAB2026-0074 / DP2026-00795 - Appeal Response

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**From** Fandrich, Jamie <Jamie.Fandrich@calgary.ca>

**Date** Thu 5/21/2026 11:54 AM

**To** Calgary SDAB Info <Info@calgarysdab.ca>

 1 attachment (474 KB)

SDAB2026-0074 DP2026-00795 Appeal Response.pdf;

Hello,

Attached is the Appeal Response for SDAB2026-0074 / DP2026-00795.

Please register me as a participant for the P&J hearing and send me the notice of hearing for the future merit hearing, if scheduled.

Thank you,

**Jamie Fandrich, AT** ([hear name](#))

Senior Planning Technician

Development & Subdivision Application Services | Community Planning

Planning and Development Services | The City of Calgary

C 403.651.5029 | [jamie.fandrich@calgary.ca](mailto:jamie.fandrich@calgary.ca)



The City of Calgary  
Planning & Development Services

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# Development Authority Appeal Response

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**Appeal Number:** SDAB2026-0074

**Development Permit Number:** DP2026-00795

**Address:** 1420 6 ST NW

**Description:** New: Accessory Residential Building (garage), Backyard Suite (above garage)

**Land Use:** Residential – Grade-Oriented Infill (R-CG)

**Community:** Rosedale

**Identified Appeal Body:**

Subdivision and Development Appeal Board (SDAB)

**Development Authority Attendance:** No

**Use:** Discretionary

**Notice Posted:** Completed as per Bylaw

**Public Response(s) Received?** Yes, responses included in the Board Report

**Applicable Planning Policies:**

- North Hill Communities Local Area Plan (the Plan)
- Backyard Suites How-to Guide (the Guide)
- Policy to Guide Discretion for Secondary Suites and Backyard Suites (the Policy)

**Bylaw Relaxations:**

The development requires the following Land Use Bylaw relaxations:

Bylaw Requirement	Provided
352 Backyard Suite	<p>(4.1) The maximum building height for a Backyard Suite is:</p> <p>(a) 5.0m measured from grade at a side property line shared with a parcel designated with a low density residential district;</p> <p>(c) increases at a 45 degree angle to a maximum of 7.5m at a proportional distance from the shared property line.</p> <p>Plans indicate the north portion of the backyard suite as being within the height chamfer.</p> <p>Note: Visual representation provided below.</p>

**Additional Factors, Considerations, and/or Rationale:**

1. The use of Accessory Residential Building is a permitted use, and Backyard Suite is discretionary use in the R-CG district; therefore, the application was reviewed as discretionary.
2. In rendering their decision, the Development Authority applied Sections 35 and 36 of the Land Use Bylaw.
3. This application is for a proposed Backyard Suite located at the rear of a parcel containing an existing Single Detached Dwelling. Vehicle access to the parcel is provided from the rear lane.
4. The Plan, the Guide, and the Policy were reviewed during the planning analysis. The Guide is an illustrated explanation of planning policies and principles outlined in the Policy.
5. Backyard Suites increase the diversity and affordability of housing in neighbourhoods. Because they cannot be sold separately, they provide rental housing that contributes to a mix of tenures. The Municipal Development Plan supports a diversity of housing through the following policies:
  - a. Facilitating moderate intensification in a form and nature that respects the scale and character of the neighbourhood. (Policy 3.5.1)
  - b. Provide a range of housing types, tenures (rental and ownership) and densities to create diverse neighbourhoods to meet affordability, accessibility, life cycle and lifestyle needs of different groups. (Policy 2.3.1.a)
  - c. Promote methods to efficiently use or adapt the existing housing stock to enable changing households to remain in the same home or neighbourhood for many years. (Policy 2.3.1.d)
6. The subject parcel is located within the Neighbourhood local area of Map 3: Urban Form, the Limited area of Map 4: Building Scale, and the Rosedale area of Map 5: Heritage Guideline Areas. The proposed development complies with the following policies of the Plan:
  - a. Development in Neighbourhood Connector and Neighbourhood Local areas of a community should:
    - i. Be primarily residential uses; and,
    - ii. Support a broad range and mix of housing types, unit structures and forms. (the Plan 2.2.1.4, a)

- b. Development in Limited Scale areas should be three storeys in height or less. (the Plan 2.3.1.a)
  - c. Horizontal window openings are encouraged to be divided into groupings of smaller vertically oriented windows. (the Plan 2.6.2, 15)
  - d. Windows are encouraged to include wide casings or frames. (the Plan 2.6.2, 16)
  - e. The use of natural or natural-looking building materials is encouraged. (the Plan 2.6.2, 17)
7. It is the opinion of the Development Authority that the proposed development aligns with the Heritage Guidelines within the Plan. The proposed development will be clad to match the primary dwelling, using the same color and material for siding and the composite shingle details. The gables of the Backyard Suite have been designed to match the starburst pattern of the front elevation of the primary dwelling. The proposed roofs also mimic the roof styles used on the primary dwelling, with a lower pitch to ensure overall building height is compliant with the Land Use Bylaw. The Backyard Suite has been thoughtfully designed to incorporate several design details from the primary residential building that result in the proposed development massing, style, and finishing to be fully reflective of the primary dwelling and the surrounding community. A photo of the front elevation of the existing dwelling is provided below for reference.
8. The proposed development complies with the following policies of the Guide:
- a. Building Placement - *The new backyard suite should be located to align with building and yard placement on neighbouring parcels. Where feasible, buildings should be located next to buildings and yards should be located next to yards. On a lot with a lane this principle will most often result in the new backyard suite being located next to the lane to match the location of neighbouring garages and parking pads.*
    - The proposed Backyard Suite is located in the rear yard of the parcel and is adjacent to and aligned with the garages on the adjacent parcels. This maintains the recommended pattern of buildings next to buildings.
  - b. Sunlight and Shadowing - *Locate the backyard suite to maximize sunlight access for neighbouring parcels. Angled or stepped rooflines that let more sunlight into yards next to the suite are encouraged.*
    - The proposed Backyard Suite is aligned with the garages on the adjacent parcels, which minimizes the shadowing that will occur on the amenity spaces on both the adjacent and subject parcels. The east/west orientation on the parcel will result in most shadowing from the building being on the subject parcel and into the lane.
  - c. Height and Massing - *Height should be transitioned from neighbouring parcels to reduce the perceived height of the backyard suite from the neighbouring yard. Building facades should be articulated to reduce the appearance of height and volume.*
    - All building facades are articulated using a wrap-around first storey roof, windows, and various finishing materials and colors to add visual interest to the structure, minimizing the overall massing of the building.

- d. *Windows - Windows should generally be placed to provide views to the street, the lane or into the yard shared with the primary residence. Some windows on the side facade will be supported to break up the visual mass of the wall where the windows are obscured or placed higher in wall to prevent direct overlooking.*
- The upper floor window on the north elevation is located above a toilet within a bathroom, minimizing opportunity for direct overlooking. The adjacent parcel has mature trees in the rear yard that provide some screening. The windows on the south elevation are located higher in the wall to prevent overlooking, are 3.9 metres from the shared property line to the south, and have a view of the adjacent garage, as opposed to amenity space. All other windows are placed centrally in the wall overlooking the subject parcel and rear lane, in alignment with the Guide.
- e. *Balconies – Balconies should face onto the street, the lane or into the yard that contains the suite. Direct side views of neighbouring yards should be avoided and may be screened using privacy walls or trees.*
- The balcony proposes a 2.0 metres tall privacy wall on both the south and west elevations, leaving on the east side of the balcony open, which has a view of the rear lane.
- f. *Access - Where the backyard suite is located on a parcel with a lane it should have access to the lane through a direct entrance on the lane or provide direct access to the lane or the street via a hard surfaced pathway.*
- A concrete and gravel walkway has been provided from the rear lane to the suite access door on the south side of the garage.
9. The proposed development complies with the following policies of the Policy:
- a. *Unless otherwise referenced in Policy B.2, the required motor vehicle parking stall for a suite shall be provided on the parcel. (1a).*  
*The required motor vehicle parking stall(s) for the primary Dwelling Unit shall not be considered as providing the required motor vehicle parking for a suite. Required motor vehicle parking stalls for a suite are intended for the exclusive use of the suite and: ii. Should be accessed from an existing front driveway there no rear or side land provides access to the parcel. (the Policy B1a, b, c.ii)*
- The required parking for the parcel is one motor vehicle parking stalls; 0.5 stalls for the Single Detached Dwelling and 0.5 stalls for the Backyard Suite. Two parking stalls are provided in the garage, and one is provided in a covered carport, exceeding the parking requirements by two stalls.
- b. *Amenity Space - The required amenity space for a suite should be provided on the parcel. The design and orientation of a suite should ensure direct access with the required private amenity space. (the Policy B3, a, b)*
- In the R-CG land use district, amenity space is not required by the Land Use Bylaw, however a balcony is provided on the second storey and the landing located at the suite entry provides access to the rear yard space on the subject parcel.

c. *Window placement should allow light penetration into the suite while respecting the privacy of adjacent parcels. Off-setting, frosting, and placing windows to face the lane or street should be considered (The Policy C1.e)*

- The upper floor window on the north elevation is located above a toilet within a bathroom, minimizing opportunity for direct overlooking. The adjacent parcel has mature trees in the rear yard that provide some screening. The windows on the south elevation are located higher in the wall to prevent overlooking, are 3.9 metres from the shared property line to the south, and have a view of the adjacent garage, as opposed to amenity space. All other windows are placed centrally in the wall overlooking the subject parcel and rear lane, in alignment with the Guide.

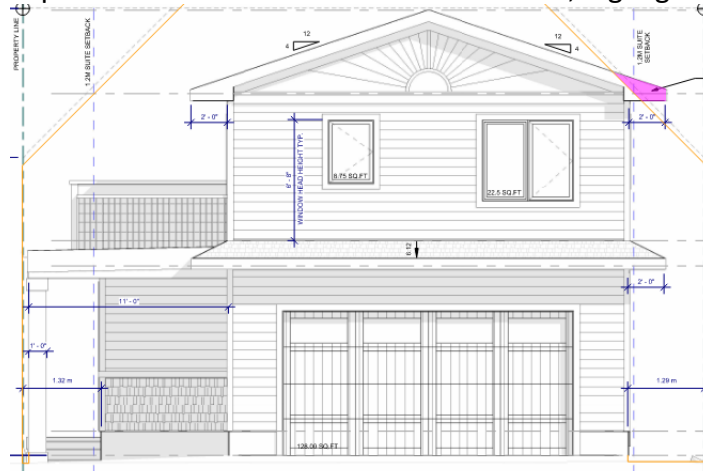
10. In reference to the Heritage Guidelines, below is a photo of the front elevation of the existing dwelling:



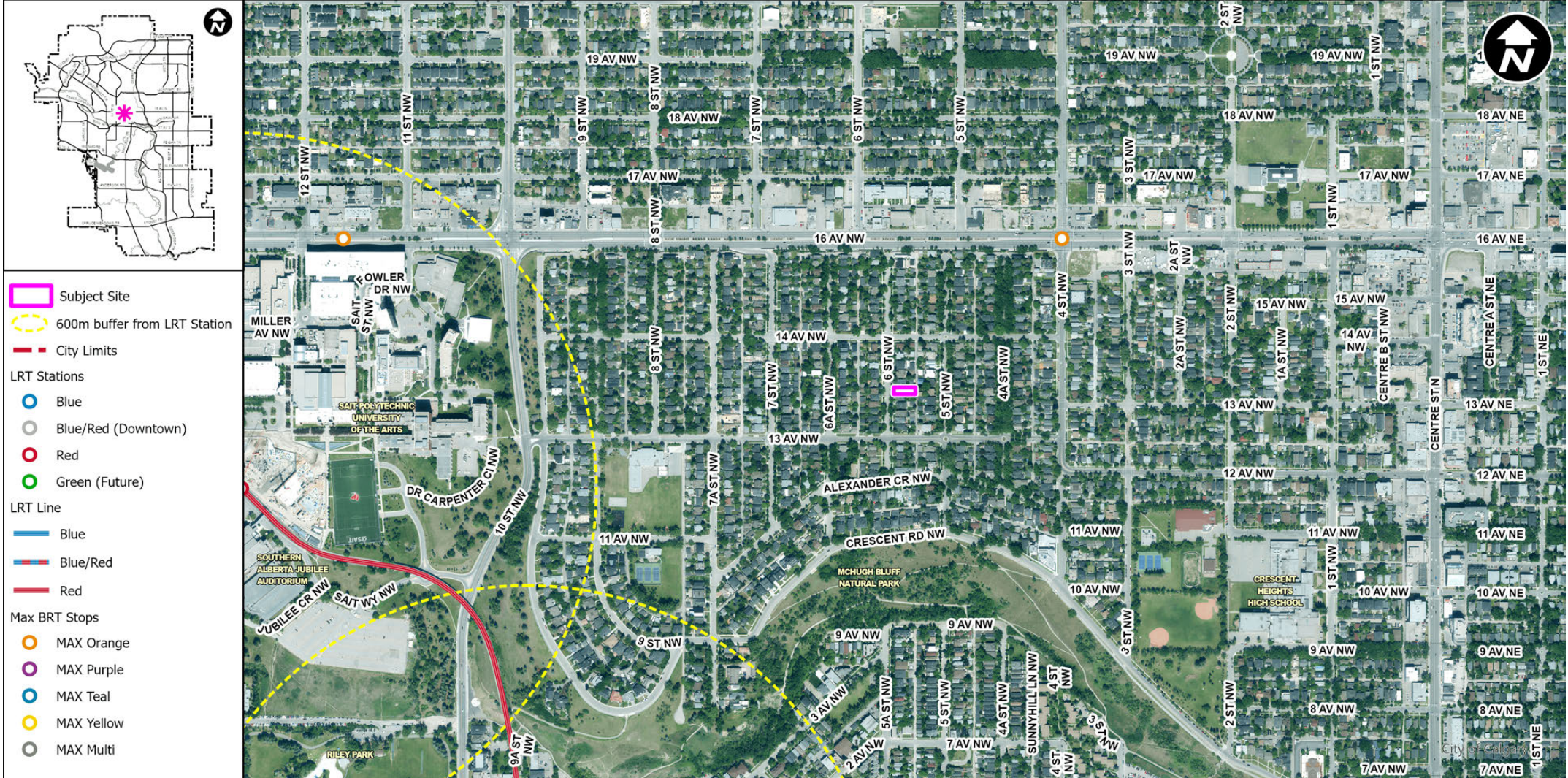
Photo: Google. April, 2014 (older photo used to show exterior finishing details, more recent photo has house obscured behind trees)

11. In response to the Notice of Appeal:

















a. Visual representation of relaxation of section 352, highlighted in magenta.

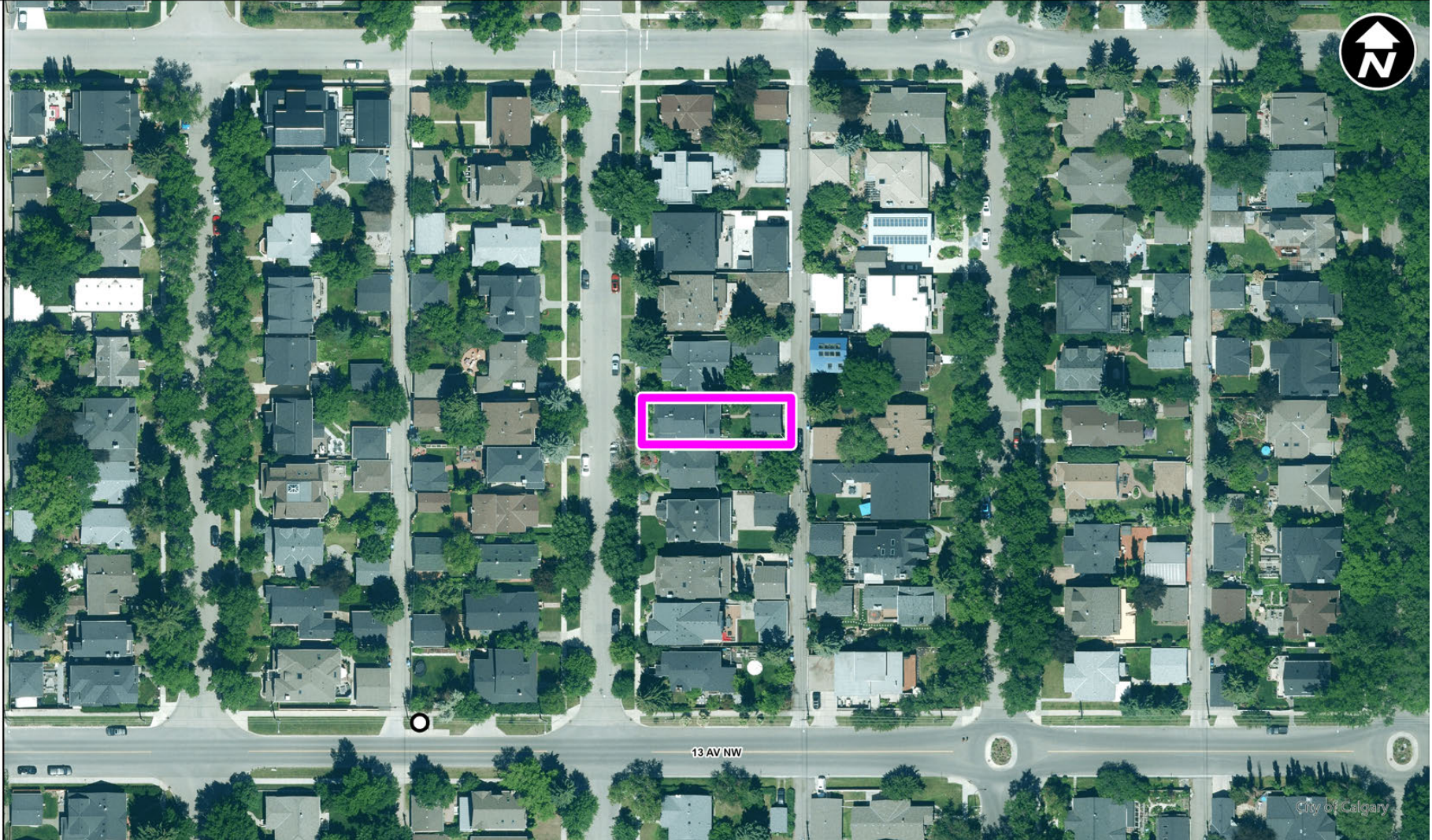


Community Context SDAB2026-0074

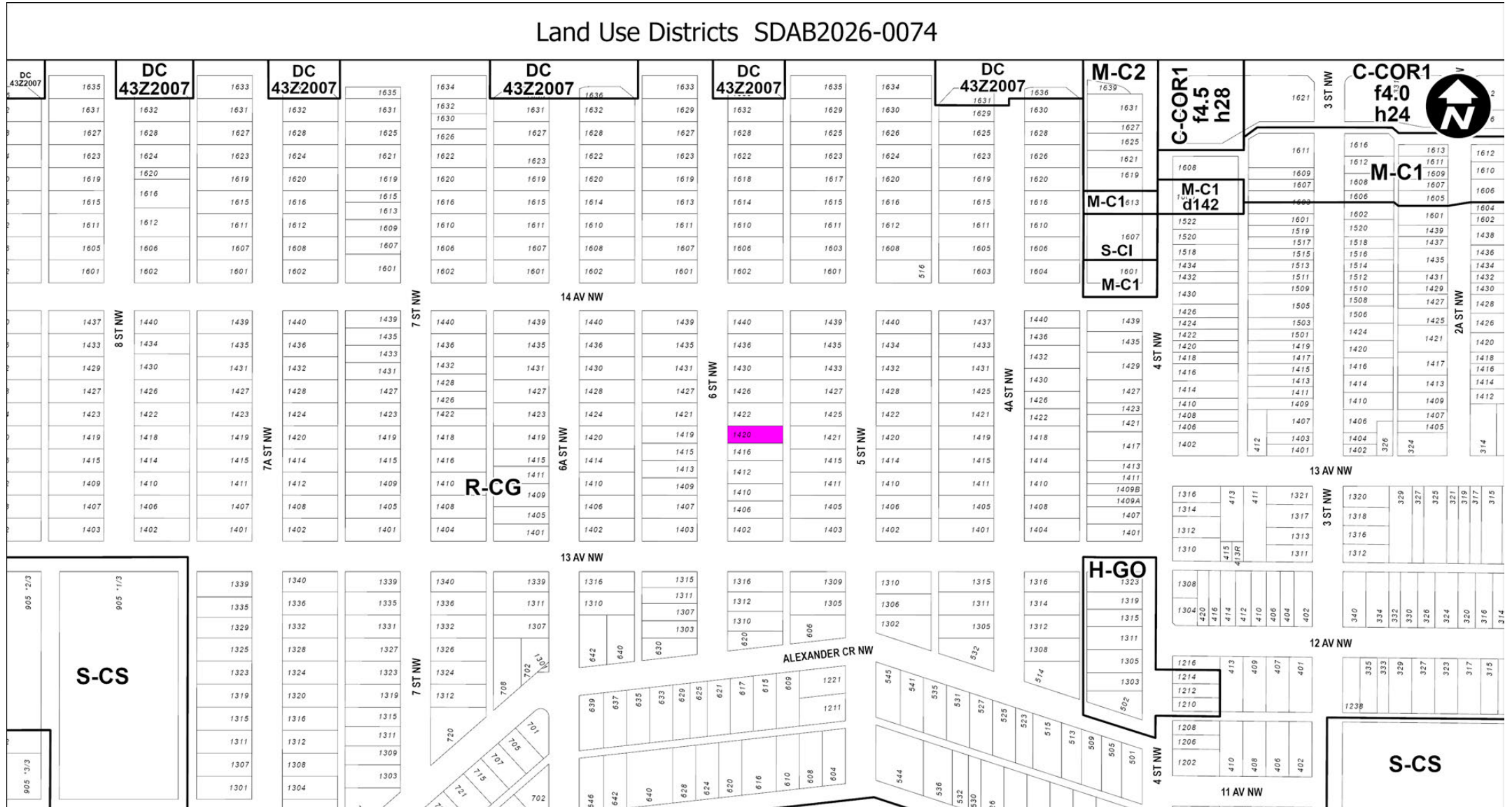


Site Context SDAB2026-0074

-  Subject Site
-  600m buffer from LRT Station
-  City Limits
- LRT Stations
  -  Blue
  -  Blue/Red (Downtown)
  -  Red
  -  Green (Future)
- LRT Line
  -  Blue
  -  Blue/Red
  -  Red
- Max BRT Stops
  -  MAX Orange
  -  MAX Purple
  -  MAX Teal
  -  MAX Yellow
  -  MAX Multi
  -  Bus Stop



Land Use Districts SDAB2026-0074



Surrounding Land Use SDAB2026-0074

- Subject Site
- Land Use Designation Polygons
- Single Detached Dwelling
- Semi-Detached/Duplex Dwelling
- Rowhouse/Multi-Residential
- Commercial
- Heavy Industrial
- Light Industrial
- Parks & Openspace
- Service Station
- Vacant
- Transportation, Communication, and Utility
- Rivers, Lakes
- Public Service





April 30, 2026

ELLERGODT DESIGN

Jessica Willsie  
[REDACTED]  
[REDACTED]

Dear Applicant:

**RE: Notification of Decision: DP2026-00795**

**Subject: New: Accessory Residential Building (garage), Backyard Suite (above garage)**

**Address: 1420 6 ST NW**

This is your notification of decision by the Development Authority to approve the above noted application on April 24, 2026.

