

**REPORT TO THE SUBDIVISION AND
DEVELOPMENT APPEAL BOARD**

DATE: June 19, 2025	APPEAL NO.: SDAB2025-0065 FILE NO.: DP2025-01809
APPEAL BY: Candice Ross represented by Carol McClary	
FROM A DECISION OF THE DEVELOPMENT AUTHORITY where a New: Single Detached Dwelling was approved at <u>1711 48 Avenue SW.</u>	LAND USE DESIGNATION: R -CG Discretionary
COMMUNITY OF: Altadore	DATE OF DECISION: May 1, 2025
APPLICANT: SANTHA DESIGN	OWNER: Shannon Higgins

Notes:

- Notice has been given of the hearing pursuant to the *Municipal Government Act* and Land Use Bylaw, including notices to parties who may be affected by the appeal. The final determination of whether a party is an “affected person” will be made by the Board if required.
- This Report is provided as a courtesy only. The Board’s record may include additional materials, including notifications to affected parties and correspondence of a procedural or administrative nature. The Board’s record may be viewed at the Appeal Board office at: 4th Floor, 1212 31 Avenue NE, Calgary, Alberta during regular office hours.

In accordance with Sections 678 and 686 of the Municipal Government Act and The City of Calgary Bylaw 25P95, as amended, an appeal to the Subdivision and Development Appeal Board must be filed within the legislated time frame and each Notice of Appeal must be accompanied by the legislated fee.

Municipal Address of Site Under Appeal [required]	1711 48 Avenue SW
Development Permit/Subdivision Application/File Number [required]	DP2025-01809
Name of Appellant [required]	Candice Ross
Agent Name (if applicable)	Carol McClary
Street Address [required]	1707 48 Ave SW
hdnFullAddress	1707 48 Ave SW Calgary AB T2T 2T2
City [required]	Calgary
Province [required]	Alberta
Postal Code [required]	T2T 2T2
Residential Phone # [required]	(403) 852-1348
Business Phone #	
Email Address [required]	candice.ross@shaw.ca

APPEAL AGAINST

Required field. Check one item only: for multiple appeals you must submit another Notice of Appeal.

Development Permit Approval

I do hereby appeal the decision
of the Subdivision/Development
Authority for the following rea-
sons [required]

1. The subject house was previously approved AND HAS ALREADY BEEN CON-
STRUCTED under a Contextual Single Detached development permit DP2023-06814.
This development permit was a negotiated resolution to a previously filed appeal. In
order to avoid the appeal, the homeowner and developer agreed to construct a Con-
textual Single Detached Dwelling on the parcel (which could not be appealed). It is
clear from the application for DP2025-01809 that there was never any intention to
comply with the bylaw requirements of a Contextual Single Detached Dwelling as the
plans have reverted back, and the owner is now seeking approval under a Discretion-
ary Use - New - Single Detached Dwelling. Approval of this development permit in this
manner makes a mockery of the bylaws, the development approval process, and the
law makers who enacted the requirements for a Contextual Single Detached Dwelling
as it allows owners and builders to simply seek "forgiveness" after they have disre-
garded the requirements.
2. Notice for this development permit was only posted on the property for 1 day, likely
in the hopes that I would miss any response or appeal period. The City planner was
advised of this but approved it regardless, without requiring further notice.
3. Such further and other reasons as may arise after careful examination of the discre-
tionary use permit.

In order to assist the Board in scheduling, please answer the following questions to the best of your ability:

Estimated Presentation Time 1 hour

Will you be using an agent/legal
counsel? [required] Yes

Do you anticipate any preliminary
issues with your appeal? (i.e.
jurisdiction, parties status as
affected persons, adjournment,
etc.)? [required] Unknown

If yes, what are the issues?

Do you anticipate bringing any
witnesses/experts to your hear-
ing? [required] Yes

If yes, how many will you be
bringing? 2



I confirm and acknowledge that

- I have read and understood this form;
- The information I have provided is accurate to the best of my knowledge; and
- I am responsible for paying the appeal fee and my notice of appeal will not be considered filed until my appeal fee has been received.

Submission Date

2025-05-23 18:57:54 MST

This personal information is collected under the authority of the Freedom of Information and Protection of Privacy Act, section 33(c) and the Municipal Government Act, Sections 678 and 686. THIS INFORMATION WILL BE USED FOR PROCESSING YOUR APPEAL AND WILL BECOME PART OF A PUBLIC AGENDA. If you have any questions regarding the collection of this information, contact the Tribunal Coordinator, City Appeal Boards at 403-268-5312 or PO Box 2100, Stn "M", #8110, Calgary, AB, T2P 2M5.

If you require further information regarding appeal deadlines and procedures, please contact the SDAB office at:

Website: calgary.ca/sdab

Phone: (403) 268-5312

Email: info@calgarysdab.ca



The City of Calgary
Planning & Development Services

Development Authority Appeal Response

Appeal Number: SDAB2025-0065

Development Permit Number: DP2025-01809

Address: 1711 48 AV SW

Description: New: Single Detached Dwelling

Land Use: Residential – Grade-Oriented Infill (R-CG)

Community: Altadore

Identified Appeal Body:

Subdivision and Development Appeal Board (SDAB)

Development Authority Attendance: No

Use: Discretionary

Notice Posted: Completed as per Bylaw


Public Response(s) Received? Yes, responses included in the Board Report

Applicable Planning Policies:

- West Elbow Communities Local Area Plan (the Plan)
- The Low Density Residential Guidelines for Established Communities (Infill Guidelines)

Bylaw Relaxations:

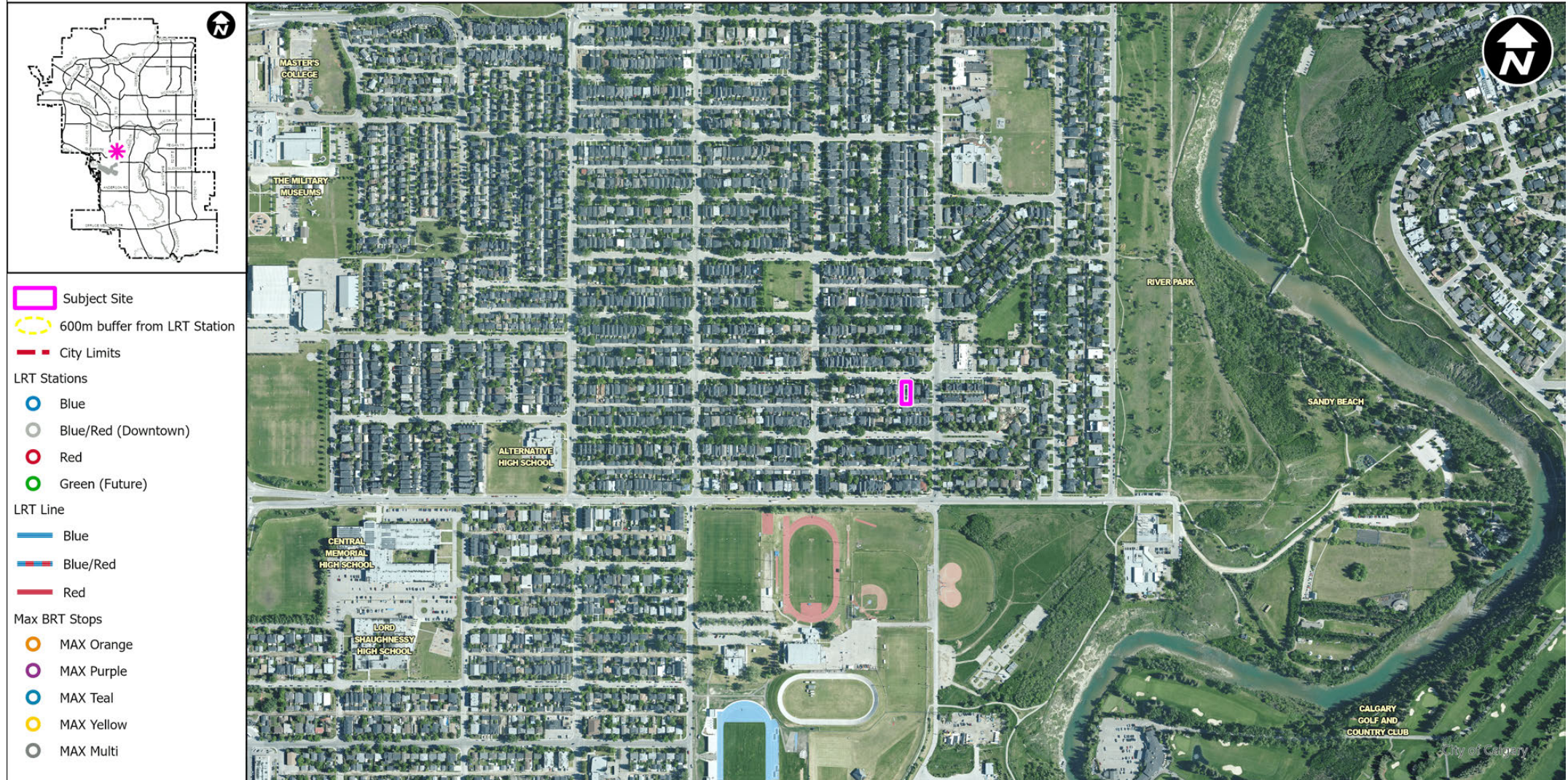
The development requires the following Land Use Bylaw relaxations:

Regulation	Standard	Provided
541 Building Height	(2) Where a building setback is required from a property line shared with another parcel designated with a low density residential district, the M-CG District or H-GO District, the max building height: (a) is the greater of: (i) the highest geodetic elevation of a main residential building on the adjoining parcel; or	Plans indicate portions of the roof are located within the maximum building height chamfer established from both side property lines. 
535 Building Depth and Separation	(1) Unless otherwise referenced in subsections (2) and (3) the maximum building depth is 65.0% of the parcel depth for a building containing a unit.	Plans indicate a building depth of 24.91m (+0.61m) or 66.76% (+1.76%) of the parcel depth.

Additional Factors, Considerations, and/or Rationale:

















1. Please see the Reasons for Approval.
2. In response to the Notice of Appeal:
 - a. The notice posting sign was posted on April 4, 2025 and was picked up on April 14, 2025.
 - b. The building height has not changed, however the method used to measure height was changed when the blanket re-zoning came into effect on August 3, 2024 on this parcel changing it from R-C2 to R-CG, which now results in a height relaxation.
3. The Development Authority may provide additional materials prior to the merits hearing.