Read all of the Permanent Conditions of approval carefully as they form part of the approval decision. Advisory Comments, if applicable, are also attached and are intended to be of assistance in obtaining additional permits and supplementary information for the successful completion of your development.

Development approved by this permit must commence by April 24, 2028 or the development permit shall cease to be valid. The decision will be advertised beginning April 30, 2026 at [www.calgary.ca/publicnotices](http://www.calgary.ca/publicnotices), which is the start of the mandatory 21-day appeal period. This appeal period will conclude at midnight May 21, 2026. Release of the permit will occur within 2-4 business days following the conclusion of the appeal period and upon receipt of all Prior to Release requirements.

If you wish to appeal, submit your appeal with reasons and the \$200.00 filing fee to the Subdivision and Development Appeal Board within 21 days of this notice of decision being given. The appeal may be filed online at [www.calgarysdab.ca](http://www.calgarysdab.ca) or in person or by mail.

Please note that this letter is to advise you of the conditions of approval, the mandatory advertising appeal period and the timeframe in which you may appeal this decision. If no appeals have been filed during the appeal period, your Development Permit will be released. Should you require clarification of the above or further information, please contact me at (368) 886-9634 or by email at [Hayley.Pusch@calgary.ca](mailto:Hayley.Pusch@calgary.ca) and assist me by quoting the Development Permit number.

Yours truly,

Hayley Pusch  
Senior Planning Technician  
Planning and Development  
Attachment(s)



**DEVELOPMENT PERMIT  
LAND USE BYLAW NO 1P2007**

**DP2026-00795**

This permit relates to land in the City of Calgary municipally described as:

**1420 6 ST NW**

Community: **Rosedale**

L.U.D.:**R-CG**

and legally described as:

**5299T;17;31,32**

and permits the land to be used for the following development:

**New: Accessory Residential Building (garage), Backyard Suite (above garage)**

The present owner and any subsequent owner of the above described land must comply with any attached conditions.

The development has been approved subject to any attached conditions and to full compliance with the approved plans bearing the stamp of approval and the above development permit number.

Decision By: **Development Authority**

Date of Decision: **April 24, 2026**

Development Authority: **Jamie Fandrich**

*Jamie Fandrich*

File Manager: **Hayley Pusch**

Release Date: \_\_\_\_\_

**This permit will not be valid if development has not commenced by: April 24, 2028**

This Development Permit was advertised on: **April 30, 2026**

**This is NOT a Building Permit**

In addition to your Development Permit, a Building Permit may be required, prior to any work commencing. further information, you should contact the City of Calgary, Planning, Development & Assessment - Building Regulations Division.

**WARNING**

**This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.**

Applicant: **ELLERGODT DESIGN**

Address: **3804 31 ST SW**

City: **Calgary, Alberta, T3E2P7**

Phone: **[REDACTED]**



**DEVELOPMENT PERMIT  
LAND USE BYLAW NO 1P2007**

**DP2026-00795**

---

**Complete Address and Legal Description listing for Development Permit DP2026-00795**

<b>Address Type</b>	<b>Address</b>	<b>Legal Description</b>
Building	1420 6 ST NW	
Parcel	1420 6 ST NW	5299T;17;31,32



## Conditions of Approval – Development Permit

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<b>Application Number:</b>	<b>DP2026-00795</b>
<b>Application Description:</b>	New: Accessory Residential Building (garage), Backyard Suite (above garage)
<b>Land Use District:</b>	Residential - Grade-Oriented Infill
<b>Use Type:</b>	Discretionary
<b>Site Address:</b>	1420 6 ST NW
<b>Community:</b>	ROSEDALE
<b>Applicant:</b>	ELLERGODT DESIGN
<b>Planning:</b>	HAYLEY PUSCH (368) 886-9634 Hayley.Pusch@calgary.ca

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## Permanent Conditions

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The following permanent conditions shall apply:

### Planning

1. The development shall be completed in its entirety, in accordance with the approved plans and conditions. The stamped and signed plans are a legal document.
2. No changes to the approved plans shall take place unless authorized by the Development Authority. If changes to the development occur or are proposed, a new development permit or revised plan application may be required.
3. A development completion permit must be issued for the development before the use is commenced or the development occupied. A development completion permit is independent from the requirements of City of Calgary Building Regulations inspections and permission for occupancy. Request a development completion permit inspection by visiting [inspections.calgary.ca](https://inspections.calgary.ca) or call 403-268-5311.

Track your application on-line with VISTA. Go to: [www.calgary.ca/vista](http://www.calgary.ca/vista) and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

Page 1 of 2

## Advisory Comments

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The following advisory comments are provided as a courtesy to the Applicant and registered property owner. The comments represent some, but not all of the requirements contained in the Land Use Bylaw that must be complied with as part of this approval.

### Planning

4. The Applicant may appeal the decision of the Development Authority, including any of the conditions of the development permit. If you decide to file an appeal, please refer to the notification of decision letter for the appropriate appeal body and appeal process.
5. The approval of this development permit does not limit in any way the application of any federal, provincial, or municipal law, policy, code, regulation, bylaw, and/or guideline, nor does it constitute any permit or permission under any federal, provincial, or municipal law, policy, code, regulation, bylaw, and/or guideline.
6. In addition to this development permit, building permits may also be required. Building permit applications may be submitted upon approval of the associated development permit. Contact Building Regulations at 403-268-5311 for further information.
7. All plumbing services including sanitary, storm and water must be verified onsite by the owner and/or builder to ensure the size and location is compliant with the National Plumbing Code of Canada for the number of fixtures being installed. The waterline must be of the size that is indicated on the grade slip, but in no case smaller than 1 in size.
8. There are many types of caveats and other agreements that can be registered on the title of the property that can restrict the ability to develop. The City has not reviewed or considered all instruments registered on the title to this property. Property owners must evaluate whether this development is in compliance with any documents registered on title.

Home Improvement - Development Permit  
 =====  
 Application Submitted at: February 13, 2026 3:40:33 PM  
 Permit Type: Development Permit

Applicant Info and Project Location  
 =====  
 Project Location : 1420 6 ST NW  
 Project Location Full Spell : 1420 6 STREET NW

Applicant Information  
 \*\*\*\*\*  
 I am the property owner : False  
 I am the licensed contractor : False  
 Contact Info  
 \*\*\*\*\*  
 First Name : Brent  
 Last Name : Ellergodt  
 Phone Number : ██████████  
 Email : brent@beginwithdesign.com

Mailing Address  
 \*\*\*\*\*  
 Address Line 1 : 1420 6 ST NW  
 Address Line 2 :  
 City : Calgary  
 Province : Alberta  
 Country : Canada  
 Postal Code : T2M3E6

Home Owner Info  
 \*\*\*\*\*  
 First Name : Terry Smith & Elizabeth Oberhofer  
 Phone Number : ██████████  
 Email : ██████████

What are you applying for?  
 =====  
 Selected Permits : Backyard Suite

Additional Info  
 =====  
 What type of secondary suite do you apply for? :  
 Option 1: Provide the reduced requirements under 'Option 1: Reduced application requirements' on the application checklist. : False  
 Option 2: Provide the full requirements under 'Option 2: Full plans' on the application checklist. : False

Development Permit Detail  
 =====  
 \*\*\*\*\*  
 Are any public trees affected by the project? : No

Input Data  
 \*\*\*\*\*  
 Uploaded Document:  
 \*\*\*\*\*  
 Document Type: : ARCHITECTURAL  
 Document Subtype: : PLANS  
 Document Name: : 2026-02-13 - Smith Oberhofer - DP.pdf  
 Is Optional: : False  
 Is Personal Document: : False

Uploaded Document:  
 \*\*\*\*\*  
 Document Type: : SUPPORTING DOCUMENT  
 Document Subtype: : ABANDONED WELL

Document Name : SO - abandoned-well-declaration.pdf  
 Is Optional : False  
 Is Personal Document : False

Uploaded Document:  
 \*\*\*\*\*  
 Document Type : SUPPORTING DOCUMENT  
 Document Subtype : PUBLIC TREE DISCLOSURE  
 Document Name : public-tree-disclosure-statement.pdf  
 Is Optional : False  
 Is Personal Document : False

Uploaded Document:  
 \*\*\*\*\*  
 Document Type : SUPPORTING DOCUMENT  
 Document Subtype : SITE CONTAMINATION  
 Document Name : SO - site-contamination-statement.pdf  
 Is Optional : False  
 Is Personal Document : False

Uploaded Document:  
 \*\*\*\*\*  
 Document Type : SUPPORTING DOCUMENT  
 Document Subtype : OTHER  
 Document Name : SO - Letter of Auth.jpg  
 Is Optional : True  
 Is Personal Document : False

FOIP DISCLAIMER

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The personal information obtained on this form is being collected under the authority of section 4 (c) of the <a href="https://www.alberta.

Applicant's Declaration

=====

Terms and Conditions : <b>Online Services Terms of Use</b>

PLEASE REVIEW THESE TERMS OF USE CAREFULLY. BY ACCESSING AND USING THIS ELECTRONIC ONLINE SERVICES WEBSITE, YOU ACCEPT AND AGREE TO THE FOL

1. <u>Interpretation</u>

These <b>Online Application Consent and Confirmation of Applicant</b> supplement, and shall be interpreted consistently with, the general T

2. <u>Accuracy of Information Submitted</u>

You acknowledge and agree that your electronic submission of information to The City of Calgary ("The City") using this Online Application

3. <u>Consent to Electronic Decision</u>

I agree that The City can issue its formal decision to in electronic form (e.g. electronic mail) to the email address provided through the

4. <u>Electronic Submission</u>

Except as may otherwise be required by The City, you must only submit, provide and accept information or records related to your applicatio

5. <u>Complete Application</u>

I acknowledge that The City may inactivate or cancel incomplete permit applications that do not contain all of the requested information at

6. <u>Changes to Site and Terms of Use</u>

The City reserves the right to make changes to this Online Services Site, the Terms of Use and provide additional terms at any time without

7. <u>Disclaimer of Warranties and Conditions</u>

THE CONTENTS, PRODUCTS AND SERVICES ON THIS ONLINE SERVICES SITE AND YOUR USE OF THIS ONLINE SERVICES SITE ARE PROVIDED IN GOOD FAITH ON AN

THE CITY DISCLAIMS ALL WARRANTIES OR CONDITIONS, EXPRESS OR IMPLIED, WITH RESPECT TO THE CONTENTS, PRODUCTS AND SERVICES CONTAINED ON THIS

WHILE THE CITY TRIES TO ENSURE THE ACCURACY AND COMPLETENESS OF INFORMATION ON THIS ONLINE SERVICES SITE, IT DOES NOT GUARANTEE ITS ACCURA

8. <u>Privacy Statement and Collection of Personal Information</u>

Any information, including personal information, contained in a permit application submitted by using this site is being collected under th

9. <u>Alberta Law</u>

You agree to be bound by Alberta law when using this Online Services Site and agree that any court proceedings or other legal action will t

10. <u>No Damage or Modification of Site</u>

You agree that you will not take any action to damage, modify, or breach the security of this Online Services Site, or cause the Online Ser

11. <u>Site Ownership</u>

The contents of this Online Services Site are owned or licensed by The City. You may not copy, transfer, store, upload, distribute, publish

12. <u>Security of Account Information</u>

You are responsible for protecting the confidentiality of any account information, user names, logins, passwords, security questions and an

13. <u>Violation of Terms of Use</u>

Any rights you have to use this Online Services Site will terminate immediately upon any violation of these Online Services Terms of Use. T

14. <u>Copyright</u>

I acknowledge and understand that, as part of The City's process in reviewing, evaluating, and processing the permit application, The City

15. <u>Condominium Property</u>

If the application includes land that is common property or other land to which I am not the sole owner, I have all authorizations of those

# LETTER OF AUTHORIZATION

City of Calgary  
Planning, Development and Assessment  
P.O. Box 2100, Stn. M, #8108  
Calgary, AB, Canada T2P 2M5

To whom it may concern,

With regards to 1420-6 St NW \_\_\_\_\_  
property address project name (if applicable)

Please be advised that we, Terry Smith and Elizabeth Oberhofer are  
print full name print full name

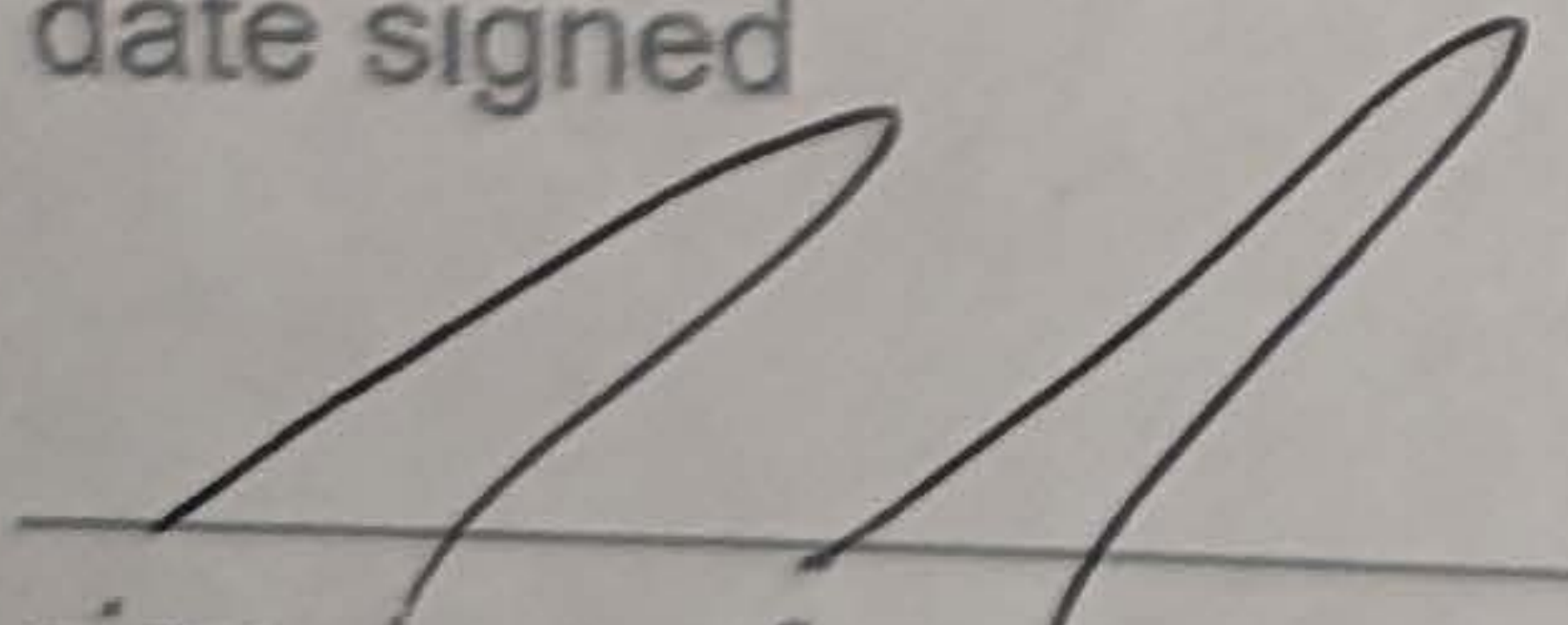
(select one)

- the owners of the above-mentioned property, and we authorize
- the officers or directors of the owner of the above-mentioned property, and that we are authorized by the owner to authorize

Ellergodt Design Inc to apply for any and all Development Permits for the above-mentioned property.

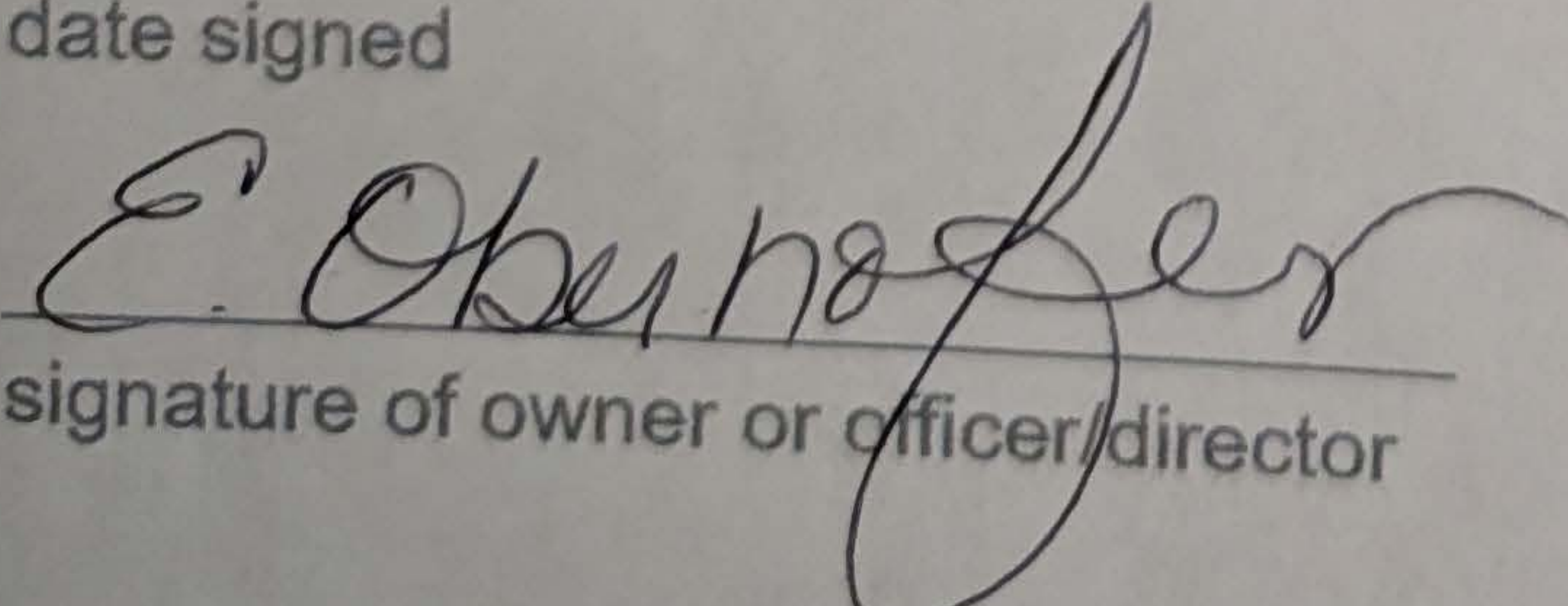
We further agree to immediately notify the City of Calgary, in writing, of any changes regarding the information above.

Feb 06, 2026  
date signed

  
signature of owner or officer/director

Terry Smith  
name of owner (printed)

Feb 06, 2026  
date signed

  
signature of owner or officer/director

Elizabeth Oberhofer  
name of owner (printed)

SITE PHOTOS – 1420 6<sup>th</sup> Street NW

Garage from SE corner



View North along alleyway



North Property Line



North neighboring property



House from Front – 1420 6<sup>th</sup> St NW



1416 6<sup>th</sup> St NW – 1<sup>st</sup> neighbor to south



1412 6<sup>th</sup> St NW – 2<sup>nd</sup> neighbor to south



1422 6<sup>th</sup> St NW – 1<sup>st</sup> Neighbor to North



1426 6<sup>th</sup> St NW – 2<sup>nd</sup> neighbor to North





## Abandoned Well Declaration

Application # \_\_\_\_\_  
for office use only

Site Address: 1420 6th St NW

Legal Description: Lot 31 & 32, Block 17, Plan 5299T

The *Municipal Government Act's Subdivision and Development Regulations (Alberta Regulation 160/2012)* requires developers to identify abandoned oil and gas wells and, where present, to comply with setback requirements as identified in the Energy Resources Conservation Board (ERCB) [Directive 079: Surface Development in Proximity to Abandoned Wells](#).

You are responsible for the accuracy of the information provided in this statement. The questions must be answered to the best of your knowledge based upon diligent inquiries and a thorough inspection and review.

- Provide a map of the subject parcel showing the presence or absence of abandoned wells.
  - [User Guide to Finding Abandoned Wells on GeoDiscover Alberta's Map Viewer](#)
  - [Abandoned Well Locations on GeoDiscover Alberta's Map Viewer](#)

**NOTE:** The map must show the actual well location, as identified in the field, including the surface coordinates (available on the Abandoned Well Map Viewer or by contacting the ERCB Customer Contact Centre at 1-855-297-8311) and the 5 metre setback established in [ERCB Directive 079](#) in relation to existing or proposed building sites.

- Are there abandoned Oil/Gas wells located within 5 m of the site?  Yes  No  
If you answered 'yes', please answer question 3 and include the well location(s) on the site plan.
- Have you contacted the licensee of the well(s) to confirm the exact location?  Yes  No  
If you answered 'yes', you must have written confirmation included with your application.

Licensee Company Name \_\_\_\_\_ Licensee Contact \_\_\_\_\_

**NOTE:** Where a well is identified, the Development Authority must refer a copy of the application to the Licensee(s) of Record. The referral will include the applicant's contact information.

- Who is submitting the Abandoned Well Declaration for this development?

Applicant  Owner  Builder  Other \_\_\_\_\_

Company Name Ellergodt Design Contact Person Jessica Willsie

Address 113 7A Street NE, Calgary AB

Phone \_\_\_\_\_ Cell Phone \_\_\_\_\_ Email \_\_\_\_\_

5. Will the development result in construction activity within the setback area?  Yes  No  
If you answered 'yes':

- Provide a statement confirming that the abandoned wells will be temporarily marked with on-site identification to prevent contact during construction; and
- Describe what measures will be taken to prevent contact during construction.

**NOTE:** This form is to be signed by the titled owner(s) of the property or their authorized agents or consultants.

*I, the  owner,  authorized agent,  authorized consultant, state that, to the best of my knowledge, the information provided in this statement is accurate, complete and is based on diligent inquiry and thorough inspection and review of all the documents and other information reasonably available pertaining to the subject property.*

Feb 13, 2026

\_\_\_\_\_  
Date

\_\_\_\_\_  
Applicant Signature

Jessica Willsie

\_\_\_\_\_  
Applicant Name (Please Print)

Ellergodt Design

\_\_\_\_\_  
Company Name (Please Print)

**FOIP DISCLAIMER:** The personal information on this form is being collected under the authority of The Freedom of Information and Protection of Privacy (FOIP) Act, Section 33(c). It will be used to provide operating programs, account services and to process payments received for said services. It may also be used to conduct ongoing evaluations of services received from Planning & Development. Please send inquiries by mail to the FOIP Program Administrator, Planning & Development, PO Box 2100, Station M, Calgary, AB T2P 2M5 or contact us by phone at 311.

Home Draw & Share Tool Labels X

Abandoned Wells

Filter Layers... Filter

- Operational Layers
  - Abandoned Wells
  - Cadastral and Land Ownership
  - Alberta Township System
  - Alberta Provincial Boundary
- Base Maps

14 AVENUE NORTHWEST

6A STREET NORTHWEST

6 STREET NORTHWEST

1420 6th St NW, Calgary, Alberta, T2M 3E6

World To... 0 20 40m

GeoDiscove... Layers Go To Addr... 316 1309



## Public Tree Disclosure Statement

The City of Calgary Street Bylaw (20M88) and the Tree Protection Bylaw (23M2002) protect trees growing on City (public) land. An approved Tree Protection Plan is required when construction activities occur within 6m of a public tree. More information regarding protecting trees during construction and development is found here. Public trees are required to be shown on plans submitted for this application.

1. Are there public trees on the City lands within six meters of and/or overhanging the development site?

Yes  No

If you answered **yes**, ensure all trees identified are shown on the submitted plans.

Note: if you are not sure how to determine which trees are yours and which are public, you can:

- Use the **City's tree map** (may not be up to date for your property)
- Contact 3-1-1 to put in a "development tree inquiry" to get confirmation from an Urban Forester
- Send inquiries to [tree.protection@calgary.ca](mailto:tree.protection@calgary.ca)

2. Who will be submitting the Tree Protection Plan for this development?

Applicant  Owner  Builder  Other:

If Other: Name: \_\_\_\_\_

Phone: \_\_\_\_\_

Email: \_\_\_\_\_

The Tree Protection Plan must be submitted directly to Urban Forestry at [tree.protection@calgary.ca](mailto:tree.protection@calgary.ca) following the **Tree Protection Plan Guidelines**.

FOIP DISCLAIMER: The personal information on this form is being collected under the authority of The Freedom of Information and Protection of Privacy (FOIP) Act, Section 33(c). It will be used to provide operating programs, account services and to process payments received for said services. It may also be used to conduct ongoing evaluations of services received from Planning, Development & Assessment. Please send inquiries by mail to the FOIP Program Administrator, Planning, Development & Assessment, PO Box 2100, Station M, Calgary, AB T2P 2M5 or contact us by phone at 311.



### Site Contamination Statement

Application # \_\_\_\_\_  
for office use only

Site Address: 1420 6th Street NW, Calgary

Legal Description: Lots 31 & 32, Block 17, Plan 5299T

The information provided in this disclosure statement will assist the Development, Land Use and Subdivision Authorities in processing planning applications. The Authorities rely on the information provided in this statement to assist in determining the potential for site contamination, which may have been caused by current or historic activities.

You are responsible for the accuracy of the information provided in this statement. The questions must be answered to the best of your knowledge based upon diligent inquiry and the thorough inspection and review of all documents and other information pertaining to the subject property. **Please be aware that further site assessments may be required as part of the review of your application.**

- 1. Are you aware of any environmental investigations (audits, assessments, tests, surveys or studies) for this site?  Yes  No

If yes, please provide copy(s).

- 2. Are you aware of any environmental requirements associated with any previous planning applications on this site?  Yes  No  
(i.e. development permit, land use redesign or subdivision)

If yes please provided a brief description and the associated development application number(s):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- 3. Has there been site remediation or a request for such on the site?  Yes  No

If yes, please provide a brief description:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

4. Are you aware of any regulatory actions, past or current, which have been applied to this site?  Yes  No

Examples include (but are not limited to):

- Environmental Protection Orders
- Reclamation Orders or Certificates
- Control / Stop Orders, fines, tickets or prosecutions
- Violations of environmental statutes, regulations and bylaws
- Administrative penalties and warning letters

If yes, please describe and provide copies of relevant documents:

---



---

5. Have any permits been issued or are you currently operating under a license or approval issued by federal or provincial authorities (including, but not limited to the Natural Resources Conservation Board, Energy Resources Conservation Board, Alberta Energy Regulator, Alberta Energy and Utilities Board, Alberta Utilities Commission, Minister of Environment and Parks) or the Calgary Fire Department for activities which may impact the property? (e.g. certificates of approval, storage tank regulations, plant operating permits)  Yes  No

If yes, please describe:

---



---

6. Has there been contact with Alberta Environment or Calgary Regional Health Authority regarding possible contamination on the site?  Yes  No

If yes, please provided a brief description:

---



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**NOTE:** This form is to be signed by the titled owner(s) of the property or their authorized agents or consultants.

***I, the  owner,  authorized agent,  authorized consultant, state that, to the best of my knowledge, the information provided in this statement is accurate, complete and is based on diligent inquiry and thorough inspection and review of all the documents and other information reasonably available pertaining to the subject property. I am not aware of any other information that may indicate that the subject property is potentially contaminated.***

Feb 13, 2026  
 \_\_\_\_\_  
 Date

\_\_\_\_\_  
 Applicant Signature

Jessica Willisie  
 \_\_\_\_\_  
 Applicant Name (Please Print)

Ellergodt Design  
 \_\_\_\_\_  
 Company Name (Please Print)

**FOIP DISCLAIMER:** The personal information on this form is being collected under the authority of The Freedom of Information and Protection of Privacy (FOIP) Act, Section 33(c). It will be used to provide operating programs, account services and to process payments received for said services. It may also be used to conduct ongoing evaluations of services received from Planning, Development & Assessment. Please send inquiries by mail to the FOIP Program Administrator, Planning, Development & Assessment, PO Box 2100, Station M, Calgary, AB T2P 2M5 or contact us by phone at 311.



April 1, 2026

ELLERGODT DESIGN  
Willsie, Jessica



Dear Applicant:

**RE: Detailed Review (DR)**

**Development Permit Number: DP2026-00795**

Based on the plans received, your application has been reviewed in order to determine compliance with the Land Use Bylaw and applicable City policies. Any variance from the Land Use Bylaw or City policies may require further discussion or revision prior to a decision being rendered.

The City endeavors to render decisions on applications within specific service standards. Please assist us in meeting these targets by ensuring your resubmission is complete and made in a timely manner. Please submit a digital set of the amended plan, in PDF format, along with a detailed response letter on how each of the Prior to Decision and/or Prior to Release conditions have been addressed and/or resolved.

This information must be received, in its entirety, no later than May 1, 2026. If a complete submission is not received by this date, the development permit may be inactivated and subject to a reactivation fee. If the development permit application is not reactivated, it may be cancelled by Administration as per Land Use Bylaw 1P2007, Section 41.1. If you require additional time to respond to the conditions outlined in this Detailed Review document, please let me know by contacting me.

Should you have any questions or concerns, please contact me at (368) 886-9634 or by email at [Hayley.Pusch@calgary.ca](mailto:Hayley.Pusch@calgary.ca).

Sincerely,

**HAYLEY PUSCH**  
Senior Planning Technician



## Detailed Review 1 – Development Permit

<b>Application Number:</b>	<b>DP2026-00795</b>
<b>Application Description:</b>	New: Accessory Residential Building (garage), Backyard Suite (above garage)
<b>Land Use District:</b>	Residential - Grade-Oriented Infill
<b>Use Type:</b>	Discretionary
<b>Site Address:</b>	1420 6 ST NW
<b>Community:</b>	ROSEDALE
<b>Applicant:</b>	ELLERGODT DESIGN
<b>Date DR Sent:</b>	April 1, 2026
<b>Response Due Date:</b>	May 1, 2026
<b>Planning:</b>	HAYLEY PUSCH (368) 886-9634 Hayley.Pusch@calgary.ca

## General Comments

The proposed Development is an Accessory Residential Building with a carport on the main level and a Backyard Suite on the second level with the second level having a reduced footprint. Based on the bylaw relaxations and comments that were received during the circulation and notice posting period, the following amendments are required.

## Comments on Relevant City Policies

- Balconies (should face onto the street, the lane, or into the yard that contains the suite. Direct sides views should be avoided and may be screened using privacy walls. \*privacy well to be constructed along the south side of the balcony\*
- Height and Massing (transitioned from adjacent parcel, facades should be articulated, rooflines should be articulated, all to reduce the appearance of height) Building has articulation from stacking. \*overall building height relaxation not supported\*

<b>Bylaw Discrepancies</b>		
<b>Regulation</b>	<b>Standard</b>	<b>Provided</b>
340 Balconies	(2) Unless otherwise referenced in this Part, the floor area of a recessed balcony must not exceed 10.0m <sup>2</sup>	Plans indicate the balcony as being 10.38m <sup>2</sup> (+0.38m <sup>2</sup> ). <b>Relaxation not supported</b> <b>Amended plans required</b>

Track your application on-line with VISTA. Go to: [www.calgary.ca/vista](http://www.calgary.ca/vista) and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

345 Accessory Residential Building	(6) The height of an Accessory Residential Building must not exceed: (b) 3.0m at any eaveline, when measured from the finished floor of the building;	Plans indicate the height as being 3.18m (+0.18m). <b>Relaxation could be supported if overall building height complies with the bylaw.</b>
352 Backyard Suite	(4) Unless otherwise referenced in subsection (4.1), the maximum building height for a Backyard Suite is 7.5m.	Plans indicate the height as being 7.74m (+0.24m). <b>Relaxation not supported</b> <b>Amended plans required</b>
352 Backyard Suite	(4.1) The maximum building height for a Backyard Suite is: (a) 5.0m measured from grade at a side property line shared with a parcel designated with a low density residential district; (c) increases at a 45 degree angle to a maximum of 7.5m at a proportional distance from the shared property line.	Plans indicate the north portion of the backyard suite as being within the height chamfer. <b>Relaxation supported</b>
352 Backyard Suite	(8) A Backyard Suite may include a balcony where the balcony: (a) projects from a façade that faces a property line shared with a lane or a street; or (b) includes a privacy wall that screens the balcony from a property line shared with a parcel designated with low density residential district where: (i) the balcony is setback less than 4.0m from the shared property line; and (ii) the privacy wall is a minimum of 2.0m in height and a maximum of 3.0m in height.	Plans indicate the balcony as facing the south adjacent property with no privacy wall provided. <b>Relaxation not supported</b> <b>Amended plans required</b> Privacy wall should be placed along the entire length of the balcony on the south side

## Prior to Decision Requirements

The following issues must be addressed by the Applicant through a written submission and amended plans prior to a decision by the Approving Authority:

### Planning

Track your application on-line with VISTA. Go to: [www.calgary.ca/vista](http://www.calgary.ca/vista) and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

1. Submit a complete set of the amended plans, by email in PDF format, to the Senior Planning Technician. The submitted plans must address the requirements listed in this document. Ensure that all plans affected by the revisions are amended accordingly.
2. The development, as proposed, is not supported for the following reasons:
  - Reference issues/rationale elsewhere in the Detailed Review, including policy section and Prior to Decision issues.

Indicate, in writing, the manner in which the application will proceed:

(A) Request **cancellation** of the application. Any applicable fee refund will be determined at the time of cancellation.

(B) **Pursue** the application, as proposed, with a decision of refusal by the Development Authority. The refusal will be based on the comments listed above.

OR

(C) **Amend** the application to address all prior to decision conditions of this detailed review (DR).

If option (C) is pursued, the last day to respond to the detailed review is thirty days from the date the detailed review was issued (see cover page of detailed review for exact date).



Part 4 A to Z Use and Use Rules			D.P. # 2026-00795			
Section / Use	Type	Requirements	Evaluation			
153.1 Backyard Suite	Compulsory	(iii) is located in a detached building located behind the front façade of the main residential building;	C	N/C	N/A	N/I
		(vi) Must not be located on the same parcel or bare land unit as either a Rowhouse Building or a Townhouse use;	C	N/C	N/A	N/I

Page 4		Residential - Grade-Oriented Infill (R-CG) District				D.P. # 2026-00795			
Rule	Requirements				Notes		Evaluation		
							Provided/Variance		
Secondary Suites	If applicable please refer to Secondary Suites Form						See Attached	N/A	N/I
337 Projections Into Side Setback Area	(5) Landings, ramps other than wheelchair ramps and stairs may project in a side setback area provided:	(a) they provide access to the main floor or lower level of the building;			C	N/C	N/A	N/I	
		(b) the area of a landing does not exceed 2.5m <sup>2</sup>			1.86		-0.64		
		(c) the area of any portion of a landing that projects into the side setback area does not exceed 1.8m <sup>2</sup>			1.63		-0.17		
		(d) they are not located in a 3.0m side setback area required on a laneless parcel; and			C	N/C	N/A	N/I	
		(e) they are not located in a side setback area required to be clear of projections, unless pedestrian access from the front to the rear			C	N/C	N/A	N/I	
340 Balconies	(1) Unless otherwise referenced in this Part, an open balcony must not project more than 1.85m from the building façade to which it is attached.			n/a					
	(2) Unless otherwise referenced in this Part, the floor area of a recessed balcony must not exceed 10.0m <sup>2</sup>			10.38		0.38			
	(2.1) Unless otherwise referenced in this Part, a privacy wall located on a balcony:	(a) must not exceed 3.0m in height when measured from the surface of the balcony; and			n/a				
(b) must not be located between the foremost front façade of the main residential building and front property line.			C	N/C	N/A	N/I			
339.1 Porches <i>(must meet all requirements to be exempt)</i>	In a Developed Area, a porch is exempt from parcel coverage where:	(a) the porch is located between the façade of the main residential building and:	(i) the front property line; or		C	N/C	N/A	N/I	
			(ii) the side property line on the street side of a corner parcel;		C	N/C	N/A	N/I	
		(b) the porch is unenclosed on a minimum of two sides, other than by a railing, balustrade, or privacy walls located on porches between attached units when the porch is at or exceeds the contextual front setback; and			C	N/C	N/A	N/I	
		(c) there is no enclosed floor area or balcony located directly above the roof of the porch.			C	N/C	N/A	N/I	
534 Parcel Coverage	(2) Unless otherwise referenced in subsection (3), the maximum cumulative building coverage over all the parcels subject to a single development permit containing a Contextual Semi-Detached Dwelling, Contextual Single Detached Dwelling, Cottage Housing Cluster, Rowhouse Building, Semi-Detached Dwelling, Single Detached Dwelling or Townhouse is:	(a) 45.0% of the area of the parcels subject to a single development permit for a development with a density of less than 40 units per hectare;			Applies		Does Not Apply		
		(b) 50.0% of the area of the parcels subject to a single development permit for a development with a density 40 units per hectare or greater and less than 50 units per hectare;			Applies		Does Not Apply		
		(c) 55.0% of the area of the parcels subject to a single development permit for a development with a density of 50 units per hectare or greater and less than 60 units per hectare; or			Applies		Does Not Apply		
		(d) 60.0% of the area of the parcels subject to a single development permit for a development with a density of 60 units per hectare or greater.			Applies		Does Not Apply		
	(3) The maximum parcel coverage referenced in subsections (1) and (2), must be reduced by:	(a) 21.0m <sup>2</sup> where one motor vehicle parking stall is required on a parcel that is not located in a private garage; and			Applies		Does Not Apply		
		(b) 19.0m <sup>2</sup> for each required motor vehicle parking stall that is not located in a private garage where more than one motor vehicle parking stall is required on a parcel.			Applies		Does Not Apply		
	(4) For all other uses, the maximum parcel coverage is 45.0%			Applies		Does Not Apply			
Determine correct percentage of parcel coverage and input values below					%		%		
45.0%	1	Number of Units							
	417.94	Parcel Area (m <sup>2</sup> )	minus		188.07		43.07%	-1.93%	
		Required Stalls	=		Max. Coverage				
Parcel Coverage Totals							m <sup>2</sup>	m <sup>2</sup>	

	House	Proj. > 1.0m	Garage(s)	Other	Total	m	m
	81.54	24.71	73.76		180.01	180.01	-8.06
<b>Accessory Building</b>	If applicable please refer to Accessory Residential Building Form					See Attached	N/A N/I
<b>341 Driveways</b>	(3) A driveway connecting a lane to a private garage must be a min of 0.60m in length along the intended direction of travel for vehicles, measured from the property line shared with the lane to the door of a private garage.					2.32	1.72
<b>546 Motor Vehicle Parking Stalls</b>	(1) The minimum number of motor vehicle parking stalls is calculated based on the sum of all units and suites at a rate of 1.0 stalls per unit or suite.				<b>Community (select below)</b>		
					ROSEDALE		
	(2) Notwithstanding subsection (1), the minimum number of motor vehicle parking stalls is calculated based on the sum of all units and suites at a rate of 0.5 stalls per unit or suite for the area listed in Table 2.1 below.				Parking Rate: 0.50 Stall per Unit & Suite		
	2	Number of Units & Suites				3	2
		Stalls Within a Private Garage		3			
		Stalls provided on Parking Pad		0			
<b>546.2 Bicycle Parking Stalls</b>	(2) Notwithstanding subsection (1), there is no requirement for a bicycle parking stall – class 1 for parcels with two or less Dwelling Units.					Applies	N/A N/I
<b>122 Standards for Motor Vehicle Parking Stalls</b>	(3) The minimum depth of a motor vehicle parking stall is 5.9m where it is required for: (a) a Contextual Single Detached Dwelling, Duplex Dwelling, Secondary Suite, Semi-detached Dwelling or Single Detached Dwelling					C	N/C N/A N/I
	(4) The minimum width of a motor vehicle parking stall required for a Dwelling Unit is: (a) 3.0m where both sides of a stall abut a physical barrier; (b) 2.85m where one side of a stall abuts a physical barrier; and (c) 2.5m in all other					C	N/C N/A N/I
	(15) Motor vehicle parking stalls for a Backyard Suite, Contextual Semi-detached Dwelling, Contextual Single Detached Dwelling, Duplex Dwelling, Secondary Suite, Semi-detached Dwelling and Single Detached Dwelling must be: (a) hard surfaced; and (b) located wholly on the subject parcel.					C	N/C N/A N/I

Page 7		Accessory Residential Building			D.P. # 2026-00795				
Rule	Requirements			Notes	Evaluation				
					Provided/Variance				
345 Accessory Residential Building	(1) The min. building setback for an Accessory Residential Building is::	(a) 1.2m from a side or rear property line shared with a street; or			n/a				
		(b) 0.6m from a side or rear property line in all other cases.			1.29	0.69			
	(2) The min. building setback for an Accessory Residential Building that does not share a side or rear property line with a street may be reduced to zero m when:	(a) the Accessory Residential Building is less than 10.0m <sup>2</sup>			C	N/C	N/A	N/I	
		(b) the wall of the Accessory Residential Building is constructed of maintenance-free materials and there is no overhang of eaves onto an adjacent parcel; or			C	N/C	N/A	N/I	
		(c) the owner of the adjacent parcel grants a 1.5m private maintenance easement that must:	(i) be registered against the title of the parcel proposed for development and the title of the adjacent parcel; and			C	N/C	N/A	N/I
			(ii) include a 0.60m eave and footing encroachment easement.			C	N/C	N/A	N/I
	(3) An Accessory Residential Building must not be located in the actual front setback area.				C	N/C	N/A	N/I	
	(4) A private garage on laneless parcel may be located in required 3.0m side setback, except along street side of a corner parcel.				C	N/C	N/A	N/I	
	(5) The min. distance between any façade of an Accessory Residential Building 10.0m <sup>2</sup> or more and a main residential building or a building containing a Secondary Suite is 1.0m				C	N/C	N/A	N/I	
	(6) The height of an Accessory Residential Building must not exceed:	(a) 4.6m, measured from the finished floor of the building;			n/a				
		(b) 3.0m at any eaveline, when measured from the finished floor of the building; or			3.18	0.18			
		(c) one storey,			C	N/C	N/A	N/I	
		(c) one storey, which may include an attic space that:	(i) is accessed by a removable ladder;			C	N/C	N/A	N/I
(ii) does not have windows;				C	N/C	N/A	N/I		
(iv) has a max. height of 1.5m from the attic floor to the underside of any rafter.				n/a					
346 Restrictions on Use of Accessory Residential Building	(1) The finished floor of an Accessory Residential Building, other than a private garage, must not exceed 0.6m above grade.				C	N/C	N/A	N/I	
	(2) An Accessory Residential Building must not be used as a Dwelling Unit, unless a Backyard Suite has been approved.				C	N/C	N/A	N/I	
	(3) An Accessory Residential Building must not have a balcony or rooftop deck.				C	N/C	N/A	N/I	
	(4) The area of a parcel covered by all Accessory Residential Buildings located on a parcel:	(a) must not exceed the less of:		(i) the building coverage of the main residential buildings; or		C	N/C	N/A	N/I
				(ii) 75.0m <sup>2</sup> for each Dwelling Unit located on the parcel; and	Unit 1	60.02	-14.98		
Unit 2									
Unit 3									
	1	# of Units	≥ Unit 4						