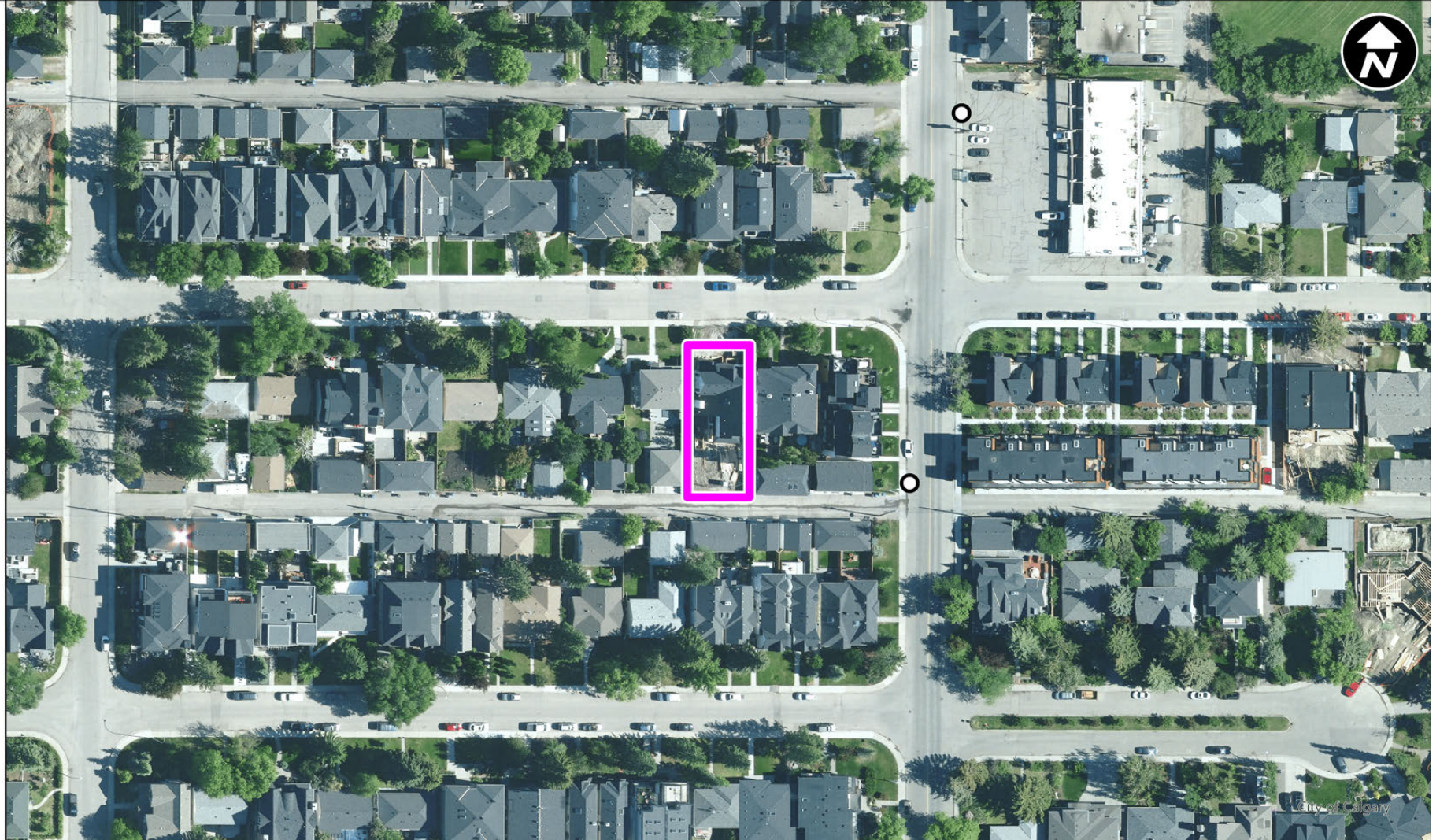
Community Context SDAB2025-0065



SDAB2025-0065

Site Context SDAB2025-0065

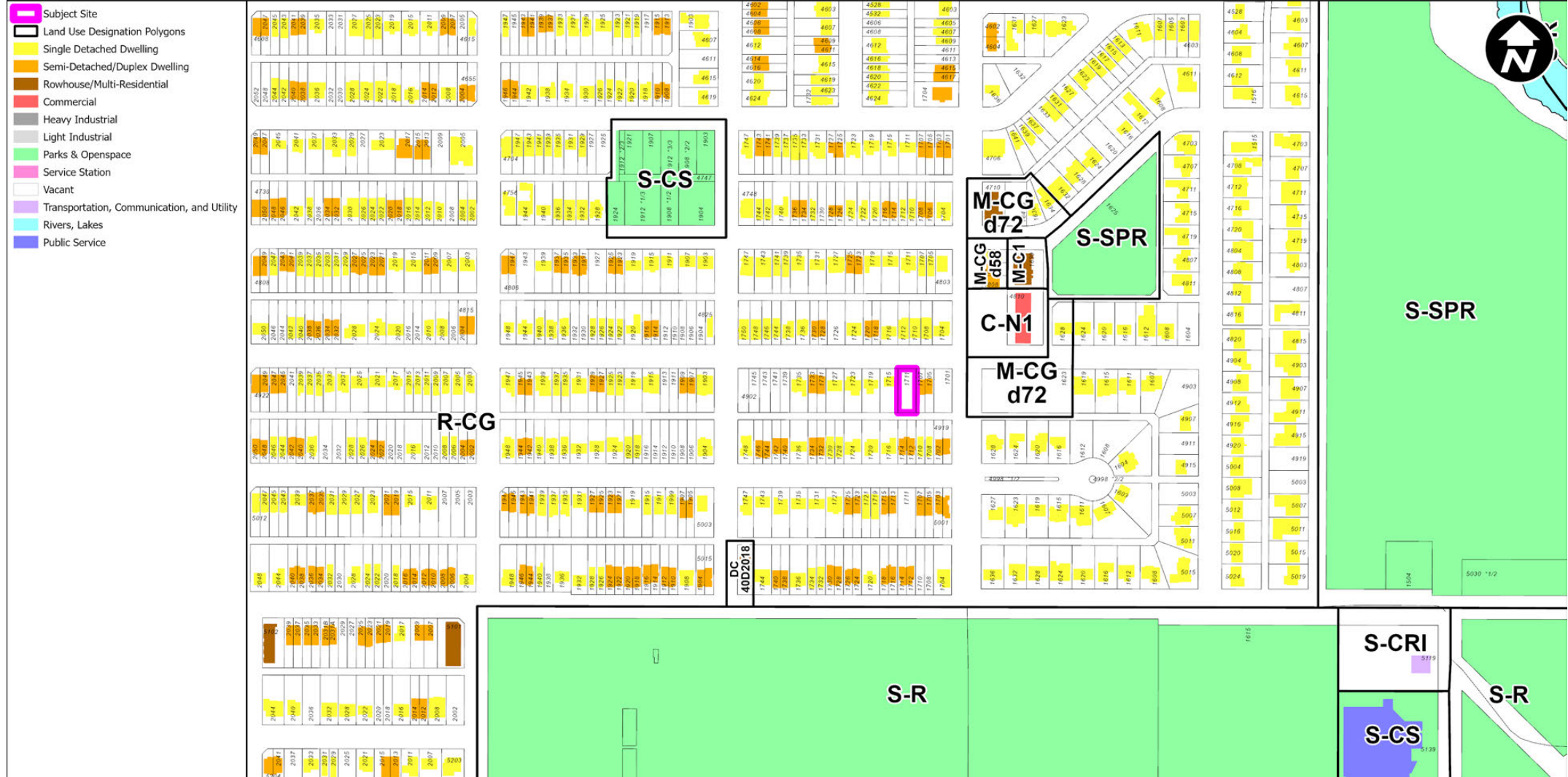
-  Subject Site
 600m buffer from LRT Station
 City Limits
- LRT Stations
-  Blue
 -  Blue/Red (Downtown)
 -  Red
 -  Green (Future)
- LRT Line
-  Blue
 -  Blue/Red
 -  Red
- Max BRT Stops
-  MAX Orange
 -  MAX Purple
 -  MAX Teal
 -  MAX Yellow
 -  MAX Multi
 -  Bus Stop



SDAB2025-0065



Surrounding Land Use SDAB2025-0065





May 2, 2025

SANTHA DESIGN



Dear Applicant:

RE: Notification of Decision: DP2025-01809

Subject: New: Single Detached Dwelling

Address: 1711 48 AV SW

This is your notification of decision by the Development Authority to approve the above noted application on May 1, 2025.

Read all of the Permanent Conditions of approval carefully as they form part of the approval decision. Advisory Comments, if applicable, are also attached and are intended to be of assistance in obtaining additional permits and supplementary information for the successful completion of your development.

Development approved by this permit must commence by May 1, 2027 or the development permit shall cease to be valid. The decision will be advertised beginning May 8, 2025 at www.calgary.ca/publicnotices, which is the start of the mandatory 21-day appeal period. This appeal period will conclude at midnight May 29, 2025. Release of the permit will occur within 2-4 business days following the conclusion of the appeal period and upon receipt of all Prior to Release requirements.

If you wish to appeal, submit your appeal with reasons and the \$200.00 filing fee to the Subdivision and Development Appeal Board within 21 days of this notice of decision being given. The appeal may be filed online at www.calgarysdab.ca or in person or by mail.

Please note that this letter is to advise you of the conditions of approval, the mandatory advertising appeal period and the timeframe in which you may appeal this decision. If no appeals have been filed during the appeal period, your Development Permit will be released. Should you require clarification of the above or further information, please contact me at 403-333-5492 or by email at jeff.martin@calgary.ca and assist me by quoting the Development Permit number.

Yours truly,

Jeff Martin
Senior Planning Technician
Planning and Development
Attachment(s)



**DEVELOPMENT PERMIT
LAND USE BYLAW NO 1P2007**

DP2025-01809

This permit relates to land in the City of Calgary municipally described as:

1711 48 AV SW

Community: **Altadore**

L.U.D.: **R-CG**

and legally described as:

5770AJ;7;43,44

and permits the land to be used for the following development:

New: Single Detached Dwelling

The present owner and any subsequent owner of the above described land must comply with any attached conditions.