Page 8		Backyard Suite				D.P. # 2026-00795				
Rule	Requirements					Evaluation				
						Notes		Provided/Variance		
<b>Note: Remember to check any applicable district rules</b>										
352 Backyard Suite	(1) For a Backyard Suite, the minimum building setback from a rear property line is:		(a) 1.5m for any portion of the building used as a Backyard Suite; and					2.32		0.82
			(b) 0.6m for any portion of the building used as a private garage.					2.32		1.72
	(2) Unless otherwise specified in the district, for a Backyard Suite, the minimum building setback from a side property line is 1.2m for any portion of the building used as a Backyard Suite.							1.29		0.09
								1.32		0.12
	<b>Note: If zero lot line subdivision and side setback is deficient, add the following note to the discrepancy sheet:</b> <i>FM To check MARW to confirm if Backyard Suites are listed within. If so, then the district 0.00m setback can apply.</i>									
	(3) Unless otherwise referenced in subsections (3.1) and (3.2), a minimum separation of 5.0m is required between the closest facade of the main residential building to the closest facade of a Backyard Suite.							7.16		2.16
	(3.1) The minimum facade separation in subsection (3) may be reduced to 1.5m where amenity space is provided at grade that:							n/a		
		(a) is adjacent to the main residential building and the Backyard Suite; and					C	N/C	N/A	N/I
		(b) has no dimension less than 5.0m.					n/a			
337 Projections Into Side Setback Area	(8) Any portion of a building that projects into a side setback area, other than eaves, landings, window wells, ramps and stairs, must not be located closer than 0.9m from the nearest front facade.							n/a		
337 Projections Into Side Setback Area	(1.1) Portions of a building greater than or equal to 2.4m above grade may project a max of 0.6m into any side setback area.							n/a		
	(1.2) Portions of a building less than 2.4m above grade may project a maximum of 0.6m,							n/a		
335 Length of Portions of a Building in Setback Areas (Side)	(1) On each storey, the total combined length of all projections into any setback area must not exceed 40% of the length of the facade <i>(Does not apply to decks, eaves, porches, ramps, and stairs)</i>		PROVIDE LENGTH AND % VALUES			%	Length	%	Length	
	1st st		X 40% =		n/a					
	2nd st		X 40% =							
	__st		X 40% =							
	__st		X 40% =							
(2) The max. length of an individual projection into any setback area is 3.1m <i>(Includes Window Wells)</i>							n/a			
(3.2)(a) Where portions of a Backyard Suite meet the requirements of subsection (b) these portions may project:	(i) into a setback area from a property line shared with a street or a lane to a minimum building setback of 0.6m from the shared property line; and							n/a		
	(ii) 0.6m into a minimum separation area required in subsection (3) or the amenity space required in subsection (3.1);							n/a		
	(i) not exceed 40% of the length of the facade on each storey for the total combined length of all projections;					%	Length	%	Length	
	1st st		X 40% =		n/a					
	2nd st		X 40% =							
	__st		X 40% =							
	(ii) each contain a window; and					C	N/C	N/A	N/I	
(iii) each have a maximum length of 3.1m							n/a			
(4) Unless otherwise referenced in subsection (4.1), the maximum building height for a Backyard Suite is 7.5m.							7.74		0.24	

352 Backyard Suite	(a) 5.0m measured from grade at a side property line shared with a parcel designated with a low density residential district;	(c) increases at a 45 degree angle to a maximum of 7.5m at a proportional distance from the shared property line.	North	C	N/C	N/A	N/I
	(b) 3.0m measured from grade at a rear property line shared with a parcel designated with a low density residential district; and		C	N/C	N/A	N/I	
	(5) The maximum floor area of a Backyard Suite, excluding any area covered by stairways and internal landings not exceeding 2.5m <sup>2</sup> , is 75m <sup>2</sup> .			44.85		-30.15	
	(6) The maximum floor area of a Backyard Suite may be relaxed by the Development Authority to a maximum of 10.0%.			Compliant		-37.65	
						-40.20%	
	(8) A Backyard Suite may include a balcony where the balcony:	(a) projects from a façade that faces a property line shared with a lane or a street; or			C	N/C	N/A
(b) includes a privacy wall that screens the balcony from a property line shared with a parcel designated with low density residential district where:		(i) the balcony is setback less than 4.0m from the shared property line; and					
		(ii) the privacy wall is a minimum of 2.0m in height and a maximum of 3.0m in height.		C	N/C	N/A	N/I
(9) A balcony attached to a Backyard Suite may project into a required setback area from a property line shared with a street or a lane to a minimum setback of 0.6m from the property line.			n/a				
354 Accessory Suite - Density	(1) There must not be more than one Backyard Suite located on a parcel, except in the R-CG and R-2M Districts where one Backyard Suite may be located on any bare land unit.			C	N/C	N/A	N/I
	(1.1) There must not be more than one Secondary Suite contained within a Dwelling Unit.			C	N/C	N/A	N/I
	(3) A Secondary Suite or a Backyard Suite must not be separated from the main residential use on a parcel by the registration of a condominium or subdivision plan.			C	N/C	N/A	N/I
Additional Notes							

FILE: DP2026-00795

DATE RECEIVED: February 13 2026

<b>Bylaw Discrepancies</b>		
<b>Regulation</b>	<b>Standard</b>	<b>Provided</b>
340 Balconies	(2) Unless otherwise referenced in this Part, the floor area of a recessed balcony must not exceed 10.0m <sup>2</sup>	Plans indicate the balcony as being 10.38m <sup>2</sup> (+0.38m <sup>2</sup> ).
345 Accessory Residential Building	(6) The height of an Accessory Residential Building must not exceed: (b) 3.0m at any eaveline, when measured from the finished floor of the building;	Plans indicate the height as being 3.18m (+0.18m).
352 Backyard Suite	(4) Unless otherwise referenced in subsection (4.1), the maximum building height for a Backyard Suite is 7.5m.	Plans indicate the height as being 7.74m (+0.24m).
352 Backyard Suite	(4.1) The maximum building height for a Backyard Suite is: (a) 5.0m measured from grade at a side property line shared with a parcel designated with a low density residential district; (c) increases at a 45 degree angle to a maximum of 7.5m at a proportional distance from the shared property line.	Plans indicate the north portion of the backyard suite as being within the height chamfer.
352 Backyard Suite	(8) A Backyard Suite may include a balcony where the balcony: (a) projects from a façade that faces a property line shared with a lane or a street; or (b) includes a privacy wall that screens the balcony from a property line shared with a parcel designated with low density residential district where: (i) the balcony is setback less than 4.0m from the shared property line; and (ii) the privacy wall is a minimum of 2.0m in height and a maximum of 3.0m in height.	Plans indicate the balcony as facing the south adjacent property with no privacy wall provided.
<b>Permitted Contextual Use Rules</b>		
<b>Regulation</b>	<b>Standard</b>	<b>Provided</b>
N/A		

**Knee, Judy**

---

**From:** Hayley.Pusch@calgary.ca  
**Sent:** Friday, February 27, 2026 4:11 PM  
**To:** [REDACTED]  
**Cc:**  
**Subject:** DP2026-00795 COMPLETE APPLICATION 1420 6 ST NW



**Re: DP2026-00795 COMPLETENESS REVIEW - 1420 6 ST NW**

---

Dear Applicant,

I am the file manager who will be leading the review of your development permit application.

A review of your application has been undertaken and it has been determined that your application is a complete application. A comprehensive review is now underway. The comprehensive review may include notice posting and consultation with affected parties to gather planning information relevant to your application.

For more information about the development permit process please visit [www.calgary.ca/dpprocess](http://www.calgary.ca/dpprocess).

Please track your application, using your Job Access Code (JAC) DP2026-00795-36517, at [www.calgary.ca/vista](http://www.calgary.ca/vista).

Should you have any questions or concerns, please contact me at your convenience.

Regards,

HAYLEY PUSCH  
Senior Planning Technician  
Hayley.Pusch@calgary.ca  
(368) 886-9634  
[www.calgary.ca/PDMap](http://www.calgary.ca/PDMap)

**Knee, Judy**

---

**From:** Heather Seabrook [REDACTED]  
**Sent:** Monday, April 20, 2026 7:24 PM  
**To:** Pusch, Hayley E.  
**Cc:** Trevor Borden  
**Subject:** Re: [External] Fwd: DP2026-00795, 1420 6 Street NW

**This Message Is From an External Sender**

This message came from outside your organization.

ATTENTION: Do not click links or open attachments from external senders unless you are certain it is safe to do so. Please forward suspicious/concerning email to [spam@calgary.ca](mailto:spam@calgary.ca)

[Report Suspicious](#)

Thank you, Hayley!

I appreciate your response to the questions. This helps us understand what has happened so far, what may happen next, and how to prepare.

Thank you,

Heather Seabrook

Sent from my mobile device.

On Mon, Apr 20, 2026 at 2:04 PM Pusch, Hayley E. <[Hayley.Pusch@calgary.ca](mailto:Hayley.Pusch@calgary.ca)> wrote:

Hello,

1. We are unclear about the DP process. Was the proposed design for DP2026-00795 vetted following some criteria before being posted? We are unclear whether our input is informing an initial review, or whether this part of a secondary review. **Feedback we receive during the notice posting period is taken into consideration prior to a decision being rendered. We do a rough initial review for bylaw compliance and wait to see if any comments are received during the notice posting period which concluded on March 26, 2026.**
2. What are possible outcomes of this phase of the development process? We're wondering whether it is either accepted or declined, or whether there are other options. **Right now a decision has not been rendered, as there are some changes that need to be made. If approved, the general public can appeal a decision through the Subdivision and Appeal Board. You can track the status of the permit through [developmentmap.calgary.ca](http://developmentmap.calgary.ca)**

3. We read about the Calgary Subdivision and Development Appeal Board and read the materials on their webpage. (a) It refers to a decision of the "development authority." Is that you? As "persons affected," we would appeal any design that does not follow the City of Calgary Guidelines for Backyard Suites, attached. (b) The website does not provide advice about the process for persons affected. Are there further City of Calgary resources to guide us through this process, or is the expectation (or typical approach) to seek advice from other professionals? **The development authority is my supervisor whom I submit the permit to for decision. I recently went through an appeal myself and I called the Subdivision and Appeal Board phone number and they were very helpful explaining the process and what I need to have submitted for the appeal. They are completely separate from us so it would be best to contact them directly with your questions on appeals. Here is the website: [Contact us](#)**

For more information on your Development Permit including timelines, please visit [Development permit process](#)

To track your application, visit [Planning, Development & Assessment Application Online Search - Login](#) and enter the JAC number provided to you at intake.

**Hayley Pusch, AT**

Senior Planning Technician  
Development & Subdivision Application Services

Planning & Development  
The City of Calgary | Mail Code #8094

T 368.886.9634  
[Hayley.Pusch@calgary.ca](mailto:Hayley.Pusch@calgary.ca)

---

**From:** Heather Seabrook [REDACTED]  
**Sent:** Thursday, April 9, 2026 10:12 PM  
**To:** Pusch, Hayley E. <[Hayley.Pusch@calgary.ca](mailto:Hayley.Pusch@calgary.ca)>  
**Cc:** Trevor Borden <[bordent@telus.net](mailto:bordent@telus.net)>; Heather Seabrook <[hseabroo@telus.net](mailto:hseabroo@telus.net)>  
**Subject:** [External] Fwd: DP2026-00795, 1420 6 Street NW

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Report Suspicious

Dear Hayley Pusch,

This note is a follow-up to my voice messages from April 1 and April 9. I would have some questions about DP2026-00795 at 1420 6 Street NW. As I mentioned in my voice message, I am sending the questions by email in advance to facilitate the discussion. Here are the questions:

1. We are unclear about the DP process. Was the proposed design for DP2026-00795 vetted following some criteria before being posted? We are unclear whether our input is informing an initial review, or whether this part of a secondary review.
2. What are possible outcomes of this phase of the development process? We're wondering whether it is either accepted or declined, or whether there are other options.
3. We read about the Calgary Subdivision and Development Appeal Board and read the materials on their webpage. (a) It refers to a decision of the "development authority." Is that you? As "persons affected," we would appeal any design that does not follow the City of Calgary Guidelines for Backyard Suites, attached. (b) The website does not provide advice about the process for persons affected. Are there further City of Calgary resources to guide us through this process, or is the expectation (or typical approach) to seek advice from other professionals?

I will follow up with a phone call on Friday, April 10.

Thank you,

Heather Seabrook



1416 - 6 Street NW

----- Forwarded message -----

From: **Heather Seabrook** <[redacted]>  
 Date: Sat, Mar 28, 2026, 3:05 p.m.  
 Subject: DP2026-00795, 1420 6 Street NW  
 To: [hayley.pusch@calgary.ca](mailto:hayley.pusch@calgary.ca) <[hayley.pusch@calgary.ca](mailto:hayley.pusch@calgary.ca)>  
 Cc: Trevor Borden [redacted]

Dear Hayley Pusch,

I am writing to provide additional information about our opposition to DP2026-00795. I live in the south adjoining property to the proposed development, at 1416 6 Street NW. Since submitting our initial response, we were made aware of the Backyard Suites How-to guide available at [calgary.ca](http://calgary.ca). In our online submission we suggested improvements to the design to decrease the impact on our privacy based on our limited knowledge and experience. The guidelines, not surprisingly, provide clearer guidance, specifically:

- " Windows should generally be placed to **provide views to the street, the lane or into the yard shared with the primary residence.**"
- " Some windows on the side facade will be supported to break up the visual mass of the wall where the **windows are obscured or placed higher in wall to prevent direct overlooking.**"
- " **Balconies should face onto the street, the lane or into the yard that contains the suite. Direct side views of neighbouring yards should be avoided** and may be screened using privacy walls or trees."

The proposed design goes directly against these guidelines by:

- placing large windows with direct, unscreened views facing our yard
- placing a balcony directly overlooking our yard.

The design fails to follow other guidelines, such as those that would allow more south light into the neighbouring property to the north. This could be remedied by moving the carport to the north side.

Following the design guidelines would reduce negative impacts on neighbours, which would result in better outcomes overall. This is why we have guidelines and regulations.

The designer of the proposed development has these guidelines on their website, so they are aware of them. I am stunned that the proposal fails to apply them.

I will follow up soon with a phone call so that we can understand any further steps needed to oppose the design of this proposed development.

Thank you,

Heather Seabrook



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Heather Seabrook

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## Comment Summary



Permit #: DP2026-00795  
 Address: 1420 6 ST NW  
 Job Description: New: Accessory Residential Building (garage), Backyard Suite (above garage)

---

Name: Graham Loudon-Khan  
 Phone: [REDACTED]  
 Address: 101-631-17 Ave NW Calgary AB T2M 0N6  
 Overall: In support of this application

Created Date: March 7, 2026  
 Number: 656115407

### Area of Concern

Environmental preservation  
 Site layout

### General Comment

I am in support of this proposed development. It will provide needed densification while not significantly changing the look of the neighbourhood. This is exactly the kind of development we need in older, established neighbourhoods.

### Attachments

---

Name: Rosedale Development Permit Committee  
 Phone: [REDACTED] 2  
 Email: development@myrosedale.info  
 Address: 901 11 Ave NW, Calgary, AB T2M 0C2  
 Overall: Neither in support nor in opposition of this application

Created Date: March 16, 2026  
 Circulation Referee: N  
 Number: 657882796

### Area of Concern

Building (massing, façade, height, shadowing, etc.)  
 Privacy considerations

### General Comment

The Community Association has received concerns from the immediately adjacent property owner to the south regarding potential privacy impacts associated with the proposed garage suite.

The neighbour notes that the second-storey balcony and south- and west-facing windows may create direct sightlines into bedroom windows and a private garden area on the adjacent property. Given the close spacing of the lots in this area, the Community Association believes these concerns warrant consideration.

To mitigate potential overlooking, the Community Association encourages the applicant to consider removing the second-storey balcony, providing a full-height privacy wall above the carport on the west side, relocating south-facing windows east of that wall, and using obscured glazing in the west-facing window.

The Community Association encourages dialogue between the applicant and the neighbouring property owner to address these privacy concerns.

**Attachments**

Name:	Trevor Borden, Heather Seabrook	Created Date:	March 16, 2026
Phone:	[REDACTED]		[REDACTED]
	[REDACTED]	Number:	658070907
Address:	1416 6th Street NW		
Overall:	In opposition of this application		

**Area of Concern**

Privacy considerations

**General Comment**

Re: DP2026-00795 1420 6 Street NW. Our home is the south adjacent property to this application, consequently, we are a key stakeholder in the proposed development. However, we were not consulted about the proposed development. The owner/developer advised us to use this portal to communicate our concerns about the design.

The design of the suite above the proposed garage will significantly impact our privacy and consequently the use, enjoyment, and value of our home. We request the design be improved to mitigate these significant impacts on our privacy by (a) removing the second-story balcony, (b) replacing the partial wall above the carport with a full height wall at the west of the carport that is the full width of the carport, (c) putting all south-facing windows east of the privacy wall, and (d) installing obscured glass in the west-facing window. We suggest replacing most of the south-facing windows with skylights to future-proof the design from the inevitable replacement of our small, old garage with a larger structure.

Built in 1925, our bungalow is a beautiful, well-maintained home within a designated heritage area. To enjoy and preserve the small space, we added large, east-facing windows to both bedrooms and the basement office. One bedroom has a popular window seat. These large windows look out to a professionally designed garden, which is a treasured, personal space. The proposed development includes windows and a balcony with direct views into our bedrooms. The balcony looks down onto our garden. Others in the neighbourhood shared that balconies are a major cause of loss of privacy and prevent enjoyment of the garden. The proposed design results in substantial losses of privacy, use, enjoyment, and value. Even with the mitigations requested, this development would have significant, negative impacts. However, the requested mitigations may enable us to continue to live in the home we have loved for the past twenty-two years. With high-efficiency heating, new insulation, on-demand hot-water, and quality windows, it is a great old house.

Further explanation of the requested mitigations: (a) the second-story balcony is easily removed from the design, significantly improves privacy, and future-proofs the design; (b) a full-sized wall above the carport instead of a partial wall would reduce sightlines into our large east-facing windows; (c) window placement behind a privacy screen reduces impacts, and (d) obscured glass in the west-facing window would leave light at the top of the stairwell while eliminating direct views into one of our bedrooms and the house of the applicant. Regarding the recommendation to use skylights to replace south-facing windows, the proposed development and our home are both on properties that are half a lot smaller than typical for Rosedale. A new garage on our property would necessarily impact the proposed development.

The owner/developer advised us to use this portal to communicate our concerns to the designer. We'd welcome a follow-up discussion with the designer and/or owner/developer.

**Attachments**

Name:	ENMAX Power Corporation	Created Date:	March 18, 2026
Phone:		Circulation Referee:	N
Email:	EPC_Permits@enmax.com	Number:	658431079
Address:	141 50 Avenue S.E, Calgary		
Overall:	In support of this application		

**Area of Concern**

Building (massing, façade, height, shadowing, etc.)  
Landscaping plans  
Site layout

**General Comment**

Development Permit review complete.

**Attachments**

[SUPPORTING DOCUMENT - CIRCULATION COMMENTS - DP2026-00795-Reply Letter-2026-03-18 Signed.pdf](#)

---

Name:	Michael Wasyliw	Created Date:	March 19, 2026
Phone:	[REDACTED]	[REDACTED]	[REDACTED]
[REDACTED]	[REDACTED]	Number:	658968257
Address:	1421 5 St NW		
Overall:	In opposition of this application		

**Area of Concern**

Privacy considerations

**General Comment**

I am writing to formally object to the proposed garage suite located directly across the rear alley from my property at 1421 5 St NW.

My primary concern relates to the significant loss of privacy that this development would create. The proposed suite includes windows that directly face into our kitchen nook -- a space that is currently private and used daily by my family. The addition of elevated living space with direct sightlines into this area would fundamentally change our ability to enjoy and use our property without feeling overlooked.

In addition to our privacy concerns, I would ask that the City also consider the impact of overlooking on the adjacent neighboring properties.

I am not opposed to responsible development or increased density; however, it must be balanced with the reasonable expectation of privacy for existing residents.

I respectfully request that this application be reconsidered, or that meaningful design modifications be required to address these concerns.

Thank you for your time and consideration.  
Sincerely,

Michael Wasyliw

**Attachments**



ENMAX Power Corporation  
 141 – 50 Avenue SE  
 Calgary, AB T2G 4S7  
 Tel (403) 514-3000  
 enmax.com

2026-03-18

**File No: DP2026-00795**

**Location: 1420 6 ST NW**

ENMAX Power Corporation (EPC) has reviewed the above permit application dated 2026-03-02 and based on the information provided and as of the above noted date the proposed development does not conflict with ENMAX facilities in respect of the requirements set forth in 10-002 Overhead System (Table 7) and 12-002 Underground Systems of the Alberta Electrical Utility Code (AEUC) under the *Safety Codes Act* (Alberta). This non-conflict letter does not reduce or limit responsibility to comply with all laws and regulations regarding utility facilities and all requirements under the *Alberta Occupational Health & Safety Act* (OHS) (including any code or regulations thereunder)(OHS) and the applicant shall observe all such laws and regulations when commencing any work related to the permit application. If a situation arises where there is a discrepancy between ENMAX required setbacks and the AEUC or the OHS, the stricter set of requirements shall govern. Please refer to ENMAX Ground Disturbance Guidelines while working near ENMAX Facilities.

Pursuant to Section 225(1) of Part 17 of the *OHS Code*, anyone working near overhead powerlines must maintain safe limits of approach as provided in Schedule 4, Table 1 of the *OHS Code* or Table 1 in the *AEUC*. Anyone excavating must contact Utilities Safety Partners for locations of all buried facilities. All contractors, prime or sub (excavating company) must contact [hotdigs@enmax.com](mailto:hotdigs@enmax.com) to obtain a permission letter prior to disturbing the ground within 2 metres of any ENMAX underground facility. As a condition of this no-conflict letter, and despite any existence of a permit, the applicant must contact EPC [Lineinspection@enmax.com](mailto:Lineinspection@enmax.com) or call (403) 514-3117 prior to the commencement of any construction where any workers or equipment will be within 7.0m of existing overhead EPC facilities. If EPC is contacted in accordance with the above, no construction work shall be commenced thereafter unless and until EPC determines the minimum safe limit of approach distance in relation to the overhead facilities present at the project site.

**\*\*NOTE:** This letter provided by ENMAX Power Corporation is intended for information purposes only and is not in any manner intended to nor shall be construed to derogate from applicant's obligations to follow any applicable law. The provision of this no-conflict letter is not a representation that work will meet any legislative or regulatory obligations. This no-conflict letter is provided as of the date first note above – the applicant is still required to perform their own due diligence prior to any development activities and resolve any conflicts (new or existing) at the Developer's sole expense. ENMAX expressly disclaims any liability related to applicant's responsibility to comply with such laws and regulations and ENMAX's required setbacks.

If you require any additional information regarding this Development Permit, please contact the Project Administrator at [EPC\\_Permits@enmax.com](mailto:EPC_Permits@enmax.com). **For new services inquiries, please contact ENMAX GetConnected at [GetConnected@enmax.com](mailto:GetConnected@enmax.com).**

Sincerely,

Alana Richards  Digitally signed by Alana Richards  
 DN: c=CA,  
 E=arichards@enmax.com,  
 O=ENMAX Power Corporation,  
 CN=Alana Richards  
 Date: 2026.03.18 09:27:21-06'00'

Alana Richards P.Eng  
 Distribution Engineering

QR Code for ENMAX Ground  
 Disturbance Guidelines



**SDAB2026-0074**

**Samnick, Cyrille**

---

**From:** Heather Seabrook [REDACTED] >  
**Sent:** Saturday, March 28, 2026 3:06 PM  
**To:** Pusch, Hayley E.  
**Cc:** Trevor Borden  
**Subject:** [External] DP2026-00795, 1420 6 Street NW  
**Attachments:** Backyard Suites How-to guide-1- Highlighted.pdf

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Following the design guidelines would reduce negative impacts on neighbours, which would result in better outcomes overall. This is why we have guidelines and regulations.

The designer of the proposed development has these guidelines on their website, so they are aware of them. I am stunned that the proposal fails to apply them.

I will follow up soon with a phone call so that we can understand any further steps needed to oppose the design of this proposed development.

Thank you,  
Heather Seabrook



Calgary



# Backyard Suites How-to guide

**Publishing Information**

**Title**  
Backyard Suites How-to guide

**Author**  
The City of Calgary

**Status**  
Final  
PUD2018-1323  
2019 January 15

**Additional Copies**  
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## Backyard Suites

### What is a backyard suite?

A backyard suite is a second residence that is in a building located behind or beside the primary residence. They are sometimes referred to as laneway houses, carriage houses, garden suites or garage suites.

### Why support backyard suites?

Backyard suites provide flexibility and choice for home owners by providing a housing form that can allow a property to better suit changing household needs, such as the need to provide a home for an aging parent or an adult child, supplement income with rent, house a care-giver or downsize to a smaller residence.

Suites also add different types and sizes of homes that are more affordable in low-density neighbourhoods. And because suites cannot be sold separately, they provide rental housing that contributes to a mix of tenures.

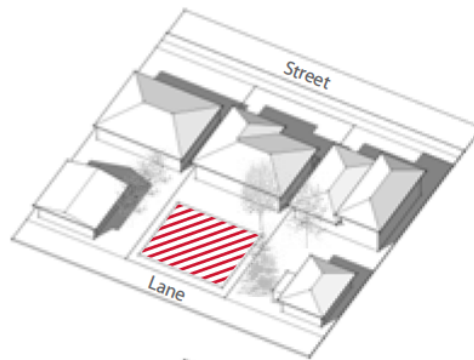


## Guide overview

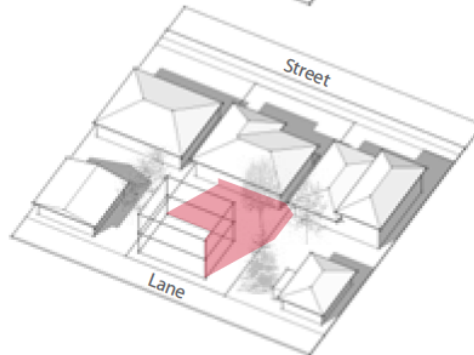
The Backyard Suite how-to guide shows ways to address the design intent from the rules and policies for backyard suites and highlights different ways to improve design outcomes. It is intended to inform the design process; help frame the conversation between neighbours about a proposed backyard suite; and guide City staff when reviewing the development permit.

The how-to guide walks the reader through the important design aspects identifying specific design aspects to consider at each stage with strategies that can be used to design the new backyard suite.

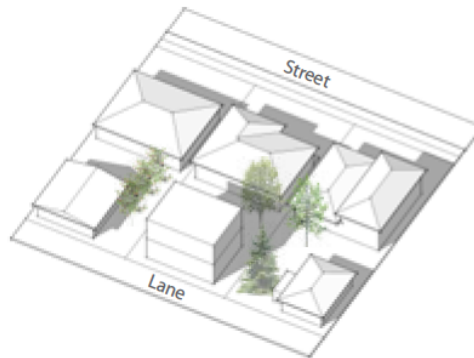
For information on the rules for backyard suites and to find out whether you can build a backyard suite on your property please visit: [calgary.ca/suites](http://calgary.ca/suites)



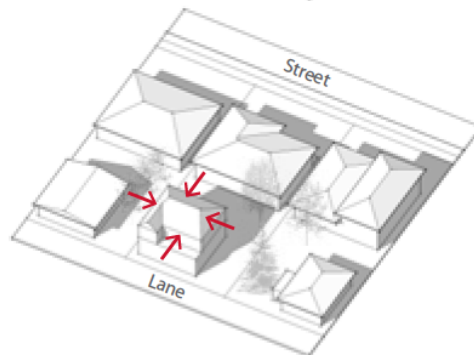
① Building placement



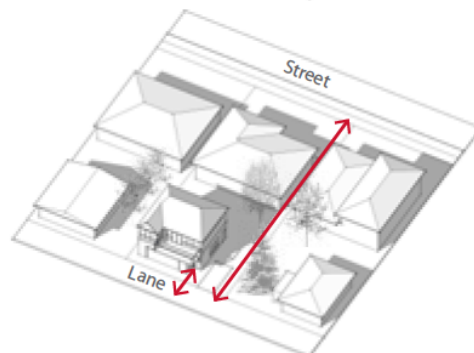
② Sunlight and shadowing



③ Trees



④ Height and massing

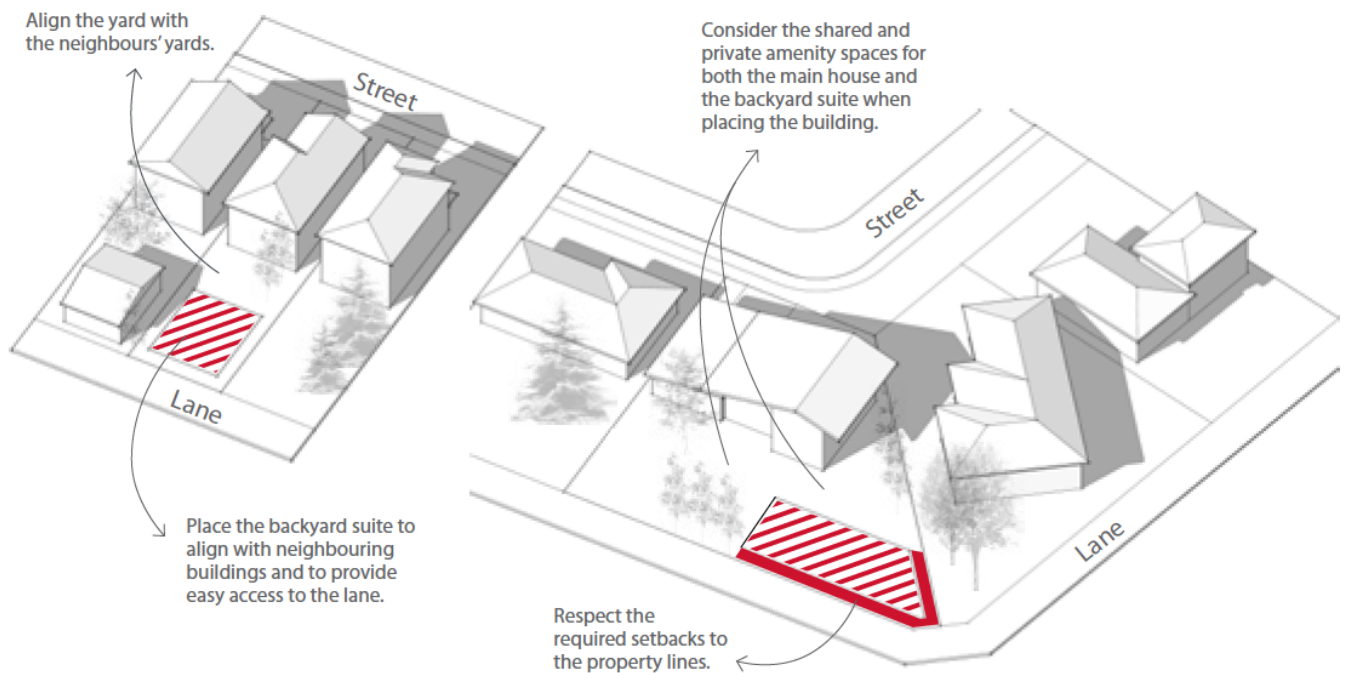


⑤ Balconies, windows and access

# 1 Building placement

## Design principles

- Consider the location of the adjacent yard space and buildings. The new backyard suite should be located to align with building and yard placement on neighbouring parcels. Where feasible, buildings should be located next to buildings and yards should be located next to yards. On a lot with a lane this principle will most often result in the new backyard suite being located next to the lane to match the location of neighbouring garages and parking pads.
- Consider how future tenants of the primary residence and the backyard suite will use the shared yard space when choosing the location of the backyard suite. Providing distinct amenity spaces for each of the households is encouraged.



2

## Sunlight and shadowing

### Design principles

- Locate the backyard suite to maximize sunlight access for neighbouring parcels. On north south blocks the backyard suite should be located closer to the shared property line on the south side of the lot so that the neighbouring parcel to the north has better access to the southern aspect sun angle.
- Angled or stepped rooflines that let more sunlight into yards next to the suite are encouraged.



## 3

## Trees

## Design principles

- New backyard suites are encouraged to be located so that existing, healthy trees will be retained.
- Trees can screen windows, amenity spaces and buildings. Locating the new backyard suite to take advantage of existing trees can enhance privacy for tenants and neighbours and reduce the visual mass of the new suite.

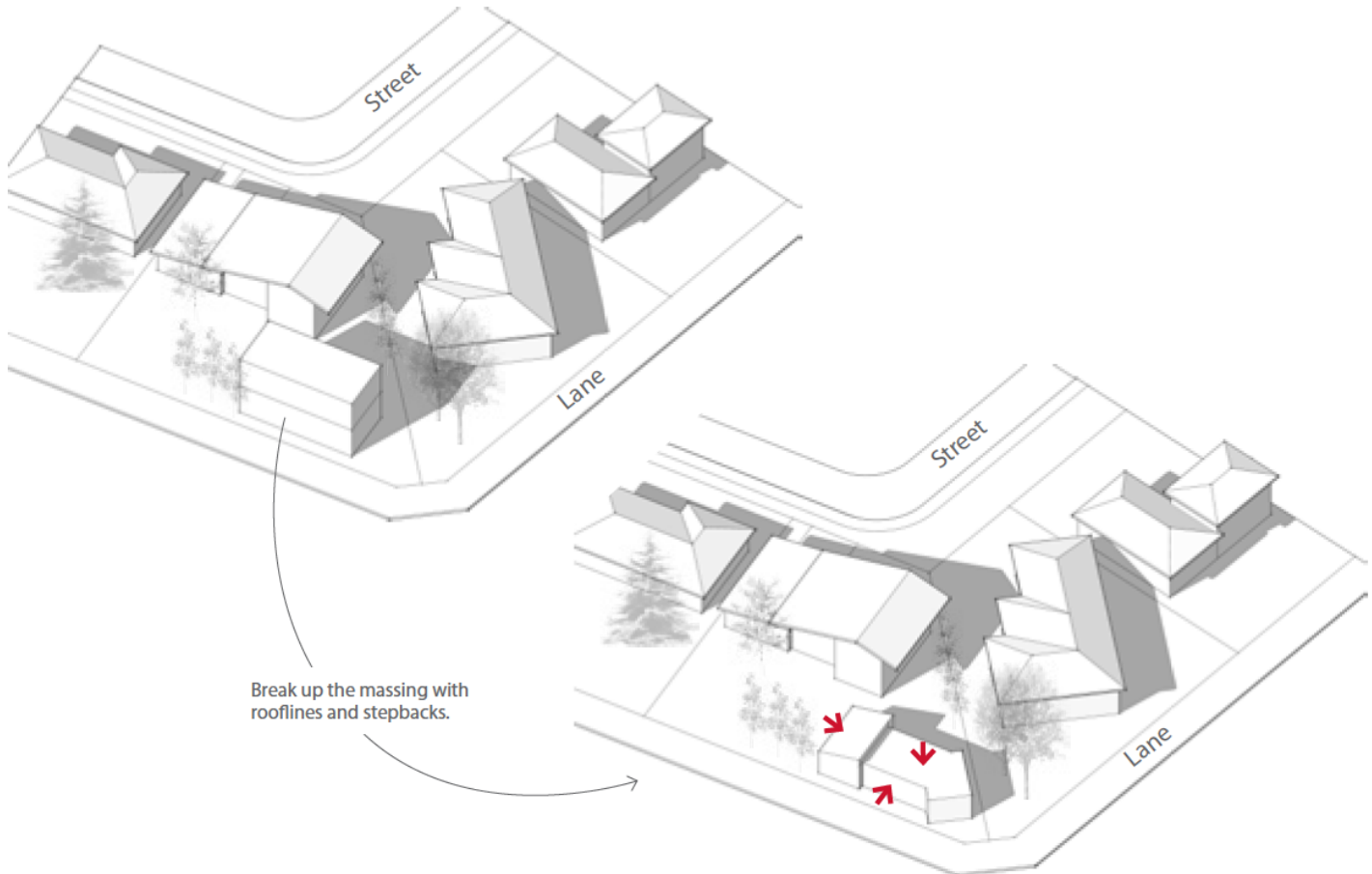


## ④

## Height and massing

### Design principles

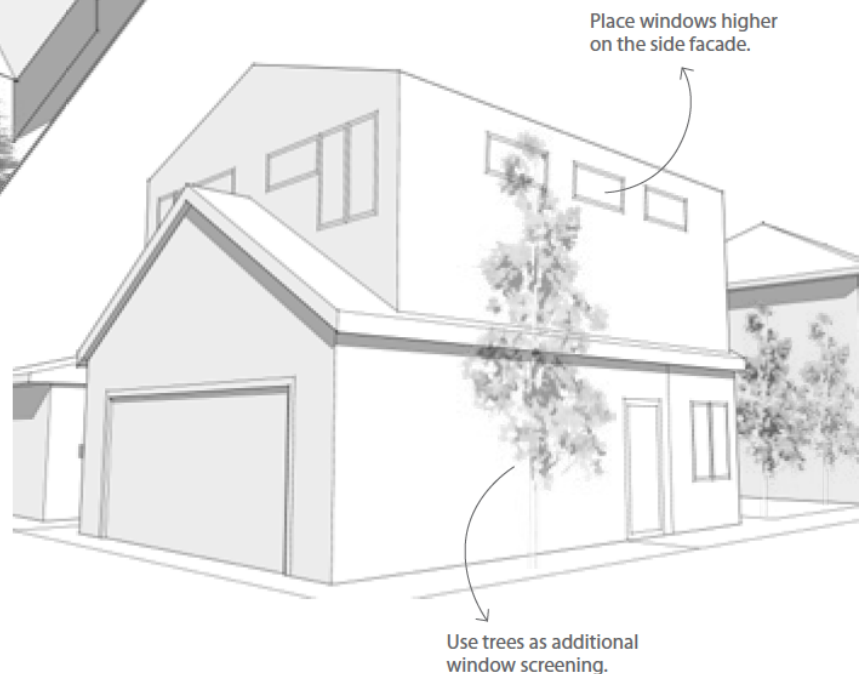
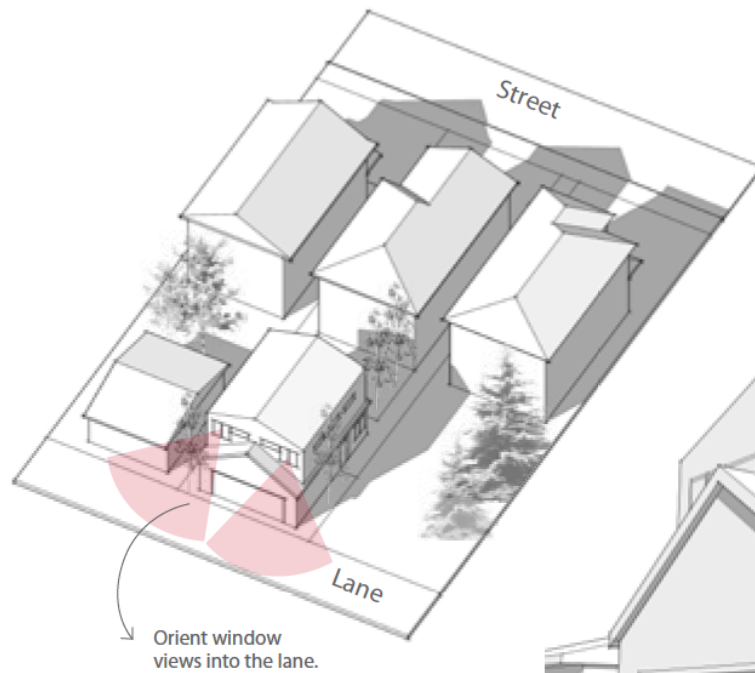
- Height should be transitioned from neighbouring parcels to reduce the perceived height of the backyard suite from the neighbouring yard.
- Building facades should be articulated to reduce the appearance of height and volume.
- Rooflines should be articulated to provide more visual interest and reduce the appearance of height. This can be achieved by lowering the height of the primary façade and stepping the roofline.



## 5 Windows

### Design principles

- Windows should generally be placed to provide views to the street, the lane or into the yard shared with the primary residence.
- The location of neighbouring buildings and trees should be considered when determining window placements. Windows on side facades are more appropriate where direct views of neighbouring yards are screened with trees or where the window overlooks a neighbouring garage.
- Some windows on the side facade will be supported to break up the visual mass of the wall where the windows are obscured or placed higher in wall to prevent direct overlooking.

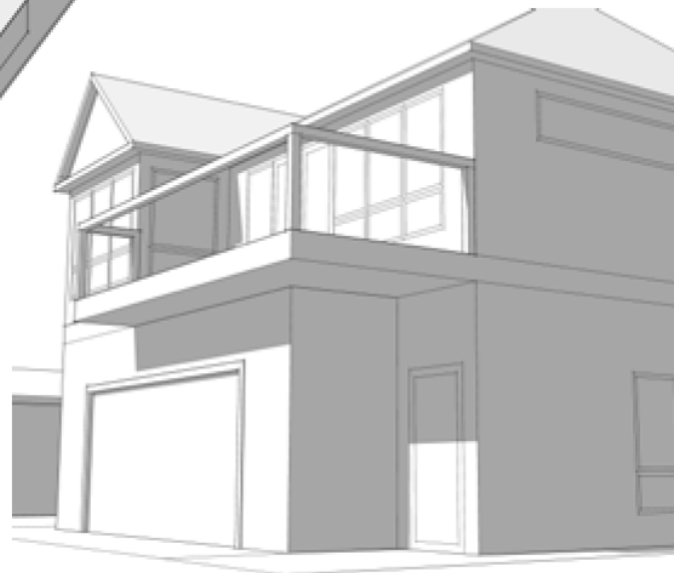
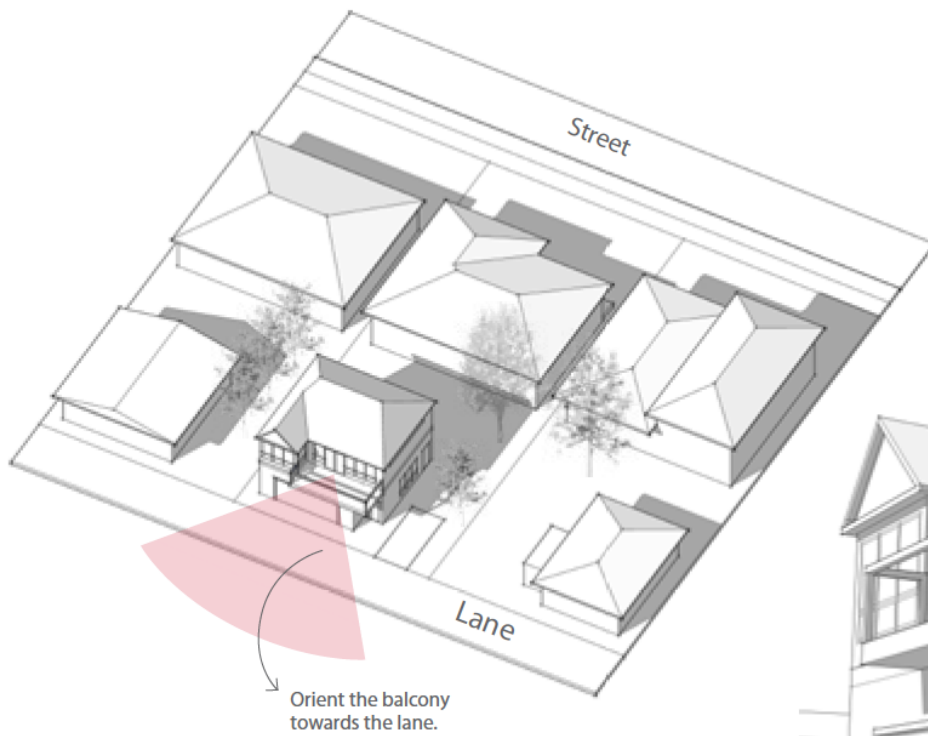


## 5

## Balconies

## Design principles

- Balconies should face onto the street, the lane or into the yard that contains the suite. Direct side views of neighbouring yards should be avoided and may be screened using privacy walls or trees.

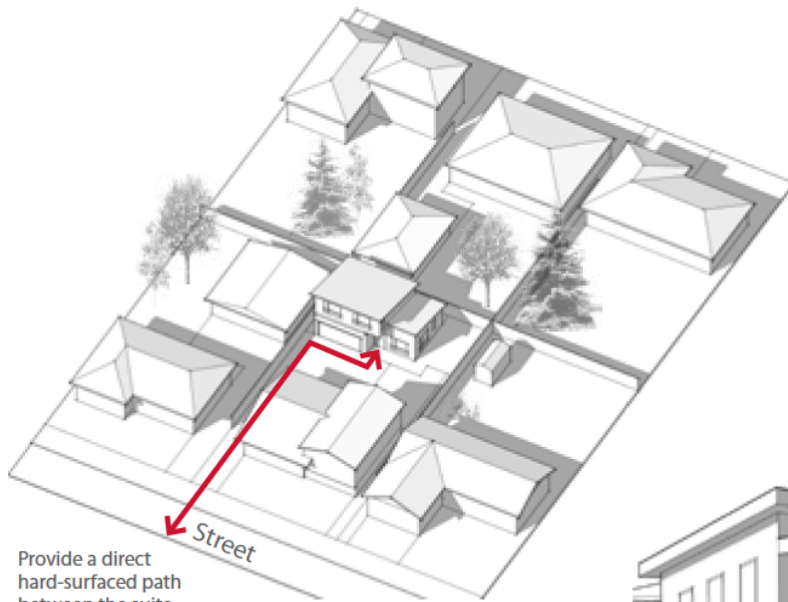


## 6

## Access

## Design principles

- Where the backyard suite is located on a corner parcel it should have an entry that provides direct access to the street. Where this is not feasible, access to the street should be provided via a hard surfaced pathway extending from the entrance of the suite to the street.
- Where the backyard suite is located on a parcel with a lane it should have access to the lane through a direct entrance on the lane or provide direct access to the lane or the street via a hard surfaced pathway.
- Where the suite has an entry directly onto the lane the door should be set back from the lane with a hard surfaced landing to provide separation from the path of cars in the lane.
- On a laneless parcel access to the backyard suite should be as direct as possible from the public street via a hard surfaced pathway.