The development has been approved subject to any attached conditions and to full compliance with the approved plans bearing the stamp of approval and the above development permit number.

Decision By: **Development Authority**

Date of Decision: **May 1, 2025**

Development Authority: **Melanie D Meadows**

File Manager: **Jeff Martin**

Release Date: _____

This permit will not be valid if development has not commenced by: May 01, 2027

This Development Permit was advertised on: **May 08, 2025**

This is NOT a Building Permit

In addition to your Development Permit, a Building Permit may be required, prior to any work commencing. further information, you should contact the City of Calgary, Planning, Development & Assessment - Building Regulations Division.

WARNING

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Applicant: **SANTHA DESIGN**

Address: **85 Cimarron Vista Ci**

City: **Okotoks, Alberta, T1S 0H8**

Phone: **[REDACTED]**



**DEVELOPMENT PERMIT
LAND USE BYLAW NO 1P2007**

DP2025-01809

Complete Address and Legal Description listing for Development Permit DP2025-01809

Address Type	Address	Legal Description
Parcel	1711 48 AV SW	5770AJ;7;43,44



Conditions of Approval – Development Permit

Application Number:	DP2025-01809
Application Description:	New: Single Detached Dwelling
Land Use District:	Residential - Grade-Oriented Infill
Use Type:	Discretionary
Site Address:	1711 48 AV SW
Community:	ALTADORE
Applicant:	SANTHA DESIGN
Planning:	JEFF MARTIN 403-333-5492 jeff.martin@calgary.ca

Permanent Conditions

The following permanent conditions shall apply:

Planning

1. The development shall be completed in its entirety, in accordance with the approved plans and conditions. The stamped and signed plans are a legal document.
2. No changes to the approved plans shall take place unless authorized by the Development Authority. If changes to the development occur or are proposed, a new development permit or revised plan application may be required.
3. A Development Completion Permit is required prior to the development being occupied.

Advisory Comments

The following advisory comments are provided as a courtesy to the Applicant and registered property owner. The comments represent some, but not all of the requirements contained in the Land Use Bylaw that must be complied with as part of this approval.

Planning

4. The Applicant may appeal the decision of the Development Authority, including any of the conditions of the development permit. If you decide to file an appeal, please refer to the notification of decision letter for the appropriate appeal body and appeal process.
5. The approval of this development permit does not limit in any way the application of any federal, provincial, or municipal law, policy, code, regulation, bylaw, and/or guideline, nor does it constitute any permit or permission under any federal, provincial, or municipal law, policy, code, regulation, bylaw, and/or guideline.
6. In addition to this development permit, building permits may also be required. Building permit applications may be submitted upon approval of the associated development permit. Contact Building Regulations at 403-268-5311 for further information.
7. This development permit has not been reviewed for potential issues with the National Building Code - current Alberta Edition. You may require a Building Permit in addition to this development permit in which case compliance with the Code will be assessed through a Building Permit application. Should a Building Permit review require changes to the approved development permit, the changes must be to the satisfaction of the Development Authority and are potentially subject to a new development permit.
8. All plumbing services including sanitary, storm and water must be verified onsite by the owner and/or builder to ensure the size and location is compliant with the National Plumbing Code of Canada for the number of fixtures being installed. The waterline must be of the size that is indicated on the grade slip, but in no case smaller than 1 in size.
9. A minimum of three trees must be planted on the parcel. This may be accomplished by planting new trees or preserving existing trees. The trees must be of a species capable of healthy growth in Calgary and must conform to the standards of the Canadian Nursery Landscape Association. To satisfy the requirement of one tree, the following sizes must be met:
 - a. A deciduous tree with a minimum calliper of 50.0mm; or
 - b. A coniferous tree with a minimum height of 2.0 metres.
 To satisfy the requirement of two trees, the following sizes must be met:
 - a. A deciduous tree with a minimum calliper of 85.0mm; or
 - b. A coniferous tree with a minimum height of 4.0 metres.
 The required trees must be provided on the parcel within 12 months of issuance of the development completion permit (DCP) and maintained for a minimum of 24 months after issuance of the DCP.

Track your application on-line with VISTA. Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

10. There are many types of caveats and other agreements that can be registered on the title of the property that can restrict the ability to develop. The City has not reviewed or considered all instruments registered on the title to this property. Property owners must evaluate whether this development is in compliance with any documents registered on title.



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Reasons for Approval for DP2025-01809

The Reasons for Approval document is intended to provide a short summary of the development permit process; response to concerns raised by neighbours, other affected parties and the Community Association; and rationale for any relaxations of the Land Use Bylaw granted by the Development Authority. Only the approved plans and conditions of approval are the subject of an appeal.

Scope and Process

Development Scope:

The application is for a discretionary Single Detached Dwelling located at 1711 48 Av SW in the community of Altadore. The site is located within the R-CG district and is adjacent to low density dwellings to the north, south, east and west. The existing parcel is an internal lot located mid-block along the block face. Primary vehicle access for adjacent dwellings is provided from the rear lane. Vehicular access for the subject parcel is provided from the rear lane.

The subject dwelling was previously approved under DP2023-06814 as a *New: Contextual Single Detached Dwelling*. At the time of approval, the subject parcel was designated as being within the R-C2 district. During the construction process a change to add a covered patio was submitted. The proposed change would increase the parcel coverage and building depth, therefore a new DP application was required. Between the initial approval and submission of DP2025-01809, the parcel designation was changed to R-CG because of the City-wide blanket rezoning.

The subject parcel contains an Accessory Building (garage), Backyard Suite (above garage) which was approved under DP2023-09060. The Accessory Building (garage), Backyard Suite remains unchanged by the submission of DP2025-01809.

Circulation and Notice Posting:

The following referees were circulated:

1. Public Infrastructure – Comments received. Off-site Levy required.
2. Enmax – Comments received. No conflict with utilities.
3. Ward 8 Councillor – No comment provided.
4. Marda Loop Community Association – No comment provided.
5. As per Land Use Bylaw requirements, the application was notice posted for a 1-week period. Objection received from area resident and submitted through email.

The following is a summary of comments received:



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- Email 1 from neighbour - Inquiry regarding proposed scope and complaint regarding length of notice posting.
- Email 2 from neighbour – Request to extend length of notice posting by 1 week.
- Email 3 from Carol McClary Planning Solutions – Objection submitted on behalf of neighbour regarding update to proposed project scope.

These comments were addressed in the following manner:

- File Manager responded to neighbour with explanation of update to proposed development.
- File Manager confirmed start date and duration of notice posting.
- File Manager received 2 emails from neighbour – both responses included the standard objector template.
- The letter submitted by Carol McClary Planning Solutions (CMPS). CMPS has been engaged by the neighbour to represent their interests on planning matters related to subject development. The letter submitted by CMPS cites objections to the proposed development, must notably the inclusion of a covered patio with outdoor fireplace which increases the building depth.
- File Manager responded to CMPS with the standard objector template.

Comments on Relevant City Planning Policies

South Calgary / Altadore Area Redevelopment Plan:

2.1 Objective.

To preserve and enhance the established residential character of the community while identifying where compatible infill development may be accommodated.

The ARP seeks an enhancement of the original neighborhood character by encouraging thoughtful and purposeful design through infill development. The proposed development proposes an updated development that positively contributes to the fabric of the existing neighborhood.

The Low Density Residential Housing Guidelines for Established Communities (Infill Guidelines)

Section 4.2, Context

New development should be designed in a manner which is responsive to the local context.

The subject development proposes a design that identifies with the existing neighbourhood context by proposing a building form that matches the typical pattern of development for the area. The typical built form is a primary building at the front of the parcel with vehicular access from rear portion of the parcel. The proposed development aligns with the precedence set along the existing streetscape.



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Section 4.3.5, Parcel Coverage

Parcel coverage for new development should include all proposed and future accessory buildings.

The development complies with the parcel coverage rule, as described within Land Use Bylaw 1P2007. The proposed development occupies an acceptable portion of the lot without exceeding the parcel coverage threshold.

Section 4.4, Building Mass

New development should respect the existing scale and massing of its immediate surroundings.

The proposed development has a building mass that respects the immediate surroundings. The proposed design maintains appropriate scale and proportions which cause the development to find a natural fit within the existing streetscape

Land Use Bylaw 1P2007

The existing land use for the site is Residential – Grade Orientated Infill District (R-CG). The R-CG district is intended to accommodate existing residential development and contextually sensitive grade-oriented development.

A bylaw check of the proposed development identified discrepancies which are highlighted in the chart below. These discrepancies do not unduly interfere with the amenities of the neighbourhood nor do they interfere with or affect the use, enjoyment, or value of neighbouring parcels of land. The proposed development meets the intent of the land use district.

Bylaw Discrepancies

Regulation	Standard	Provided
541 Building Height	(2) Where a building setback is required from a property line shared with another parcel designated with a low density residential district, the M-CG District or H-GO District, the max building height: (a) is the greater of: (i) the highest geodetic elevation of a main residential building on the adjoining parcel; or	Plans indicate portions of the roof are located within the maximum building height chamfer established from both side property lines. Relaxation supported



The City of Calgary

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535 Building Depth and Separation	(1) Unless otherwise referenced in subsections (2) and (3) the maximum building depth is 65.0% of the parcel depth for a building containing a unit.	Plans indicate a building depth of 24.91m (+0.61m) or 66.76% (+1.76%) of the parcel depth. Relaxation supported
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Planning Review

During the review, the Development Authority considered the Land Use Bylaw Rules and the appropriateness of the development in relation to the context of the neighbourhood.

The proposed development requires a relaxation for the *Chamfer Height Rule*. The relaxation is justified as it is limited to a small portion of the roof structure located toward the front of the dwelling. The roof peak is compliant with the maximum building height calculation and the relaxation is limited to the chamfer rule as it relates to building height. The Development Authority determined that the above noted relaxation was acceptable and there will be minimal impact upon the adjacent properties.

The proposed development requires a relaxation for the *Building Depth* rule. The relaxation is justified as it is limited to a minor portion of the covered patio with outdoor fireplace located at the rear of the dwelling. The covered patio is designed as a single storey with minimal building mass. The covered patio structure is at the main floor level and does not offer any opportunity for overlooking into the adjacent parcel. The Development Authority determined that the above noted relaxation was acceptable, and the intent of the rule has been met.

The development is sensitive to the local context through building design, building placement, and finish material. In addition, the proposed development respects the intent of the Infill Housing Guidelines, the community Area Redevelopment Plan and Land Use Bylaw 1P2007.



**APPLICATION FOR A DEVELOPMENT PERMIT
LAND USE BYLAW NO 1P2007**

578570591-001

Application Date **Mar 28, 2025**

Taken By:

APPLICATION NO DP2025-01809

I/We hereby make application for a Development Permit under the provisions of the Land Use Bylaw in accordance with these plans and supporting information submitted herewith and which form part of this application.

Total Fees: \$0.00**Cart #:** **Applicant: SANTHA DESIGN****Address: 85 Cimarron Vista Ci****City: Okotoks, Alberta, T1S 0H8****Phone:** **Parcel Address: 1711 48 AV SW****Legal: 5770AJ;7;43,44****L.U.D.: R-CG****Community: ALTADORE****Sec. Number: 5C Ward: 08****Description: New: Single Detached Dwelling****Gross Floor Area: 3336 feet - squared
Dwelling Units: 1****Proposed Development is: Discretionary****Proposed Use: Single Detached Dwelling**

I agree to receive correspondence via electronic message related to this application.

By signing below, I confirm that the contact information provided above is accurate and further, acknowledge the ability of the General Manager - Planning and Development to inactivate and cancel incomplete applications.

Applicant / Agent Signature: _____ **Date:** _____

The personal information on this form is being collected under the authority of The Municipal Government Act, Section 640, and The City of Calgary Land Use Bylaw 1P2007 (Part 2) and amendments thereto. It will be used for the permit review and inspection processes. It may also be used to conduct ongoing evaluations of services received from Planning, Development & Assessment. The name of the applicant and the nature of the permit will be available to the public. Please send inquiries by mail to the FOIP Program Administrator, Planning, Development & Assessment, PO Box 2100, Station M, Calgary, AB T2P 2M5 or contact us by phone at 311.

Track your application on-line with **VISTA** Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) **DP2025-01809** or call our Planning Support Centre at (403)268-5311.

SDAB2025-0065



LAND TITLE CERTIFICATE

B

LINC	SHORT LEGAL	TITLE NUMBER
0015 883 250	5770AJ;7;43,44	191 134 560

LEGAL DESCRIPTION

PLAN 5770AJ

BLOCK 7

LOTS 43 AND 44

EXCEPTING THEREOUT ALL COAL

ESTATE: FEE SIMPLE

ATS REFERENCE: 5;1;24;5;SE

MUNICIPALITY: CITY OF CALGARY

REFERENCE NUMBER: 981 135 634

REGISTERED OWNER(S)				
REGISTRATION	DATE (DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
191 134 560	05/07/2019	TRANSFER OF LAND	\$719,900	CASH

OWNERS

SHANNON HIGGINS
 OF 1711 48 AVE SW
 CALGARY
 ALBERTA T2T 2T2

ENCUMBRANCES, LIENS & INTERESTS

REGISTRATION		
NUMBER	DATE (D/M/Y)	PARTICULARS

NO REGISTRATIONS

TOTAL INSTRUMENTS: 000

(CONTINUED)

PAGE 2
191 134 560

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 16 DAY OF MARCH,
2023 AT 04:57 P.M.

ORDER NUMBER: 46747462

CUSTOMER FILE NUMBER:



END OF CERTIFICATE

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED
FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER,
SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM
INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION,
APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS
PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING
OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S) .

Shannon Higgins



Shannon Higgins

Contact name

1730 48th Ave SW

Contact address

Contact phone

Contact email

City of Calgary
 Planning & Development
 P.O. Box 2100, Stn. M, # 8108
 Calgary, AB, Canada T2P 2M5

To Whom It May Concern,

With regards to 1711 48th Ave SW, Calgary AB

property address

project name (if applicable)

Please be advised that I, Shannon Higgins am:
 full name

(select one)



the owner of the above mentioned property, and that I authorize



an officer or director of the owner(s) of the above mentioned property,
 and that I am authorized by that owner to authorize

SANTHA DESIGN INC.

CURT SANTHA

agent or company name

and/or its

applicant, consultant, contractor (if applicable)

to apply for any and all

DEVELOPMENT PERMIT APPLICATIONS

permit type

for the above mentioned property.

I further agree to immediately notify The City of Calgary, in writing, of any changes regarding the
 above information.

MARCH 27, 2025

date signed

signature of owner

Shannon Higgins

name of owner (printed)

IP DISCLAIMER: The personal information on this form is being collected under the authority of The Freedom of Information and Protection of Privacy Act, Section 33(c). It will be used to provide operating programs, account services and to process payments received for said services. It may also be used to conduct ongoing evaluations of services received from Planning & Development. Please send inquiries by mail to the FOIP Program Administrator, Planning & Development, PO Box 2100, Station M, Calgary, AB T2P 2M5 or contact us by phone at 311.



N.E. CORNER @ 1711 48 AVENUE S.W.



N.W. CORNER @ 1711 48 AVENUE S.W.



S.W. CORNER @ 1711 48 AVENUE S.W.



S.E. CORNER @ 1711 48 AVENUE S.W.



1705 48 AVENUE S.W.



1705 48 AVENUE S.W.



1715 48 AVENUE S.W.



1719 48 AVENUE S.W.



EXISTING DECK @ 1711 48 AVENUE S.W.

ROOF TO BE MODIFIED TO COMPLETELY
COVERED THE DECK



Abandoned Well Declaration

Application # _____
for office use only

Site Address: 1711 48 AVENUE S.W.

Legal Description: LOT : 43 & 44 BLOCK : 7 PLAN : 5770AJ

The *Municipal Government Act's Subdivision and Development Regulations (Alberta Regulation 160/2012)* requires developers to identify abandoned oil and gas wells and, where present, to comply with setback requirements as identified in the Energy Resources Conservation Board (ERCB) [Directive 079: Surface Development in Proximity to Abandoned Wells](#).

You are responsible for the accuracy of the information provided in this statement. The questions must be answered to the best of your knowledge based upon diligent inquiries and a thorough inspection and review.

1. Provide a map of the subject parcel showing the presence or absence of abandoned wells.

- [User Guide to Finding Abandoned Wells on GeoDiscover Alberta's Map Viewer](#)
- [Abandoned Well Locations on GeoDiscover Alberta's Map Viewer](#)

NOTE: The map must show the actual well location, as identified in the field, including the surface coordinates (available on the Abandoned Well Map Viewer or by contacting the ERCB Customer Contact Centre at 1-855-297-8311) and the 5 metre setback established in [ERCB Directive 079](#) in relation to existing or proposed building sites.

2. Are there abandoned Oil/Gas wells located within 5 m of the site? ☐ Yes ☒ No
If you answered 'yes', please answer question 3 and include the well location(s) on the site plan.

3. Have you contacted the licensee of the well(s) to confirm the exact location? ☐ Yes ☐ No
If you answered 'yes', you must have written confirmation included with your application.

Licensee Company Name _____ Licensee Contact _____

NOTE: Where a well is identified, the Development Authority must refer a copy of the application to the Licensee(s) of Record. The referral will include the applicant's contact information.

4. Who is submitting the Abandoned Well Declaration for this development?

☒ Applicant ☐ Owner ☐ Builder ☐ Other _____

Company Name SANTHA DESIGN INC. Contact Person CURT SANTHA

Address 85 CIMARRON VISTA CIRCLE -- OKOTOKS, AB. -- T1S 0H8

Phone [REDACTED] Cell Phone _____ Email [REDACTED]

5. Will the development result in construction activity within the setback area?

☐ Yes ☒ No

If you answered 'yes':

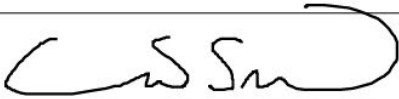
- Provide a statement confirming that the abandoned wells will be temporarily marked with on-site identification to prevent contact during construction; and
- Describe what measures will be taken to prevent contact during construction.

NOTE: This form is to be signed by the titled owner(s) of the property or their authorized agents or consultants.

I, the ☐ owner, ☒ authorized agent, ☐ authorized consultant, state that, to the best of my knowledge, the information provided in this statement is accurate, complete and is based on diligent inquiry and thorough inspection and review of all the documents and other information reasonably available pertaining to the subject property.

MARCH 27, 2025

Date



Applicant Signature

CURT SANTHA

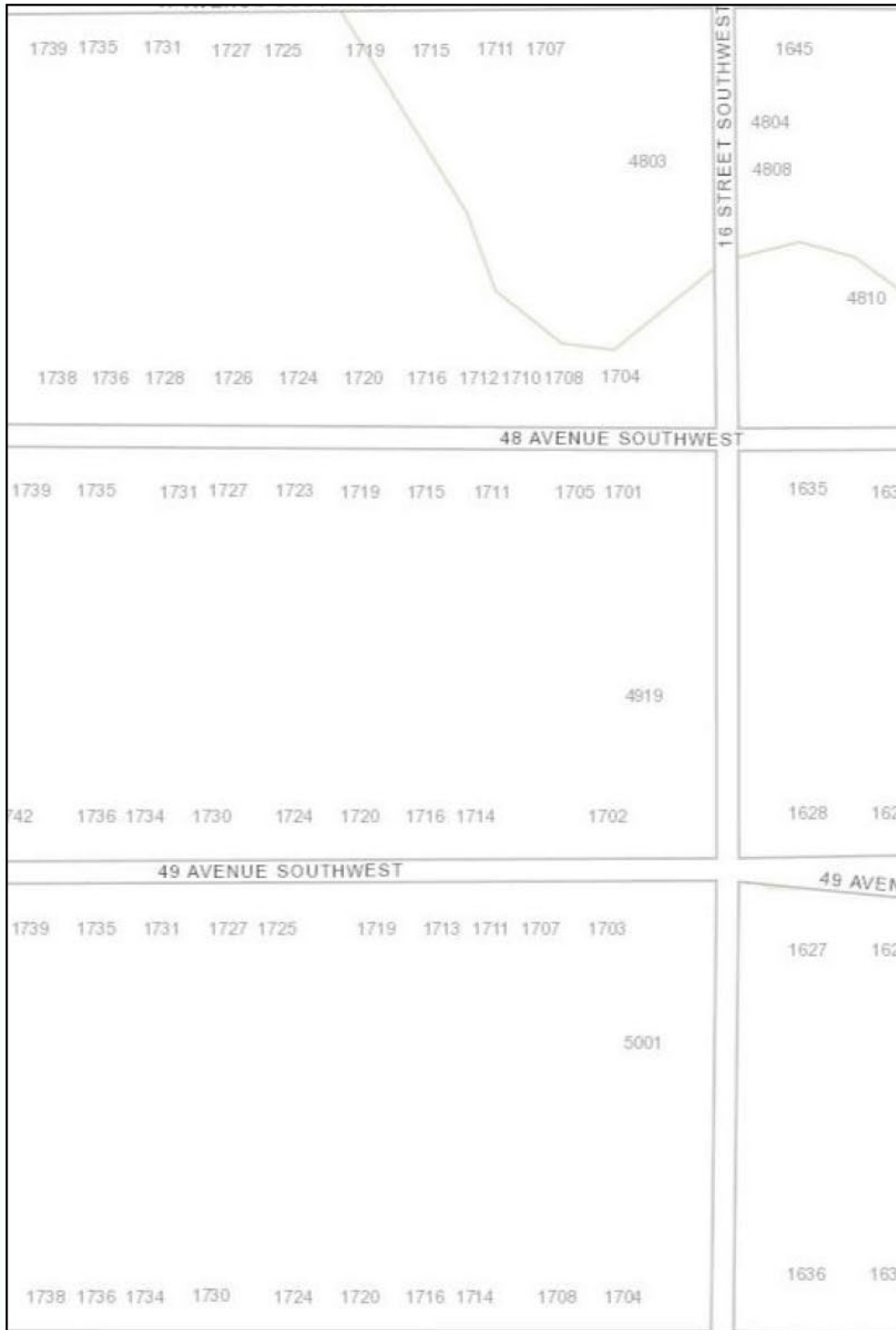
Applicant Name (Please Print)