Provide a direct hard-surfaced path between the suite and the street.

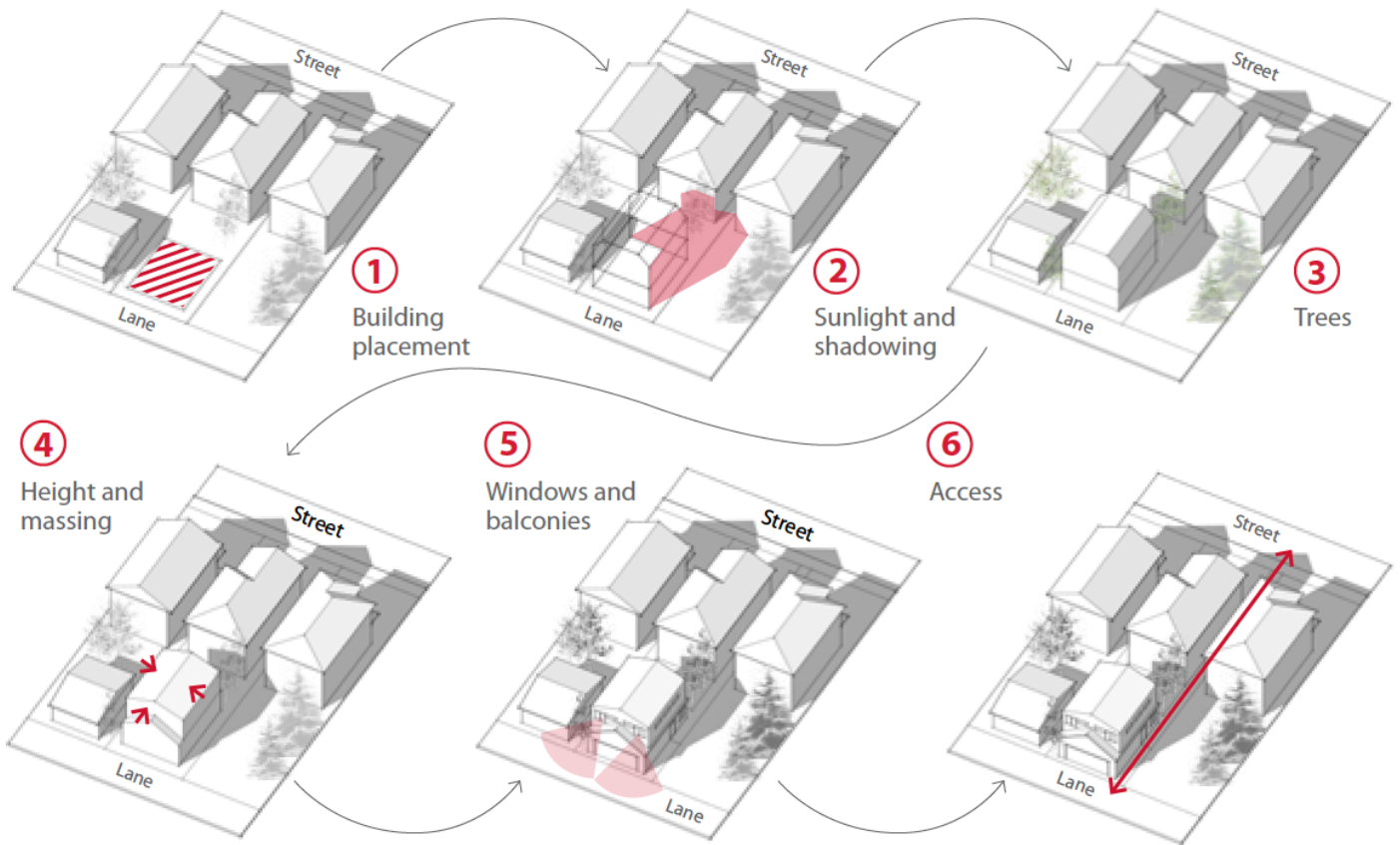


Set the door back from the lane with a hard surface landing.

Putting it together...



... into a comprehensive design process:



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SITE PLAN	A0.1
FLOOR PLANS	A1.0
ROOF PLAN	A1.1
ELEVATIONS	A2.0
ELEVATIONS	A2.1
BUILDING SECTION	A3.0
BUILDING SECTION	A3.1
DOOR SCHEDULE/ELEVATIONS	A3.2
DETAILS	A4.0
DETAILS	A4.1

**DEVELOPMENT  
PERMIT  
DECISION  
RENDERED  
ON THIS PLAN**

**DETACHED GARAGE SUITE**  
**NEW PROPOSED DEVELOPMENT**

1420 6th ST. N.W.  
CALGARY, ALBERTA

Lots 31 & 32, Block 17, Plan 5299T



NOTE: AI RENDER FOR ARTISTIC REFERENCE ONLY,  
FINAL MATERIALS AND COLORS MAY VARY ON SITE

**PROJECT INFO**

CLIENT/PROJECT: S&O - GARAGE SUITE  
LEGAL ADDRESS: Lots 31 & 32, Block 17, Plan 5299T  
CIVIC ADDRESS: 1420 6th ST. N.W.

**DRAWING INFORMATION**

STATUS: DEVELOPMENT PERMIT  
PROJECT LEAD: J.WILLSIE  
CHECKED BY: STUDIO  
SCALE: 1/4" = 1'-0"

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**REVISION HISTORY** **DATE**

JW	PRELIMINARY SITE	NOV 14, 2025
JW	PRESENTATION #1	DEC 15, 2025
JW	PRESENTATION #2	JAN 15, 2026
JW	DEVELOPMENT PERMIT	FEB 13, 2026
SV	TENDER DRAWINGS	FEB 19, 2026
JH	DETAILED REVIEW RESP.	APR 10, 2026

DEVELOPMENT PERMIT

COVER PAGE

A0.0

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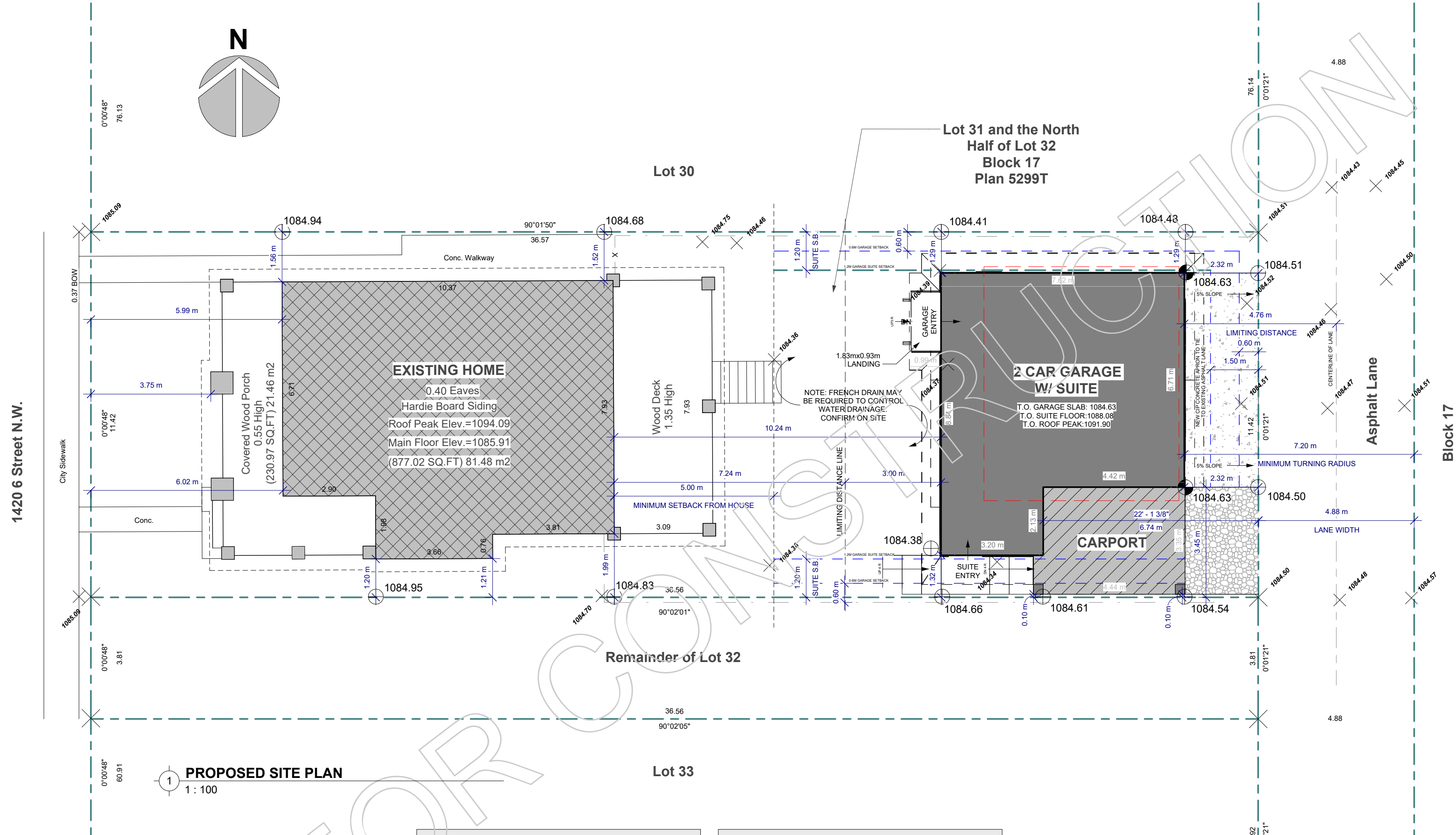
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SHEET LIST

SITE PLAN	A0.1
FLOOR PLANS	A1.0
ROOF PLAN	A1.1
ELEVATIONS	A2.0
ELEVATIONS	A2.1
BUILDING SECTION	A3.0
BUILDING SECTION	A3.1
DOOR SCHEDULE/ELEVATIONS	A3.2
DETAILS	A4.0
DETAILS	A4.1

DEVELOPMENT  
PERMIT  
DECISION  
RENDERED  
ON THIS PLAN



**SITE COVERAGE CALCULATIONS:**

<b>BYLAW REQUIREMENT:</b>		
SITE AREA:	418.29 m <sup>2</sup>	
ALLOWED COVERAGE:	188.23 m <sup>2</sup>	45.00%
<b>EXISTING HOUSE:</b>		
HOUSE FOOTPRINT:	81.48 m <sup>2</sup>	
COVERED PORCH:	21.46 m <sup>2</sup>	
<b>TOTAL RESIDENCE:</b>	<b>102.94 m<sup>2</sup></b>	<b>24.61%</b>
<b>PROPOSED GARAGE SUITE:</b>		
GARAGE FOOTPRINT:	57.93 m <sup>2</sup>	
CAR PORT:	15.26 m <sup>2</sup>	
<b>TOTAL GARAGE SUITE:</b>	<b>73.19 m<sup>2</sup></b>	<b>17.49%</b>
<b>TOTAL ON SITE:</b>	<b>176.13 m<sup>2</sup></b>	<b>42.10%</b>

**SITE LEGEND:**

PROPERTY LINES:	---
SETBACKS:	---
UTILITY R.O.W. & CAVEATS:	---
ROOF OVERHANG:	---
ELECTRICAL:	---
STORM/SEWER:	---
WATER LINES:	---
GAS LINES:	---
PROPOSED RESIDENCE:	[Pattern]
PROPOSED CANTILEVERS:	[Pattern]
PROPOSED GARAGES:	[Pattern]
EXISTING BUILDINGS:	[Pattern]
CONCRETE PATHS, ETC:	[Pattern]
GRAVEL:	[Pattern]
WOOD DECKS/PORCHES:	[Pattern]
COVERED DECKS / PORCHES:	[Pattern]
PROPOSED GEODETICS:	[Symbol] 100.00
EXISTING GEODETICS:	[Symbol] 100.00

**DISCLAIMER:**  
ALL SITE INFORMATION IS BASED OFF THIRD PARTY DRAWINGS. ELLERGODT DESIGN TAKES NO RESPONSIBILITY FOR INACCURATE GRADING POINTS, SITE FURNITURE, EXISTING SERVICE SIZES OR LOCATIONS. BUILDER TO VERIFY ALL CRITICAL DIMENSIONS ON SITE PRIOR TO STARTING CONSTRUCTION.

**PROJECT INFO**

CLIENT/PROJECT:	S&O - GARAGE SUITE
LEGAL ADDRESS:	Lots 31 & 32, Block 17, Plan 5299T
CIVIC ADDRESS:	1420 6th ST. N.W.

**DRAWING INFORMATION**

STATUS:	DEVELOPMENT PERMIT
PROJECT LEAD:	J.WILLSIE
CHECKED BY:	STUDIO
SCALE:	As indicated
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**REVISION HISTORY**

REVISION HISTORY	DATE
JW PRELIMINARY SITE	NOV 14, 2025
JW PRESENTATION #1	DEC 15, 2025
JW PRESENTATION #2	JAN 15, 2026
JW DEVELOPMENT PERMIT	FEB 13, 2026
SV TENDER DRAWINGS	FEB 19, 2026
JH DETAILED REVIEW RESP.	APR 10, 2026

DEVELOPMENT PERMIT

SITE PLAN  
A0.1

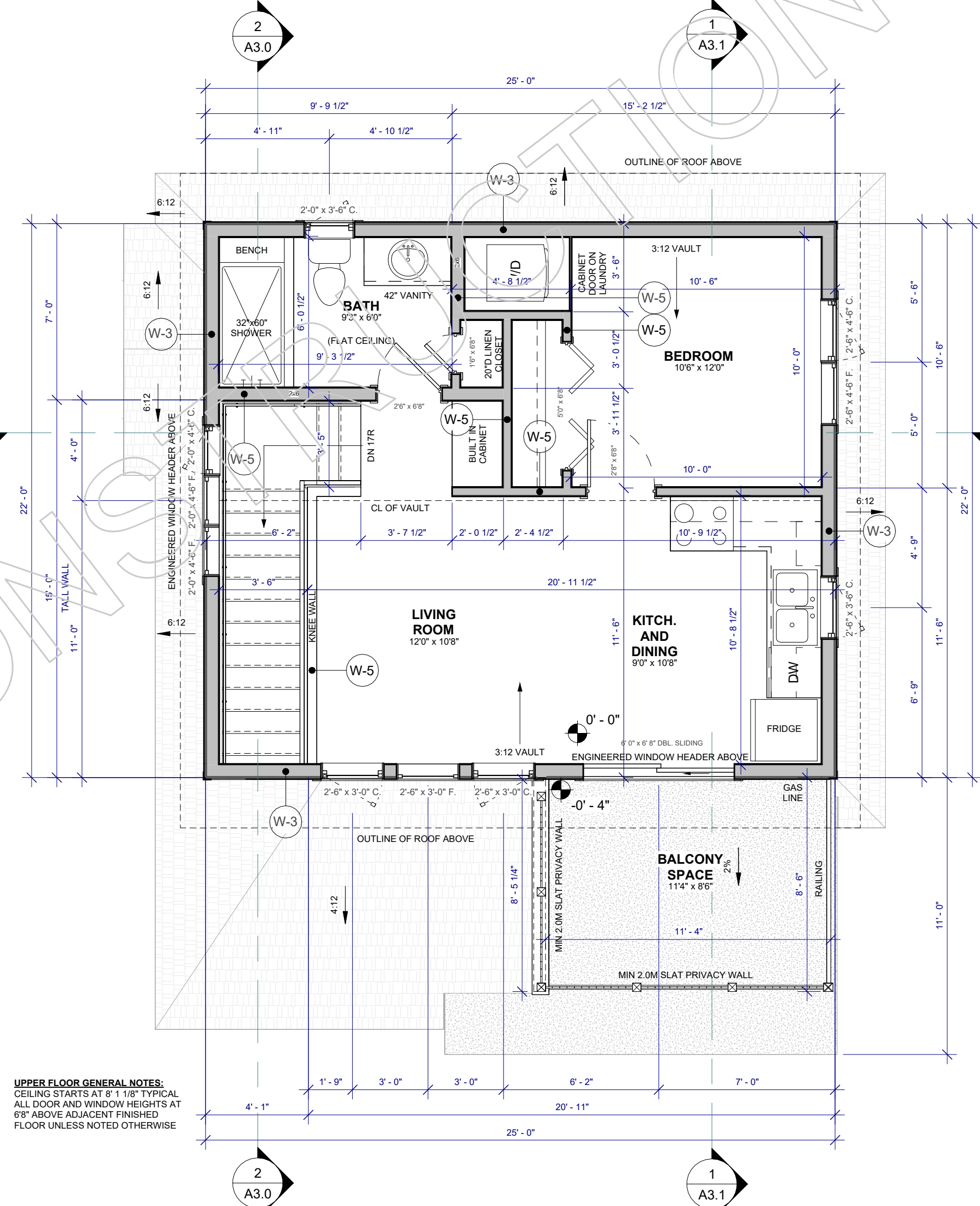
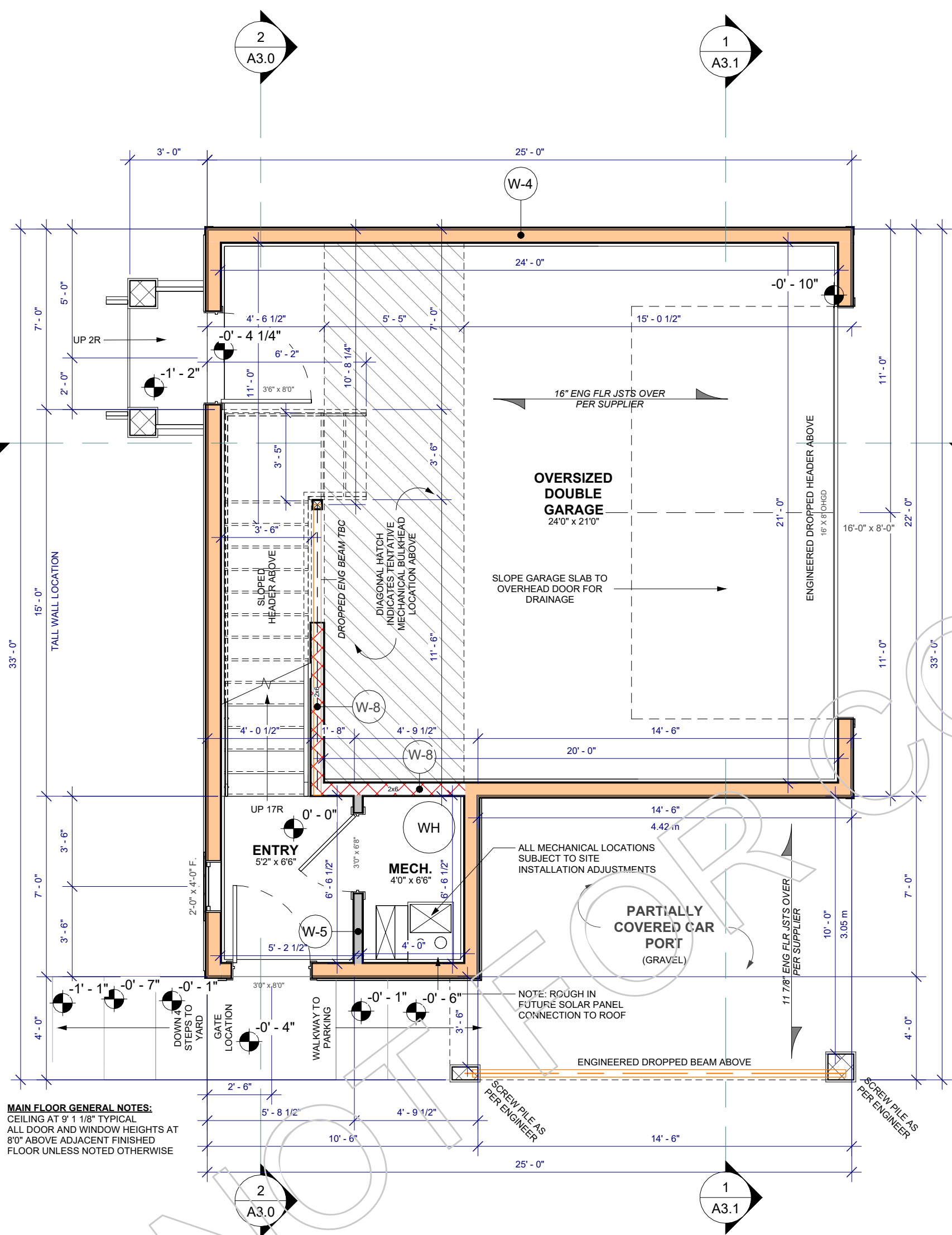
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**PLAN AREAS**

ABOVE GRADE AREA	
LANDING	91 SF
UPPER FLOOR	492 SF
	582 SF
EXTERIOR AREA	
FRONT PORCH	36 SF
MECH.	34 SF
	70 SF
ADDITIONAL AREAS	
GARAGE	499 SF
	499 SF