SANTHA DESIGN INC.

Company Name (Please Print)

FOIP DISCLAIMER: The personal information on this form is being collected under the authority of The Freedom of Information and Protection of Privacy (FOIP) Act, Section 33(c). It will be used to provide operating programs, account services and to process payments received for said services. It may also be used to conduct ongoing evaluations of services received from Planning & Development. Please send inquiries by mail to the FOIP Program Administrator, Planning & Development, PO Box 2100, Station M, Calgary, AB T2P 2M5 or contact us by phone at 311.

Map Results



Legend

- ◇ Abandoned Wells (Large Scale)
- Abandoned_Well_Revised (Large Scale)
- Abandoned_Well_Loc_Pointer
- ATS v4_1 Alberta Provincial Boundaries

© Government of Alberta

While every effort is made to ensure data from this site is accurate and current, the Government of Alberta is not liable for any loss or damage arising from the possession, publication, or use of, that data. This information is provided "as is" without warranty.

Friday, March 17, 2023 15:22:46 -06:00

0.1

0.06

0.1 Kilometers

Map Scale: 1: 2,257



Alberta Government
GeoDiscover Alberta



THE CITY OF
CALGARY
PARKS

Public Tree Disclosure Statement

(R2012-06)

Application # _____

For office use only

Site Address: 1711 48 AVENUE S.W.

Legal Description: LOT : 43 & 44 BLOCK : 7 PLAN : 5770AJ

The information provided in this disclosure statement will assist The City of Calgary in protecting Public Trees. The City of Calgary relies on the information provided in this statement to determine the potential for Public Tree damage, which may occur during development and construction activities.

You are responsible for the accuracy of the information provided in this statement. The questions must be answered to the best of your knowledge based upon diligent inquiries and thorough inspection and review.

An Engineering Street Use, Excavation or Hoarding Permit (permit types depends on activity) is required when construction or construction related activities occur on City land, including road rights-of-way and boulevards. When such activities occur within six metres of a public tree, applicants shall be required to submit a Tree Protection Plan for approval, prior to obtaining a permit for work on City lands.

1. Are there public trees on the city lands within six metres of the development site? ☐ Yes ☐ No

If you answered 'yes' to question 1, please answer the remaining questions and include a site plan.

2. Are you crossing City-owned lands to access development? ☐ Yes ☒ No

3. Are you intending to store material or equipment on City lands? ☐ Yes ☒ No

4. How do you intend to install underground utilities?

☒ Open Cut ☐ Hydro Vac ☐ Horizontal Boring ☐ Other (please describe) _____

5. Who will be submitting the Tree Protection Plan for this development?

☒ Applicant ☐ Owner ☐ Builder ☐ Other _____

Company Name SANTHA DESIGN INC.

Contact Person CURT SANTHA Phone [REDACTED] Cell Phone _____

Address [REDACTED] Email [REDACTED]

Note: This form is to be signed by the titled owner(s) of the property or their authorized agents or consultants.

I, the ☒ owner, ☒ authorized agent, ☐ authorized consultant, state that, to the best of my knowledge, the information provided in this statement is accurate, complete and is based on diligent inquiry and thorough inspection and review of all the documents and other information reasonably available pertaining to the subject property.

MARCH 27, 2025

Date _____
Applicant Signature [Signature]

CURT SANTHA

Applicant Name (Please Print)

SANTHA DESIGN INC.

Company Name (Please Print)

The personal information is collected under the authority of the Alberta Municipal Government Act, the Street Bylaw 20M88, the Tree Protection Bylaw 23M2002 and the Freedom of Information and Protection of Privacy Act, Section 33 (C). It may be used to communicate with the applicant during the permit application, review & inspection processes and may be circulated to relevant Portfolios. It may also be submitted to the Calgary Planning Commission (CPC) and/or Subdivision and Development Appeal Board (SDAB). Correspondence received regarding the application may be included in public agendas. The personal information and the nature of the permit will be publicly available, in accordance with Section 40(1) of the Freedom of Information and Protection of Privacy Act. If you have any questions regarding the collection of this information, please contact the FOIP Program Administrator, Development & Building Approvals, PO Box 2100, Station M, Calgary, AB T2P 2M5. Telephone 311.



Tree Protection Plan Agreement

Please submit a signed copy of this agreement with your Tree Protection Plan. By signing this document and submitting it with a Tree Protection Plan, the applicant agrees to undertake the following actions during the development process:

- Follow all restrictions as described in the submitted Tree Protection Plan, pending approval by The City.
- Notify all contractors working on site of the Tree Protection Plan and ensure they are aware of work restrictions within all tree protection zones.
- Install bright and durable tree protection barriers and approved signage around public trees.
- Ensure no work is carried out inside tree protection zones.
- Water trees at least once a week during development (more during temperate weeks).

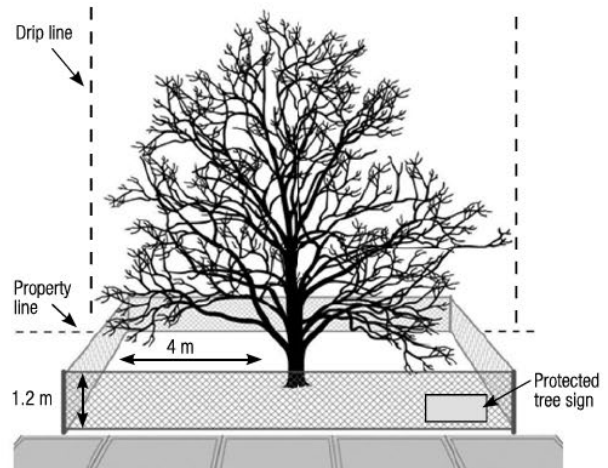
Remember: Under the Tree Protection Bylaw 23M2002 and Streets Bylaw 20M88, property owners are responsible for providing protection to public trees and are liable for the value of trees damaged or destroyed during the development process. Protected trees can be worth tens of thousands of dollars depending on the size, species, location and condition.

Offences such as removing or pruning a tree without authorization or securing objects to a public tree can carry fines up to \$10,000. Failure to follow the approved Tree Protection Plan can result in a \$500 fine.

This form is to be signed by the owner(s) of the property or their authorized agents or consultants. For more information about the Tree Protection Plan and for copies of Tree Protection Bylaw 23M2002 and Streets Bylaw 20M88, please visit calgary.ca/parks or contact 311.

I, the owner ☐, authorized agent ☒, authorized consultant ☐, state that, to the best of my knowledge, the information provided in the enclosed Tree Protection Plan is accurate, complete and is based on diligent inquiry and thorough inspection and review of all documents and other information reasonably available pertaining to the subject property.

I have read the Tree Protection Plan outline and agree to follow all guidelines within it. I will carry out all development work in accordance with the approved Tree Protection Plan for my site.



MARCH 27, 2025

Date

Applicant signature

CURT SANTHA

Applicant name (please print)

Telephone number

Email address

SANTHA DESIGN INC.

Company name (please print)

Site address

1711 48 AVENUE S.W.

Development Permit/Building Permit number

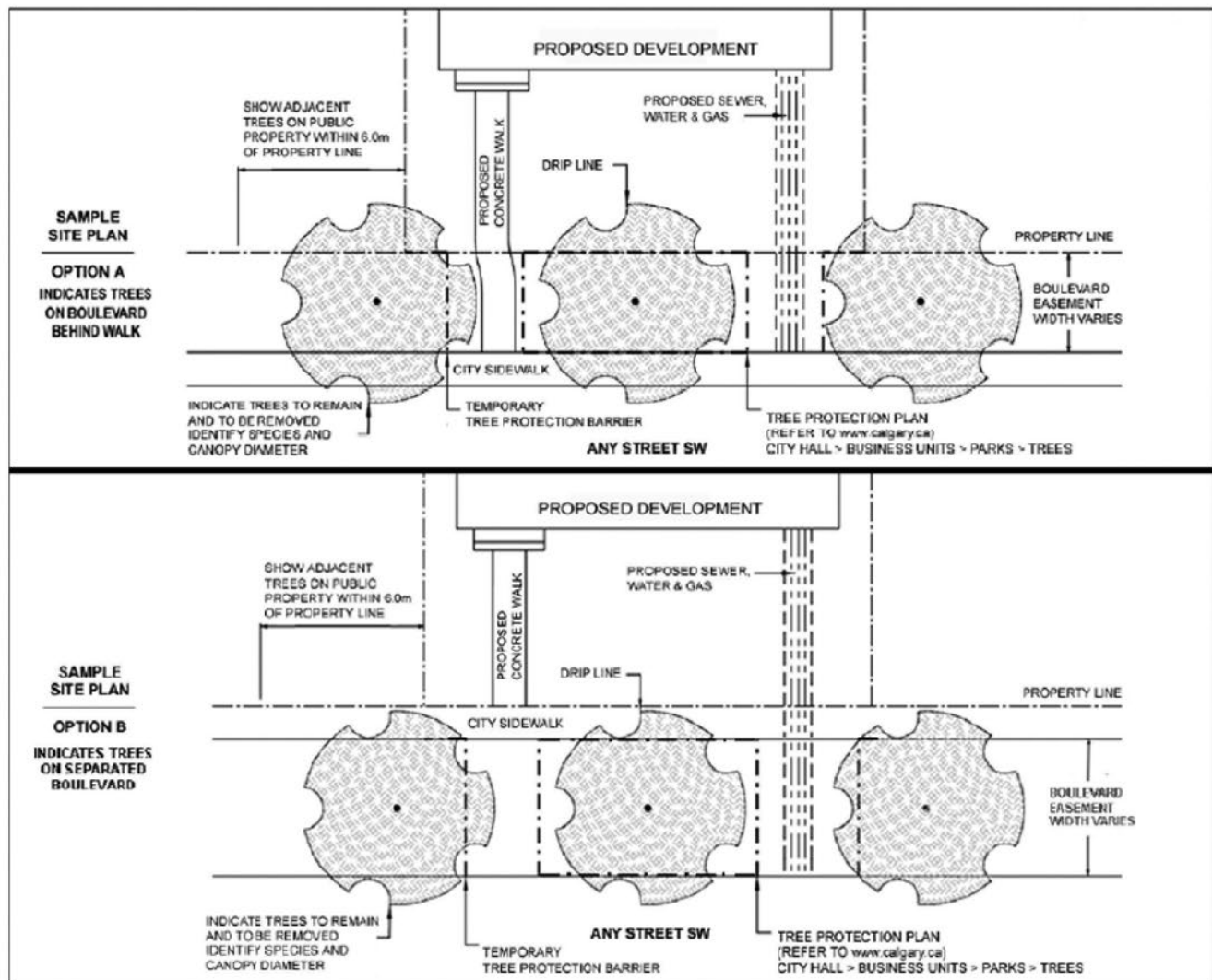




To find out more about Tree Protection plans and to download a PDF version of the sample Site Plan, contact 311 or visit calgary.ca and search for:

- Tree Protection Plan Agreement
- Public Tree Disclosure Statement
- Public Tree and Stump Removal Application
- Tree contractors
- Tree Protection Plan: A step-by-step guide

Sample Site Plans





Site Contamination Statement

Application # _____
for office use only

Site Address: 1711 48 AVENUE S.W.

Legal Description: LOT : 43 & 44 BLOCK : 7 PLAN : 5770AJ

The information provided in this disclosure statement will assist the Development, Land Use and Subdivision Authorities in processing planning applications. The Authorities rely on the information provided in this statement to assist in determining the potential for site contamination, which may have been caused by current or historic activities.

You are responsible for the accuracy of the information provided in this statement. The questions must be answered to the best of your knowledge based upon diligent inquiry and the thorough inspection and review of all documents and other information pertaining to the subject property.

Please be aware that further site assessments may be required as part of the review of your application.

1. Are you aware of any environmental investigations (audits, assessments, tests, surveys or studies) for this site?

☐ Yes ☒ No

If yes, please provide copy(s).

2. Are you aware of any environmental requirements associated with any previous planning applications on this site?
(i.e. development permit, land use redesign or subdivision)

☐ Yes ☒ No

If yes please provided a brief description and the associated development application number(s):

3. Has there been site remediation or a request for such on the site?

☐ Yes ☒ No

If yes, please provide a brief description:

4. Are you aware of any regulatory actions, past or current, which have been applied to this site?

☐ Yes ☒ No

Examples include (but are not limited to):

- Environmental Protection Orders
- Reclamation Orders or Certificates
- Control / Stop Orders, fines, tickets or prosecutions
- Violations of environmental statutes, regulations and bylaws
- Administrative penalties and warning letters

If yes, please describe and provide copies of relevant documents:

5. Have any permits been issued or are you currently operating under a license or approval issued by federal or provincial authorities or the Calgary Fire Department for activities which may impact the property?
(e.g. certificates of approval, storage tank regulations, plant operating permits)

☐ Yes ☒ No

If yes, please describe:

6. Has there been contact with Alberta Environment or Calgary Regional Health Authority regarding possible contamination on the site?

☐ Yes ☒ No

If yes, please provided a brief description:

NOTE: This form is to be signed by the titled owner(s) of the property or their authorized agents or consultants.

I, the ☐ owner, ☒ authorized agent, ☐ authorized consultant, state that, to the best of my knowledge, the information provided in this statement is accurate, complete and is based on diligent inquiry and thorough inspection and review of all the documents and other information reasonably available pertaining to the subject property. I am not aware of any other information that may indicate that the subject property is potentially contaminated.

MARCH 27, 2025

Date



Applicant Signature

CURT SANTHA

Applicant Name (Please Print)

SANTHA DESIGN INC.

Company Name (Please Print)

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Applicant's Planning Overview

This form is to be filled out by the applicant and provided to The City of Calgary at the time of submission. **The information is not verified or endorsed by The City of Calgary.** The responses are intended to assist the Community Association, and The City, in reviewing the development.

Site Address: 1711 48 Avenue S.W.

Type of Application: ☒ Single Detached ☐ Semi-detached ☐ Duplex Dwelling ☐ Backyard Suite

- 1) Please provide information related to site constraints associated with the subject parcel, which were considered in the design (e.g. topography, lot configuration, floodway/fringe area, existing landscaping).

The existing parcel is fairly straight forward with no issues or concerns.

- 2) Please explain how the development meets any applicable City policies and how it fits with the context of the community. (Refer to calgary.ca/myproperty for a list of the policies that apply to your site).

The proposed development is within the typical norms as per the latest City of Calgary Land-Use Bylaw.

- 3) Of the known relaxations, please elaborate on why the relaxations are requested. (A bylaw check has not yet been undertaken on this application. Further relaxations may be identified once the bylaw check is complete.)

The proposed development does not require any relaxations under a Discretionary DP to the best of our knowledge.

- 4) Is there anything else we should know about your development that may assist the review of your application?

The Single Family Home and the Backyard Suite are currently under construction and have been previously approved and released by the City of Calgary. This new DP is to include a fully Covered Deck at the rear of the home. The deck size itself has not changed from the original application. However a new DP is required as the now covered portion will extend beyond the previously approved building depth setback for a Contextual DP application (which the home was approved and released on).

Samnick, Cyrille

From: jeff.martin@calgary.ca
Sent: Wednesday, April 2, 2025 3:22 PM
To: [REDACTED]
Cc: Martin, Jeff
Subject: DP2025-01809 COMPLETE APPLICATION 1711 48 AV SW



Re: DP2025-01809 COMPLETENESS REVIEW - 1711 48 AV SW

Dear Applicant,

I am the file manager who will be leading the review of your development permit application.

A review of your application has been undertaken and it has been determined that your application is a complete application. A comprehensive review is now underway. The comprehensive review may include notice posting and consultation with affected parties to gather planning information relevant to your application.

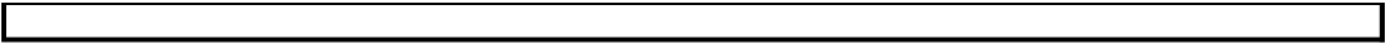
For more information about the development permit process please visit www.calgary.ca/dpprocess.

Please track your application, using your Job Access Code (JAC) DP2025-01809-70591, at www.calgary.ca/vista.

Should you have any questions or concerns, please contact me at your convenience.

Regards,

JEFF MARTIN
Senior Planning Technician
jeff.martin@calgary.ca
403-333-5492
www.calgary.ca/PDMap



Communities

0.5 Parking Rate

Other Areas of the City Within 600.0m of Existing LRT or BRT Bus Stop

A

- Acadia
- Albert Park / Ridsson Heights
- Altadore
- Banff Trail
- Bankview
- Bayview
- Bel-aire
- Beltline
- Bonavista Downs
- Bowness
- Braeside
- Brentwood
- Bridgeland / Riverside
- Britannia

C

- Cambrian Heights
- Canyon Meadows
- Capitol Hill
- Charleswood
- Chinatown

D

- Dalhousie
- Downtown Commercial Core
- Downtown Commercial Core
- Downtown East Village
- Downtown West End
- Eagle Ridge
- Eau Claire
- Elbow Park
- Elboya
- Erlton
- Fairview
- Forest Heights
- Forest Lawn

G

- Garrison Green
- Garrison Woods
- Glamorgan
- Glenbrook
- Glendale

- Hillhurst
- Hounsfield Heights / Briarcliff
- Huntington Hills

Inglewood

K

- Kelvin Grove
- Killarney / Glengarry
- Kingsland
- Lake Bonavista
- Lakeview
- Lincoln Park
- Lower Mount Royal

1

- Manchester
- Maple Ridge
- Marlborough
- Mayfair
- Mayland Heights
- Meadowlark Park

N

- North Glenmore Park
- North Haven
- North Haven Upper

O

- Oakridge
- Ogden
- Palliser
- Parkdale
- Parkhill
- Point McKay
- Pump Hill
- Queens Park Village

R

- Ramsay
- Renfrew
- Richmond
- Rideau Park
- Rosedale
- Rosemont

S

- Scarboro
- Shaganappi
- South Calgary
- Southview
- Southwood
- Spruce Cliff
- St. Andrews Heights
- Sunalta
- Sunalta West
- Sunnyside
- Thorncliffe
- Tuxedo Park
- University District
- University Heights
- Upper Mount Royal
- Varsity
- Vista Heights

- ☐ Chinook Park

☐ Cliff Bungalow

☐ Collingwood

☐ Crescent Heights

☐ Currie Barracks
- ☐ Greenview

☐ Haysboro

☐ Highland Park

☐ Highwood
- ☐ Mission

☐ Montgomery

☐ Mount Pleasant
- ☐ Rosscarrock

☐ Roxboro

☐ Rutland Park
- ☐ West Hillhurst

☐ Westgate

☐ Wildwood

☐ Willow Park

☐ Windsor Park



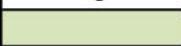

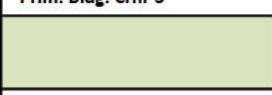
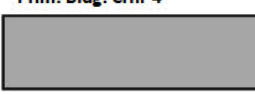
☐ Winston Heights / Mountview