DEVELOPMENT PERMIT DECISION RENDERED ON THIS PLAN



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DEVELOPMENT PERMIT

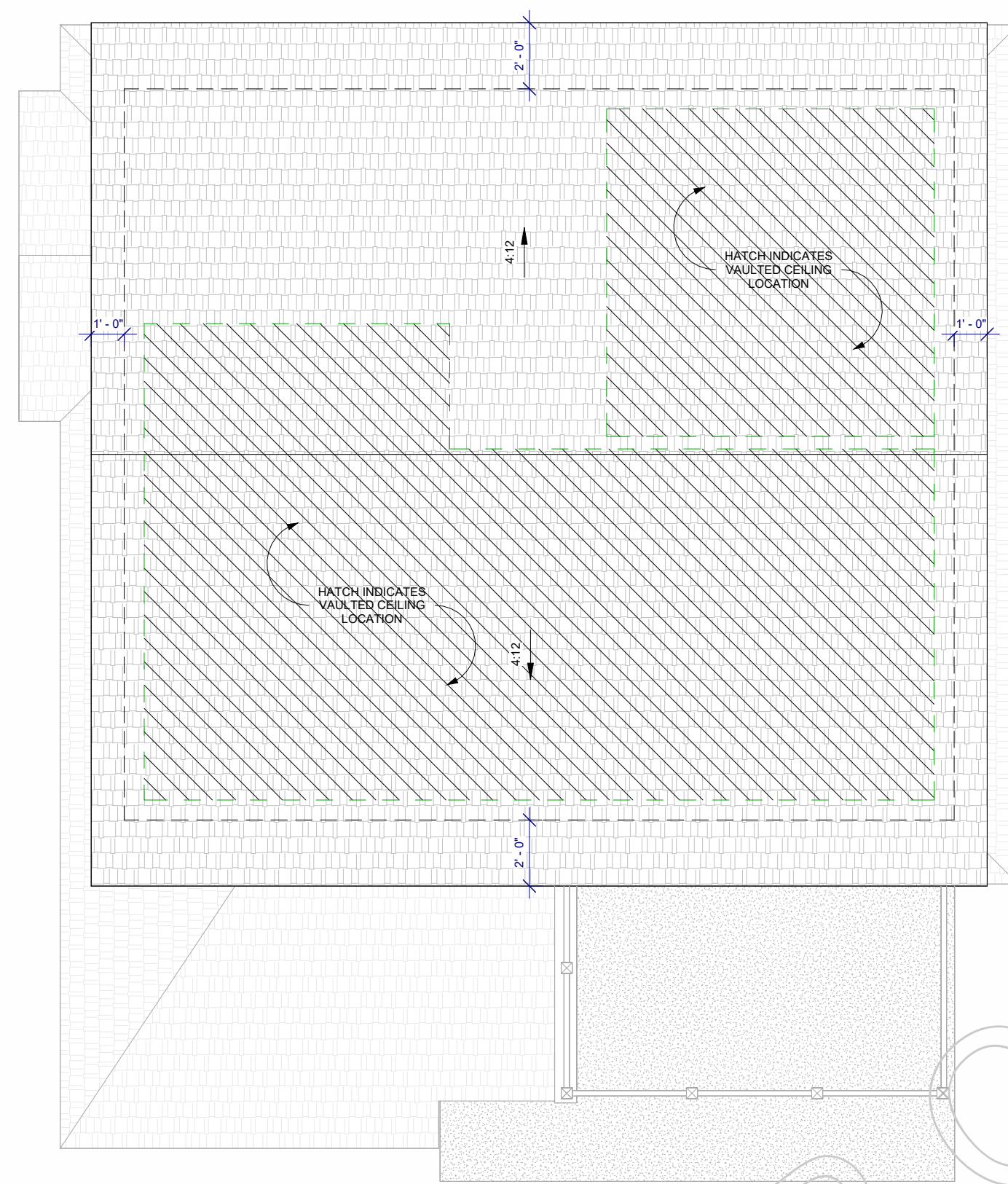
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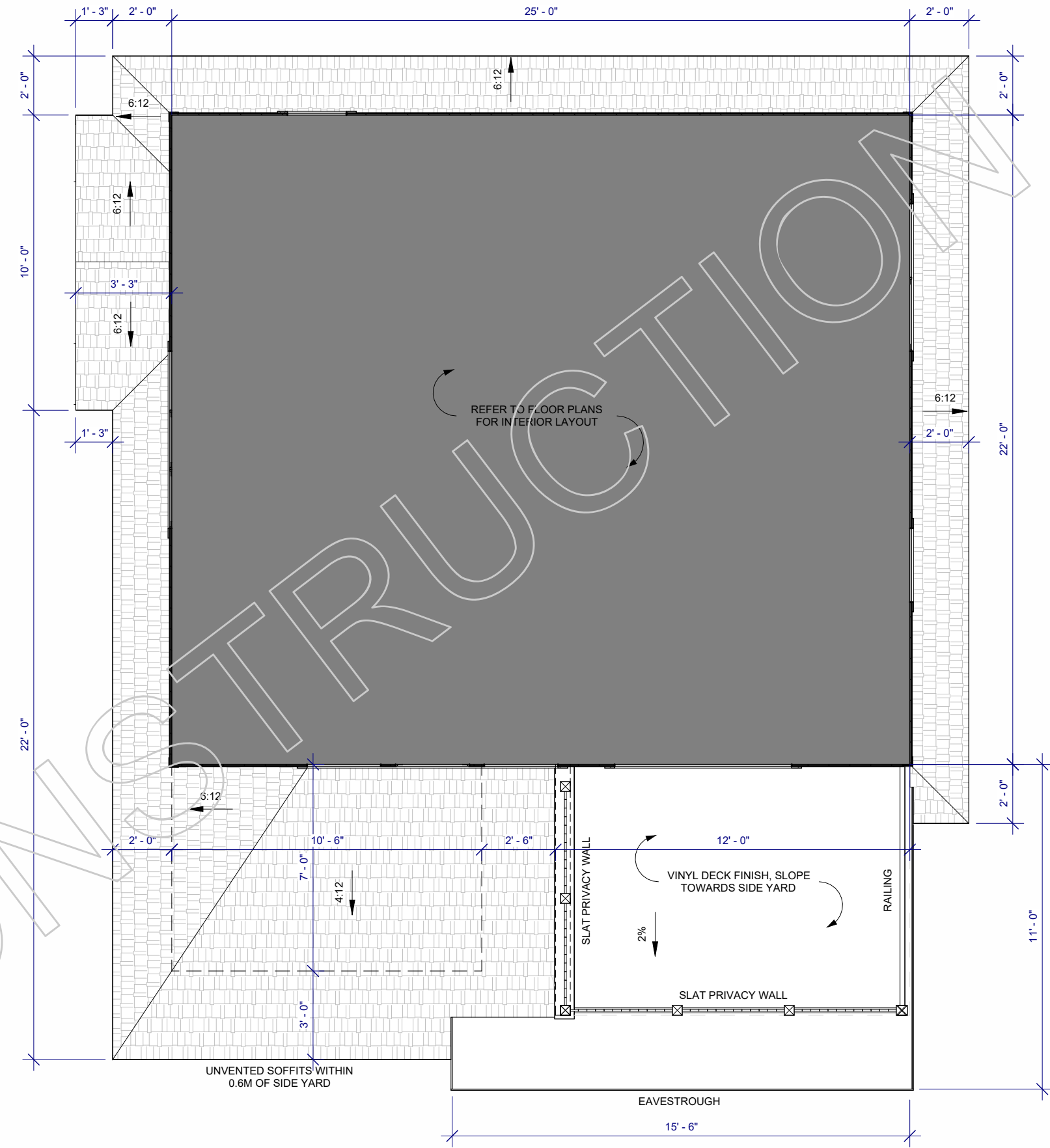
**PLAN AREAS**

<b>ABOVE GRADE AREA</b>	
LANDING	91 SF
UPPER FLOOR	492 SF
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MECH.	34 SF
	70 SF
<b>ADDITIONAL AREAS</b>	
GARAGE	499 SF
	499 SF

**DEVELOPMENT PERMIT DECISION RENDERED ON THIS PLAN**

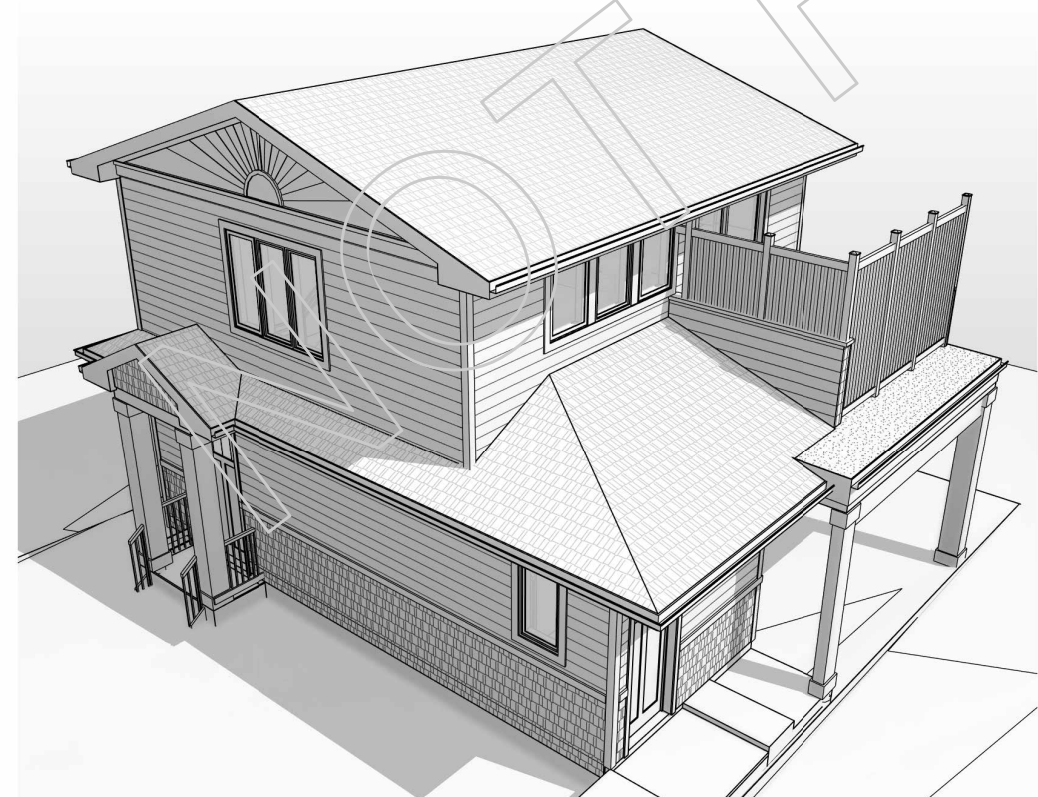


**1 PROPOSED MAIN ROOF PLAN**  
1/4" = 1'-0"

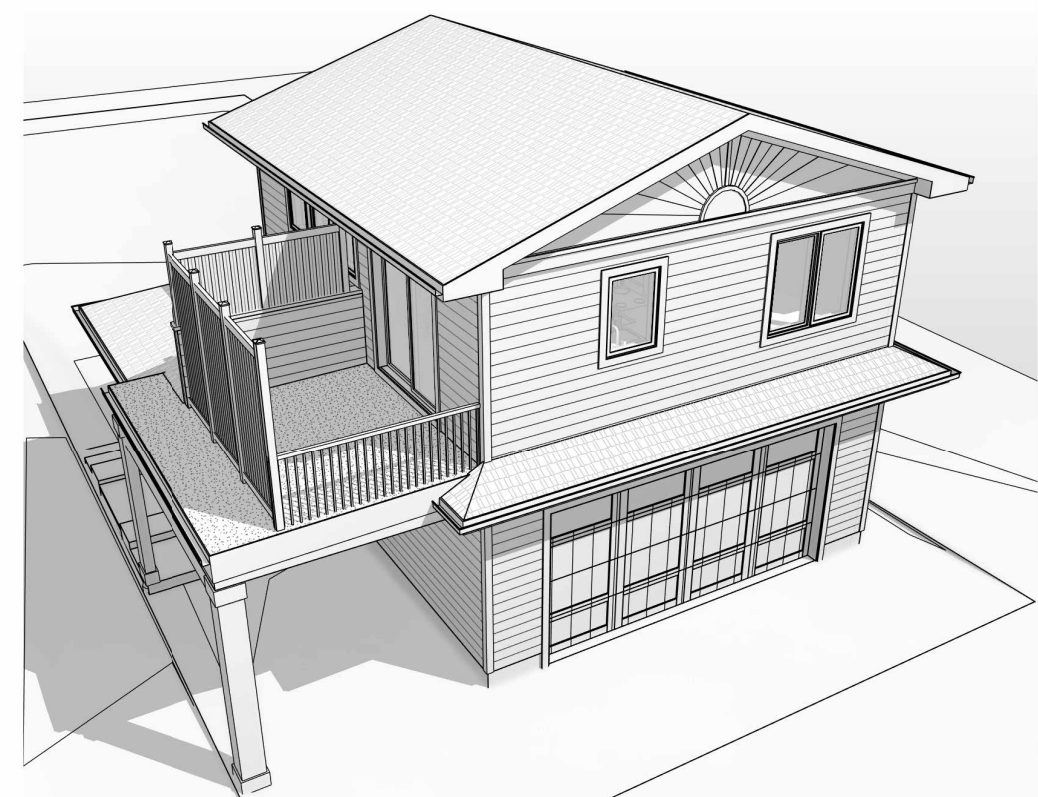


**2 PROPOSED LOWER ROOF PLAN**  
1/4" = 1'-0"

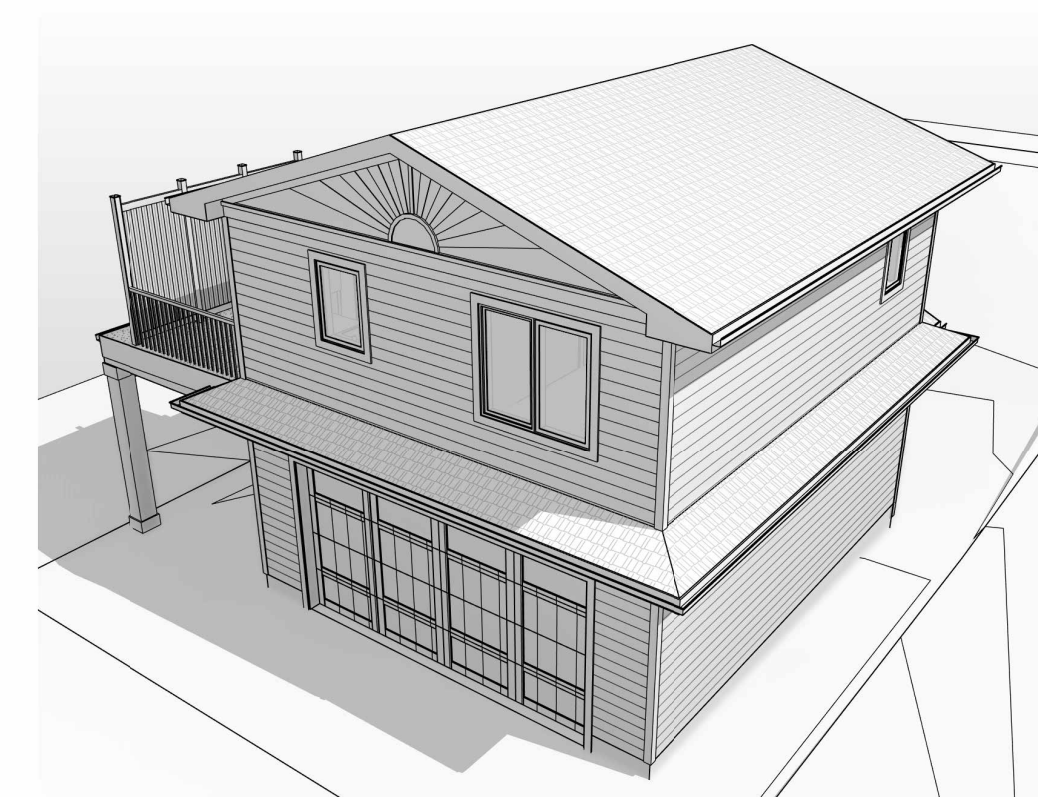
3D PERSPECTIVE VIEWS FOR VISUALIZATION PURPOSES ONLY, NOT TO SCALE



**3 ROOF PERSPECTIVE 1**



**4 ROOF PERSPECTIVE 2**



**5 ROOF PERSPECTIVE 3**

<b>PROJECT INFO</b>		
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CHECKED BY:	STUDIO	
SCALE:	1/4" = 1'-0"	
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	DATE	
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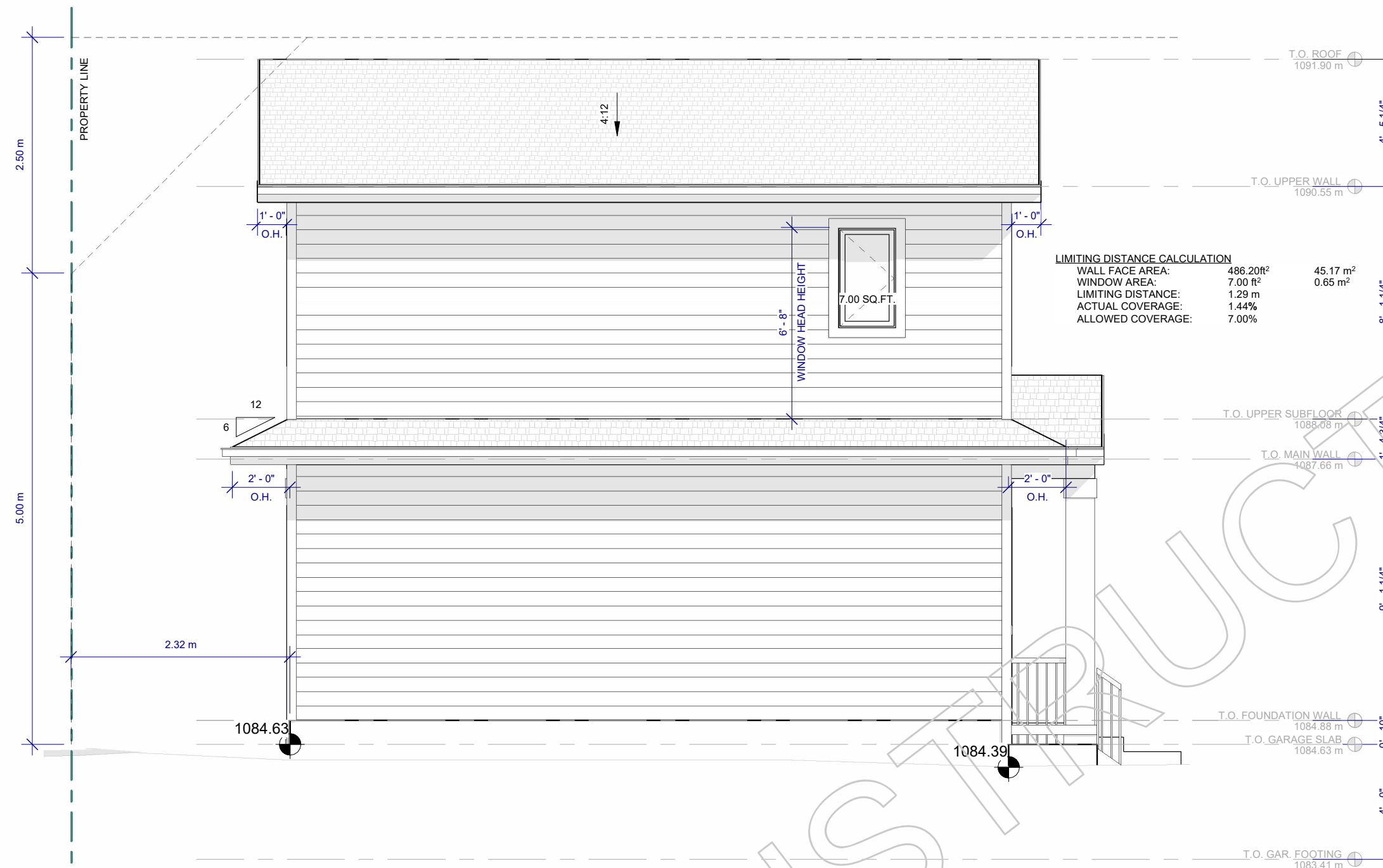
**ROOF PLAN**  
A1.1



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1 PROPOSED LEFT ELEVATION  
1/4" = 1'-0"



2 PROPOSED RIGHT ELEVATION  
1/4" = 1'-0"

DEVELOPMENT  
PERMIT  
DECISION  
RENDERED  
ON THIS PLAN

PROJECT INFO

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LEGAL ADDRESS: Lots 31 & 32, Block 17, Plan 5299T  
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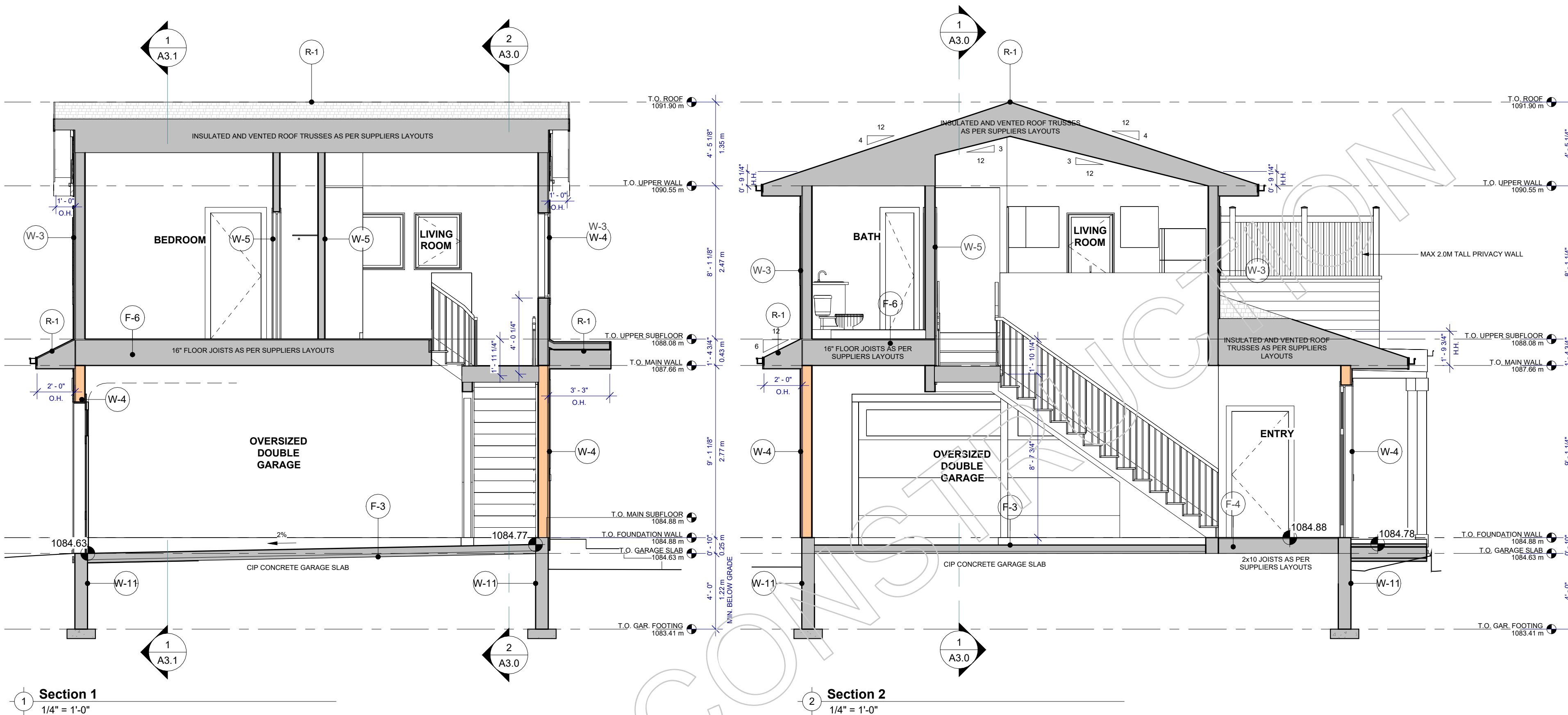
DEVELOPMENT PERMIT

ELEVATIONS  
A2.1

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DEVELOPMENT  
PERMIT  
DECISION  
RENDERED  
ON THIS PLAN

CONSTRUCTION NOTES AND SPECIFICATIONS

ALL Rsi VALUE AS PER NBC-AE 9.36.2.4.(1)D UNLESS NOTED OTHERWISE

HRV SYSTEM TO BE INSTALLED AS PER NBC-AE 9.36.3.9. AND 9.36.3.19 REQ'S.