Part 4 A to Z Use and Use Rules			D.P. # 2025-01809			
Section / Use	Type	Requirements	Evaluation			
153.1 Backyard Suite	Compulsory	(iii) is located in a detached building located behind the front façade of the main residential building;	C	N/C	N/A	N/I
		(vi) Must not be located on the same parcel or bare land unit as either a Rowhouse Building or a Townhouse use;	C	N/C	N/A	N/I
170.2 Contextual Semi-detached Dwelling	Compulsory	(i) contains two Dwelling Units located side by side and separated by a common party wall extending from foundation to roof;	C	N/C	N/A	N/I
187 Duplex Dwelling	Compulsory	(a) means a building which contains two Dwelling Units, one located above the other, with each having a separate entrance;	C	N/C	N/A	N/I
287 Rowhouse	Compulsory	(i) contains three or more Dwelling Units, located side by side and separated by common party walls extending from foundation to roof;	C	N/C	N/A	N/I
		(ii) where one façade of each Dwelling Unit directly faces a public street;	C	N/C	N/A	N/I
		(iii) where no intervening building is located between the street facing façade of each Dwelling Unit and the adjacent public street;	C	N/C	N/A	N/I
		(iv) where each Dwelling Unit has a separate direct entry from grade to an adjacent public sidewalk or an adjacent public street;	C	N/C	N/A	N/I
		(v) where no Dwelling Unit is located wholly or partially above another Dwelling Unit; and	C	N/C	N/A	N/I
		(vi) may contain a Secondary Suite within a Dwelling Unit in a district where a Secondary Suite is a listed use and conforms with the rules of the district;	C	N/C	N/A	N/I
295 Secondary Suite	Compulsory	(i) contains two or more rooms used or designed to be used as a residence by one or more persons;	C	N/C	N/A	N/I
		(ii) contains a kitchen, living, sleeping and sanitary facilities;	C	N/C	N/A	N/I
		(iii) is self-contained and located within a Dwelling Unit;	C	N/C	N/A	N/I
		(iv) must not be located in a Dwelling Unit where another Dwelling Unit is located wholly or partially above or below the Dwelling Unit containing the Secondary Suite; and	C	N/C	N/A	N/I
		(v) is considered part of and secondary to a Dwelling Unit;	C	N/C	N/A	N/I
297 Semi-Detached Dwelling	Compulsory	(a) means a use where a building contains two Dwelling Units located side by side and separated by a common party wall extending from foundation to roof;	C	N/C	N/A	N/I
319 Townhouse	Compulsory	(i) comprising three or more Dwelling Units;	C	N/C	N/A	N/I
		(ii) where each Dwelling Unit has a separate direct entry from grade;	C	N/C	N/A	N/I
		(iii) where no Dwelling Unit is located wholly or partially above another Dwelling Unit; and	C	N/C	N/A	N/I
		(iv) that does not include a Rowhouse Building;	C	N/C	N/C	N/I

Residential - Grade-Oriented Infill (R-CG) District										D.P. #		2025-01809	
Rule	Requirements								Evaluation				
							Notes		Provided/Variance				
Secondary Suites	If applicable please refer to Secondary Suites Form						DP2023-09060		See Attached	N/A	N/I		
347 Contextual Single Detached Dwelling	(Front A 91.96 + Front B 91.81) / 2 = Front Average Building Reference Point						91.89						
	(Rear A 92.44 + Rear B 92.18) / 2 = Rear Average Building Reference Point						92.31						
	(1) A Contextual Single Detached Dwelling: (e) must not be located on a parcel where the difference between the average building reference points is greater than 2.4m; and												
	Difference between Front & Rear Average Building Reference Points =						0.42		C	N/C	N/A	N/I	
537 Building Setback from Front Property line	The minimum building setback from a front property line is 3.0m						North - To Porch		4.73		1.73		
334 Projections into Setback Areas	(3) Portions of a building below the surface of the ground may extend without any limits into a setback area, with the exception of the required front setback area.								C	N/C	N/A	N/I	
336 Projections Into Front Setback Area	(1) Unless otherwise referenced in subsection (6), bay windows and eaves may project a max. of 0.6 m into the front setback area.								N/A				
	(2) Landings, ramps other than wheelchair ramps and stairs may project into a front setback area provided:			(a) they provide access to the main floor or lower level of the building; and									
				(b) the area of a landing does not exceed 2.5m²									
	(5) In a Developed Area, a porch may project a maximum of 1.8m into a front setback area where:												
	(a) it forms an entry to the main floor of a Dwelling Unit of a main residential building;												
	(b) the setback of the porch from the front property line is not less than the minimum setback in the district;												
	(c) the maximum height of the porch platform is 1.2m measured from grade, excluding stairs and a landing area not exceeding 2.5m²; and												
(d) the portion of the porch that projects into a front setback area is unenclosed, other than by a railing, balustrade or privacy walls located on porches between attached units.													
(6) Eaves may project an additional 0.6m from a porch into the front setback area, as described in subsection (5).													
335 Length of Portions of a Building in Setback Areas (Front)	(1) On each storey, the total combined length of all projections into any setback area must not exceed 40% of the length of the façade <i>(Does not apply to decks , eaves, porches, ramps, and stairs)</i>						PROVIDE LENGTH AND % VALUES		%	Length	%	Length	
	1st st			X 40% =				N/A					
	2nd st			X 40% =									
	(2) The max. length of an individual projection into any setback area is 3.1m												
	(1) Subject to subsections (3) through (9), the minimum building setback from any side property line is 1.2m						West	1.22		0.02			
							East	1.21		0.01			
	(2) Subject to subsections (3) through (7), for a laneless parcel, the minimum building setback from any side property line is:			(a) 1.2m; or									
				(b) 3.0m on one side of the parcel when no provision is made for a private garage on the front or side of a building.									
	(3) There is no requirement for a building setback from a property line upon which a party wall is located.												
(4) The minimum building			(a) the owner of the parcel proposed for										

539 Building Setback from Side Property Line	(4) The minimum building setback from a side property line may be reduced to a zero setback where:		(5) The owner of the parcel proposed for development and the owner of the adjacent parcel register, against both titles, a 1.2m private maintenance easement.		N/A				
	(5) The minimum building setback from a side property line may be reduced to a zero setback where the main residential building on the adjoining parcel has a zero setback.								
	(6) For a corner parcel, the minimum building setback from a side property line shared with a street is 0.6m								
	(7) The building setback from a side property line of 3.0m required in subsection 2(b) may be reduced to zero metres where the owner of the parcel proposed for development and the owner of the adjacent parcel registers, against both titles, a private access easement:	(a) where the width of the easement, in combination with the reduced building setback, must be at least 3.0 metres;							
		(b) that provides unrestricted vehicle access to the rear of the parcel.							
	(8) Unless otherwise referenced in subsection (9), on a laned parcel the minimum building setback from a side property line for a private garage attached to a main residential building is 0.6m								
	(9) On a laned parcel, the minimum building setback for a private garage attached to a main residential building that does not share a side or rear property line with a street may be reduced to zero metres where the wall of the portion of the building that contains the private garage is constructed of maintenance-free materials and there is no overhang of eaves onto an adjacent parcel.								
337 Projections Into Side Setback Area	(1.1) Portions of a building greater than or equal to 2.4m above grade may project a max of 0.6m into any side setback area.		East - 2F Cant x 2		0.55		-0.05		
	(1.2) Portions of a building less than 2.4m above grade may project a maximum of 0.6m,		West - MF Cant		0.44		-0.16		
	(1.2) (b) for all other uses:	(i) when located on a corner parcel;			C	N/C	N/A	N/I	
		(ii) where at least one side setback area is clear of all portions of the building measured from grade to a height of 2.4m; or			C	N/C	N/A	N/I	
		(iii) where the side setback area contains a private maintenance easement required by this Bylaw and no portion of the building projects into the required private maintenance easement.			C	N/C	N/A	N/I	
	(1.3) Window wells may project a maximum of 0.8m into any side setback area.		East		0.45		-0.35		
	(2) Window wells and portions of a building, other than eaves, must not project into a 3.0 metre setback required on a laneless parcel.				C	N/C	N/A	N/I	
	(3) Eaves may project a max. of 0.6m into any side setback area.		West		0.49		-0.11		
		East		0.60		0.00			
335 Length of	(5) Landings, ramps other than wheelchair ramps and stairs may project in a side setback area provided:	(a) they provide access to the main floor or lower level of the building;			N/A				
		(b) the area of a landing does not exceed 2.5m ²							
		(c) the area of any portion of a landing that projects into the side setback area does not exceed 1.8m ²							
		(d) they are not located in a 3.0m side setback area required on a laneless parcel; and							
		(e) they are not located in a side setback area required to be clear of projections, unless pedestrian access from the front to the rear							
	(10) Central air conditioning equipment may project a maximum of 1.0m into a side setback area:								
	(8) Any portion of a building that projects into a side setback area, other than eaves, landings, window wells, ramps and stairs, must not be located closer than 0.9m from the nearest front façade.		Closest Portion		1.52		0.62		
	(9) Balconies and decks must not project into any side setback area;				C	N/C	N/A	N/I	
(1) On each storey, the total combined length of all projections into any setback area must not exceed 40% of the length of the façade <i>(Does not apply to decks , eaves, porches, ramps, and stairs)</i>				%	Length	%	Length		
1st st	East		X 40% =	Complies					