WINDOWS, DOOR, AND SKYLIGHTS TO MEET OR EXCEED CODE MINIMUMS OUTLINES IN NBC-AE 9.36.2.7.A. AND 9.36.2.7.B. REFER TO MANUF. OR SUP. WINDOW ORDER FOR SPECIFIC U-VALUES.

**R-1 ROOF SLOPED**

EXTERIOR AIR FILM  
ROOF FINISH AS PER ELEVATION  
BUILDING PAPER  
3/8" OSB SHEATHING @ 24" O.C. WITH RAISED HEEL AS PER ROOF SUP. LAYOUT  
18" LOOSE-FILL BATT INSULATION (R49.5 total)  
14-5/8" INSULATION (R40)  
3-1/2" INSULATION (R25)  
6 MIL POLY VAPOUR BARRIER  
1/2" GYPSUM BOARD  
INTERIOR AIR FILM

ROOF SPACE TO BE VENTED w/ ATTIC ACCESS

9.36 PRESCRIPTIVE CALCULATION  
Rsi(f) 0.76 @ 10%  
Rsi(c) 1.59 @ 90%  
Rsi(parallel) = 100 / ((10/0.76) + (90/1.59)) = 1.50  
TOTAL EFFECTIVE Rsi VALUE = 8.76

**W-3 WALL EXTERIOR**

EXTERIOR AIR FILM  
EXTERIOR CLADDING AS PER SPEC.  
BUILDING PAPER  
3/8" OSB SHEATHING  
2x6 #2 SPR STUDS @ 24" O.C.  
5-1/2" BATT INSULATION (R22)  
6mil POLY VAPOUR BARRIER  
1/2" GYPSUM BOARD  
INTERIOR AIR FILM

9.36 PRESCRIPTIVE CALCULATION  
Rsi(f) 1.19 @ 20%  
Rsi(c) 3.27 @ 80%  
Rsi(parallel) = 100 / ((20/1.19) + (80/3.27)) = 2.67  
TOTAL EFFECTIVE Rsi VALUE = 2.99

**W-4 WALL EXTERIOR PROTECTED 1(FRR)**

REFER TO EXTERIOR WALL ASSEMBLY Ew2a NBC-AE2023 A-9.10.3.1.A  
FRR-1H LOADBEARING

EXTERIOR AIR FILM  
EXTERIOR CLADDING AS PER SPEC.  
BUILDING PAPER  
5/8" DENSEGLASS TYPE-X SHEATHING  
2x6 #2 SPR STUDS @ 16" O.C.  
5-1/2" BATT INSULATION (R22)  
SINGLE PLY GML (0.151MM) POLYETHYLENE VAPOUR BARRIER CONFORMING TO CAN/CGSB-51.34M INSTALLED IN ACCORDANCE WITH ARTICLE 9.25.4.3.  
5/8" DENSEGLASS TYPE-X SHEATHING  
INTERIOR AIR FILM

9.36 PRESCRIPTIVE CALCULATION  
Rsi(f) 1.19 @ 20%  
Rsi(c) 3.87 @ 80%  
Rsi(parallel) = 100 / ((20/1.19) + (80/3.87)) = 2.67  
TOTAL EFFECTIVE Rsi VALUE = 3.01

**W-5 WALL INTERIOR PARTITION**

1/2" GYPSUM BOARD  
2x4 or 2x6 #2 SPR STUDS @ 24" O.C.  
1/2" GYPSUM BOARD

**W-8 WALL INTERIOR GARAGE SEPARATION**

REFER TO WALL ASSEMBLY W4a NBC-AE2023 A-9.10.3.1.A  
STC:51

5/8" TYPE-X GYPSUM BOARD  
RESILIENT CHANNEL @ 600mm O.C.  
2x4 #2 SPR STUDS @ 24" O.C.c  
3-1/2" SOUND ABSORPTIVE MATERIAL  
6mil POLY VAPOUR BARRIER  
2 LAYERS OF 5/8" TYPE-X GYPSUM BOARD  
NON-LOAD BEARING WALLS

**W-11 GARAGE FROST/FOUNDATION WALL**

PARGING ABOVE GRADE  
DAMP-PROOFING BELOW GRADE  
8" CONC. FOUNDATION WALL CW 2x6 LADDER SILL & 3 ROWS 2-10m BARS TOP, MID, BOTTOM OR AS PER ENG'D SPEC  
24"x8" or 34"x8" CONTINUOUS CONC. STRIP FOOTING CW 3 OR 4 SINGLE ROWS 10m BARS OR AS PER ENG'D SPEC  
MIN. 48" COVER TO FOOTINGS  
4" DIA. WEERING TILE IF REQ'D

**F-3 SLAB GARAGE**

4" CONC. SLAB min. 30 MPa W/ 10m REBAR E/W @ 24" O.C. OR AS PER ENG'D SPEC.  
MIN. 48" COVER TO SLAB  
CONTINUOUS EXPANDED POLYSTYRENE INSULATION (R16)  
6mil POLY VAPOUR BARRIER  
DAMP-PROOFING AS REQ'D  
COMPACTED GRAVEL  
FOR HEATED SLAB, INCLUDE min. 2" CONTINUOUS EXPANDED POLYSTYRENE INSULATION (R8)

**F-4 FLOOR FRAMED**

FINISH FLOORING AS PER SPEC  
3/4" OSB OR PLYWOOD SUBFLOOR NAILED, SCREWED, GLUED  
ENG. APP'D FLOOR JOIST AS PER FLOOR SUP. LAYOUT  
1/2" GYPSUM BOARD (WHERE APPLICABLE)

**F-6 FLOOR OVER UNCONDITIONED SPACE**

ADU - SUITE GARAGE SEPARATION  
ASSEMBLY - F9c - FRR: 1 HR  
STC: 52

FINISH FLOORING AS PER SPEC  
3/4" OSB OR PLYWOOD SUBFLOOR NAILED, SCREWED, GLUED  
ENG. APP'D FLOOR JOIST AS PER FLOOR SUP. LAYOUT NOT MORE THAN 600mm O.C.  
RESILIENT METAL CHANNELS @ 600mm O.C.  
2 LAYERS 5/8" TYPE X GYPSUM BOARD

**DOORS**

ALL DOORS TO BE 6'-8" HIGH ON 8'-0" CEILING (U.N.O.)  
ALL DOORS TO BE 8'-0" HIGH ON 9'-0" CEILINGS (U.N.O.)  
CONFIRM WITH SPEC ON ALL 10'-0"+ CEILINGS  
ALL INTERIOR DOOR JAMBS TO BE 6" FROM ADJACENT CORNER FRAMING FOR WALLS EXCEEDING 40" IN LENGTH, CENTERED IN WALL OR LOCATED AS PER DIMENSIONS ON PLANS

**WINDOWS**

SIZES SHOWN ARE NOMINAL  
FRAMER TO VERIFY ALL ROUGH OPENINGS WITH WINDOW ORDER PRIOR TO CONSTRUCTION

**LINTEL NOTES**

ALL OPENINGS LINTELS TO BE 2- 2x10 #2 SPR UNLESS OTHERWISE REQUIRED BY ENGINEER OR SUPPLIER. (ALL OPENINGS OVER 6'-0" TO BE REVIEWED.)

**STAIRS**

TREADS - 1" PLYWOOD x 11" MINIMUM (INCLUDING NOSING)  
RISERS - 1/2" PLYWOOD x 7 7/8" MAX  
STRINGERS - 2 x 10 TYPICAL  
TREADS AND RISERS SHALL HAVE UNIFORM RISE AND RUN

**POST AND PAD FOOTINGS**

AS PER ENGINEERING AND FOUNDATION PLAN LAYOUTS

**GENERAL NOTES**

SMARTTRIM OR PREFINISHED ALUMINIUM FASCIA BOARD TYPICAL (AS PER ELEV'S)  
PREFINISHED ALUMINIUM EAVESTROUGH TYPICAL. PREFINISHED ALUMINIUM VENTED SOFFIT U.N.O.

TRUSS MANUFACTURER TO VERIFY ALL ROOF SLOPE AND TRUSS DESIGNS PRIOR TO FABRICATION

ALL 8'-0" & 9'-0" INTERIOR WALLS @ 24" O.C. SPACING. ALL 10'-0" @ 16" O.C. SPACING UNLESS NOTED OTHERWISE.  
ALL EXTERIOR AND LOAD BEARING WALLS OVER 11'-8" REQUIRE ENGINEERED TALL WALL DETAILS. SEE NBC 9.23.10.1  
REFER TO SPEC IF SPECIFIC SPACING IS REQUIRED BEHIND KITCHEN CABINETS OR BUILT INS.

WINDOW SIZES ARE NOMINAL. REFER TO MANUFACTURERS SPECIFICATIONS FOR EXACT ROUGH OPENING SIZES  
INSULATED WALLS WITHIN 4'-0" OF THE FURNACE AND WATER HEATER  
INSULATED WALLS ADJACENT TO STAIRS AND LANDINGS TO BE DRYWALLED  
INSULATED WALLS AT BASEMENT LAUNDRY TO BE DRYWALLED (WHERE APPLICABLE)

PROVIDE MINIMUM 45 MINUTE FIRE RESISTANT RATING TO WALLS LESS THAN 1.2m (4'-0") FROM PROPERTY LINES.

ALL RIM JOISTS TO HAVE R20 BATT INSULATION AND VAPOUR BARRIER TYPICAL. REFER TO DETAIL.

ANY DISCREPANCIES TO BE REPORTED TO ELLERGODT DESIGN INC. PRIOR TO CONSTRUCTION

SPRAY FOAM CCMC#:  
1/2b - (LD-C-50) 12070-R  
2/b - (MD-C-200v2) 13593-L

UNDERSLAB INSULATION TYPICAL  
CCMC # 12425-L

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SCALE:	As indicated
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REVISION HISTORY	
JW	DATE
PRELIMINARY SITE	NOV 14, 2025
PRESENTATION #1	DEC 15, 2025
PRESENTATION #2	JAN 15, 2026
DEVELOPMENT PERMIT	FEB 13, 2026
TENDER DRAWINGS	FEB 19, 2026
DETAILED REVIEW RESP.	APR 10, 2026

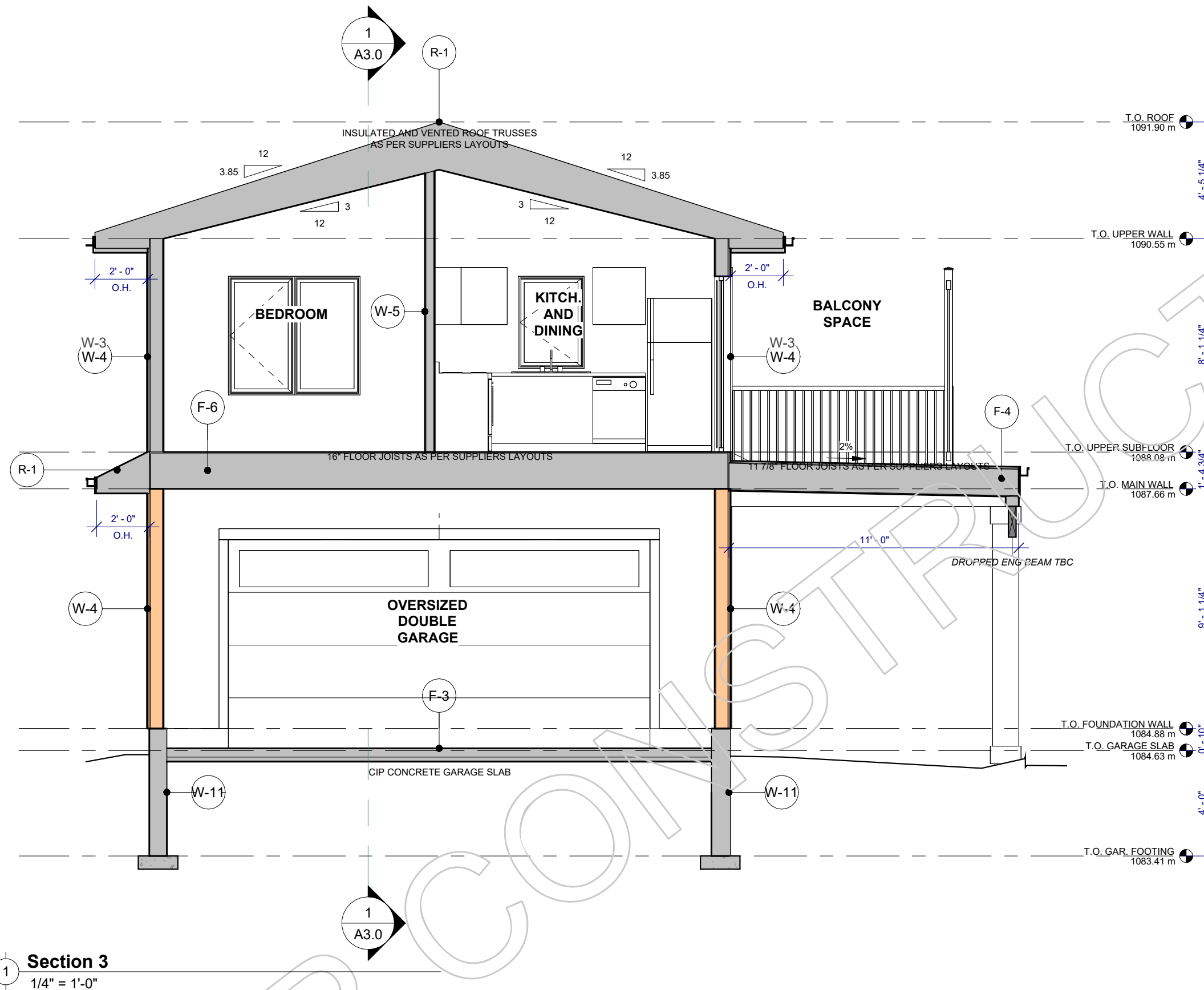
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BUILDING SECTION  
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Section 3  
1/4" = 1'-0"

DEVELOPMENT  
PERMIT  
DECISION  
RENDERED  
ON THIS PLAN

9.36 PERFORMANCE REQUIREMENTS

<p><b>Climate Zone: 7A (5000-5999 HDD)</b></p> <p>With HRV</p> <p>Heat Recovery Ventilator Model: Lennox HRV3-300 Ventilation Capacity - 4200 sq.ft. Energy Recovery - 90%</p> <p>Effective Thermal Resistance (RSI)</p> <p>WALLS NBC-2023AE 9.36.2.6.(1) (w/ HRV) - RSI 2.97 W1, W2, W3, W4, W5</p> <p>WALLS TO UNCONDITIONED GARAGE NBC-2023AE 9.36.2.6.(1) (w/ HRV) - RSI 2.81 W6</p> <p>RIM JOIST NBC-2023AE 9.36.2.6.(1) (w/ HRV) - RSI 2.97 R1</p>	<p><b>FOUNDATION WALLS</b> NBC-2023AE 9.36.2.6.(1) (w/HRV) - RSI 2.98 F1, F2</p> <p><b>CEILING BELOW ATTICS EFFECTIVE</b> NBC-2023AE 9.36.2.6.(1) (w/HRV) - RSI 8.67 C1</p> <p><b>VAULTED CEILINGS &amp; FLAT ROOFS</b> NBC-2023AE 9.36.2.6.(1) (w/HRV) - RSI 5.02 C2, C3, C4</p> <p><b>SKYLIGHT SHAFT</b> NBC-2023AE 9.36.2.6.(1) (w/HRV) - RSI 2.97 C5</p> <p><b>ATTIC ACCESS HATCH</b> NBC-AE 9.36.2.6.(1) (w/HRV) - RSI 2.81 C6</p> <p><b>FLOORS OVER UNHEATED SPACES</b> NBC-2023AE 9.36.2.6.(1) (w/HRV) - RSI 5.02 G1, G2</p> <p><b>HEATED FLOORS</b> NBC-2023AE 9.36.2.6.(1) (w/HRV) - RSI 2.84 H1</p> <p><b>UNHEATED FLOORS ABOVE FROST LINE</b> NBC-2023AE 9.36.2.6.(1) (w/HRV) - RSI 1.96 H2</p>	<p><b>FLOORS OVER UNHEATED SPACES</b> NBC-2023AE 9.36.2.6.(1) (w/HRV) - RSI 5.02 G1, G2</p> <p><b>HEATED FLOORS</b> NBC-2023AE 9.36.2.6.(1) (w/HRV) - RSI 2.84 H1</p> <p><b>UNHEATED FLOORS ABOVE FROST LINE</b> NBC-2023AE 9.36.2.6.(1) (w/HRV) - RSI 1.96 H2</p> <p><b>REQUIRED INSULATION VALUES</b></p> <p>WINDOWS - MAX. USI-VALUE = 1.60 W/m k2 - MIN (ER) = 25 DOORS - MAX. USI-VALUE = 1.60 W/m k2 - MIN (ER) = 25 SKYLIGHTS - MAX. USI-VALUE = 2.70 W/m k2 GLASS BLOCK - MAX. USI-VALUE = 2.90 W/m k2 VEHICLE ACCESS DOOR - MAX. USI-VALUE = 1.10 W/m k2</p> <p><b>MINIMUM EQUIPMENT REQUIREMENTS</b></p> <p>HEAT RECOVERY VENTILATOR - 60% @ 0 deg. C C - 55% @ -25 deg. C HIGH EFFICIENCY FURNACE - 82% HIGH EFFICIENCY HOT WATER TANK - 67%</p>	<p><b>AIR BARRIER GENERAL NOTES</b></p> <p>1. SLAB FOUNDATION WALL The floor slab air barrier must be made air tight by connecting the air barrier to the element that forms the air barrier in the foundation wall. In most cases this will be a connection between the polyethylene and the foundation wall.</p> <p>2. INTERIOR WALL INTERFACE Interior walls that meet exterior walls or ceilings with an interior plane of airtightness must be made airtight by either sealing all junctions between the structural components, covering the structural components with an air barrier material and sealing it to the adjacent air barrier material, or maintaining the continuity of the air barrier system through the interior wall.</p> <p>3. RIM JOIST All joints at the rim joist assembly must be made airtight by sealing all joints and junctions between the structural components with an air barrier material.</p> <p>4. CANTILEVER FLOOR Cantilevered floors and floors over unheated exterior space must be made airtight by sealing all joints and junctions between the structural components, or covering the structural components with an air barrier material and sealing it to the adjacent air barrier material.</p>	<p>5. WINDOW HEAD AND SILL The interface between the window head/jamb and the wall assembly must be made airtight by sealing all joints and junctions between the air barrier material in the wall and the window. The requirement also applies to doors and skylights.</p> <p>6. MECHANICAL FLUES AND CHIMNEYS Steel lined chimneys that penetrate the building envelope must be made airtight by blocking the void between required clearances for metal chimneys and surrounding construction with sheet metal and sealant capable of withstanding high temperatures. Wall vented duct penetrations through the building envelope must have an airtight seal.</p> <p>7. PLUMBING STACKS Plumbing vent stack pipes that penetrate the building envelope must be made airtight by either sealing the air barrier material to the vent stack pipe with a compatible material or sheathing tape, or installing a rubber gasket or prefabricated roof flashing at the penetration of the plane or airtightness and sealing it to the adjacent air barrier.</p> <p>8. SKYLIGHTS The interface between the skylight and wall assembly must be made airtight by sealing all joints and junctions between the air barrier material in the wall and skylight.</p>	<p>9. BATHROOM EXHAUST FANS Air leakage occurs between the housing and the air barrier and through the perimeter at electrical connections and the duct port. Installing a box or polyethylene cover which is sealed to the air barrier around the bathroom fan is an effective way to deal with this issue.</p> <p>10. POTLIGHTS Air leakage occurs between the housing and air barrier through the fixture housing holes and it's electrical connections. Installing boxes around the pot lights which are sealed to the air barrier is an effective way to deal with this issue. Other options are to use spray foam insulation or a shaped polyethylene cover.</p> <p>11. WALL TO CEILING All joints at the transition between the above grade wall and ceiling must be made airtight by sealing all joints and junctions between structural components and/or covering the structural components with air barrier material.</p> <p>12. ELECTRICAL PENETRATIONS IN WALLS Electrical penetrations in walls, including electrical outlets, wiring, switches and recessed light fixtures through the plane of airtightness must be airtight. Options include using a component that is designed to be airtight and sealing it to the adjacent air barrier material, or by covering the component with an air barrier material, and including adequate structural support.</p>
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<b>PROJECT INFO</b>	
CLIENT/PROJECT:	S&O - GARAGE SUITE
LEGAL ADDRESS:	Lots 31 & 32, Block 17, Plan 5299T
CIVIC ADDRESS:	1420 6th ST. N.W.
<b>DRAWING INFORMATION</b>	
STATUS:	DEVELOPMENT PERMIT
PROJECT LEAD:	J.WILLSIE
CHECKED BY:	STUDIO
SCALE:	As indicated
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