Portions of a Building in Setback Areas (Side)	2nd st	West	17.37	X 40% =	6.95		28.09	4.88	-11.91	-2.07			
	__st			X 40% =									
	__st			X 40% =									
	(2) The max. length of an individual projection into any setback area is 3.1m <i>(Includes Window Wells)</i>					Longest Projection	3.05		-0.05				
540 Building Setback from Rear Property Line	(1) Unless otherwise referenced in subsection (2) the minimum building setback from a rear property line is 7.5m						N/A						
	(2) On a laned or corner parcel, the minimum building setback from a rear property line is 1.2m					South	12.40		11.20				
338 Projections Into Rear Setback Area	(2) Awnings, balconies, bay windows, canopies, chimneys, decks, eaves, fireplaces, fire escapes, landings, porches, and ramps other than wheelchair ramps may project a max of 1.5m into any rear setback area.						N/A						
	(3) A private garage attached to a building may project without limits into a rear setback area provided it:	(a) does not exceed 4.6m in height, measured from the finished floor of the private garage;											
		(b) does not exceed 75.0m ² in gross floor area for each Dwelling Unit located on the parcel.											
		(c) has no part that is located closer than 0.60m to the rear property line; and											
		(d) has no eave closer than 0.6m to a side property line.											
	(4) When an attached private garage has a balcony or deck, the balcony or deck must not be located within 6.0 m of a rear property line or 1.2m of a side property line.					Rear							
						Side							
					Side								
335 Length of Portions of a Building in Setback Areas (Rear)	(1) On each storey, the total combined length of all projections into any setback area must not exceed 40% of the length of the façade <i>(Does not apply to decks , eaves, porches, ramps, and stairs)</i>					PROVIDE LENGTH AND % VALUES	%	Length	%	Length			
	1st st			X 40% =			N/A						
	2nd st			X 40% =									
	(2) The max. length of an individual projection into any setback area is 3.1m												
339 Decks	(2) The height of a deck in the Developed Area must not exceed:	(a) 1.5m above grade at any point, except where the deck is located on the same façade as the at-grade entrance to a walkout basement; and					N/A						
		(b) 0.3m above the main floor level of the closest main residential building on the parcel.											
	(2.1) Unless otherwise referenced in subsection (3), a privacy wall located on a deck:	(a) must not exceed 2.0m in height when measured from the surface of the deck; and											
		(b) must not be located between the foremost front façade of the main residential building and the front property line.											
340 Balconies	(1) Unless otherwise referenced in this Part, an open balcony must not project more than 1.85m from the building façade to which it is attached.												
	(2) Unless otherwise referenced in this Part, the floor area of a recessed balcony must not exceed 10.0m ²												
	(2.1) Unless otherwise referenced in this Part, a privacy wall located on a balcony:	(a) must not exceed 3.0m in height when measured from the surface of the balcony; and											
		(b) must not be located between the foremost front façade of the main residential building and front property line.											
	(1) Where a balcony is located on the roof of the first or second storey of a main residential building and does not overhang any façade of the storey below, the balcony may have a maximum floor area that equals 50.0 per cent of the horizontal cross section of the storey below.						N/A						
	<div>Area of Storey Below Balcony (m²)</div>												
	(a) may be located on a side façade of a building:	(i) where it forms part of the front façade and is not recessed back more than 4.5m from the front façade; or											
		(ii) where it is on the street side of a corner parcel;											

544 Balconies	(2) A balcony attached to a Contextual Single Detached Dwelling, Contextual Semi-detached Dwelling, or Rowhouse Building that is a permitted use:	(b) may be located on a rear façade of a building where:	(i) it does not form part of the side façade unless the side façade is on the street side of a corner parcel;					
			(ii) a privacy wall is provided where the balcony is facing a side property line shared with a contextually adjacent building; and					
			(iii) the privacy wall is a minimum of 2.0m in height and a maximum of 3.0m in height; and	Minimum				
		(c) must not have a balcony on the rear façade with a height greater than 6.0m, when measured vertically at any point from grade to the platform of the balcony.	Maximum					
543 Amenity Space	(1) For developments of three units or more, each unit and suite must have amenity space that is located outdoors and is labelled on the required landscape plan.			F/M Discretion		N/A	N/I	
	(2) Amenity space may be provided as common amenity space, private amenity space or a combination of both.			Applies		N/A	N/I	
533 At Grade Orientation of Units	(1) All units must provide individual, separate, direct access to grade.			C	N/C	N/A	N/I	
	(2) Units with an exterior wall facing a street must provide:	(a) an entrance that is visible from the street; and		C	N/C	N/A	N/I	
		(b) sidewalks that provide direct exterior access to the unit.		C	N/C	N/A	N/I	
541 Building Height	(1) Unless otherwise referenced in subsections (2), (3) and (4), the maximum building height is 11.0m measured from grade.		Front	10.83	-0.17			
			Left	10.77	-0.23			
			Right	10.57	-0.43			
			Rear	10.51	-0.49			
	(2) Where a building setback is required from a property line shared with another parcel designated with a low density residential district, the M-CG District or H-GO District, the max building height:	(a) is the greater of:	(i) the highest geodetic elevation of a main residential building on the adjoining parcel; or	Both Sides N/C	C	N/C	N/A	N/I
			(ii) 7.0m from grade; measured at the shared property line; and					
		(b) increases at a 45 degree angle to a max of 11.0m measured from grade.						
	(3) On a corner parcel, the max area of a horizontal cross section through a building at 9.5m above average grade must not be greater than 75.0% of the max area of a horizontal cross section through the building between average grade and 8.6m							
				Geo 9.5m Above Avrge Grade	N/A Interior Lot			
				Geo 8.6m Above Avrge Grade				
								
	Max. Area		Max. Area allowed at 9.5m above avg. grade					
	(4) Where not located on a corner parcel, the maximum building height is 8.6m for any portion of a main residential building located between the rear property line and 60.0% parcel depth or the contextual building depth average, whichever is greater.				4.87	-3.73		
Height Required Beyond			23.51 m	and Rear Property Line				
15.25			22.56	37.31				
	C.A.B. #1	C.A.B. #2	Parcel Depth					
349 Roof Equipment Projection	(2) Mechanical equipment may project a maximum of 0.3m from the surface of a roof on a building.			N/A				
532 Façade Width	The minimum width of a street facing façade of a unit is 4.2m			12.80	8.60			
	(1) Unless otherwise referenced in subsections (2) and (3) the maximum building depth is 65.0% of the parcel depth for a building containing a unit.			Percentage (%)				
				66.76%	1.76%			
				Building Depth (m)				
			65%	x	37.31	=	24.30	24.91
		Parcel Depth		Max Bldg Depth				
	(c) there is more than one main residential building on the parcel;							

535 Building Depth and Separation	(2) On a laned parcel, there is no maximum building depth for a main residential building wholly contained to the rear of 40.0% parcel depth where: <i>Note: The Main Residential Building exempt from Building Depth must be WHOLLY contained within rear 60.0%; otherwise see subsection (1).</i>	(a) there is more than one main residential building on the parcel;		<div>N/A</div> <div>MRB not wholly located in rear of 40% parcel depth</div>						
		(b) 50.0% or more of the units on the parcel are contained in main residential buildings located within the first 60.0% of the parcel depth; and								
		<div></div>	Parcel Depth (m)							
		<div></div>	40% / 60.0% Parcel Depth (m)							
		<div></div>	Total Number of Units							
		<div></div>	Required Number of Units in Front 60.0%							
		(c) where the minimum separation distance of the main residential buildings on the front portion of the parcel and the main residential buildings contained on the rear portion of the parcel is 6.5m								
		(3) For a main residential building that is located on a corner parcel there is no maximum building depth where the minimum building setback from the side property line shared with another parcel is 3.0m for any portion of the building located between the rear property line and:								
		(a) 50.0 per cent parcel depth; or				<div>N/A</div> <div>Interior Lot</div>				
		<div></div>	Parcel Depth							
(b) the building depth of the main residential building on the adjoining parcel;										
<div></div>	C.A.B. Building Depth									
whichever is closer to the rear property line.										
3.0m Building Side Setback Required beyond										
<div>0.00</div>	m	and the rear								
property line										
529 Density	For parcels designated R-CG use this calculation:									
	The maximum density for parcels designated R-CG District is 75 units per hectare.				Units			1	-3	
	<div>75</div>	<div>568.60</div>	(m²)	<div>4.00</div>						
		<div>0.0568604</div>	(ha)	=	Units	U.P.H	17.59	-57.41		
	U.P.H									
	For multi-residential parcels reverting to low density uses in section 573, use the density maximum for that multi-residential district:									
	Enter UPH of MDR district below: The max density for parcels designated multi-residential is the density requirement of that district.				Units	<div>N/A</div>				
	<div></div>	<div></div>	(m²)	<div></div>						
		<div>Enter m² Above</div>	(ha)	=	Units				U.P.H	
	U.P.H									
365 Exempt Addition	In order for the exemption in section 25(2)(a) to apply to an exterior alteration or addition to an existing Duplex Dwelling, Semi-detached Dwelling or Single Detached Dwelling: (b) the addition may be a maximum of:									
	(i) 40.0m² in floor area for any portion at a height less than or equal to:	(A) 7.5m measured from grade where the existing building has a walkout basement; or (B) 6.0m measured from grade where the existing building does not have a walkout basement; and				<div>N/A</div>				
	(ii) 10.0m² in floor area for any portion not exceeding the highest point of the existing roof;									
339.1 Porches <i>(must meet all requirements to be exempt)</i>	In a Developed Area, a porch is exempt from parcel coverage where:	(a) the porch is located between the façade of the main residential building and:	(i) the front property line; or			C	N/C	N/A	N/I	
			(ii) the side property line on the street side of a corner parcel;			C	N/C	N/A	N/I	
							C	N/C	N/A	N/I
							C	N/C	N/A	N/I
		(b) the porch is unenclosed on a minimum of two sides, other than by a railing, balustrade, or privacy walls located on porches between attached units when the porch is at or exceeds the contextual front setback; and				C	N/C	N/A	N/I	
						C	N/C	N/A	N/I	
						C	N/C	N/A	N/I	
		(c) there is no enclosed floor area or balcony located directly above the roof of the porch.				C	N/C	N/A	N/I	
						C	N/C	N/A	N/I	
			(2) Unless otherwise referenced in subsection (3), the maximum cumulative building coverage over all the parcels subject to a single development permit	(a) 45.0% of the area of the parcels subject to a single development permit for a development with a density of less than 40 units per hectare;				Applies		Does Not Apply
(b) 50.0% of the area of the parcels subject to a single development permit for a development with a density 40 units per hectare or greater and less than 50 units per hectare;						Applies		Does Not Apply		

534 Parcel Coverage	single development permit containing a Contextual Semi-Detached Dwelling, Contextual Single Detached Dwelling, Cottage Housing Cluster, Rowhouse Building, Semi-Detached Dwelling, Single Detached Dwelling or Townhouse is:		than 50 units per hectare;						
			(c) 55.0% of the area of the parcels subject to a single development permit for a development with a density of 50 units per hectare or greater and less than 60 units per hectare; or				Applies	Does Not Apply	
			(d) 60.0% of the area of the parcels subject to a single development permit for a development with a density of 60 units per hectare or greater.				Applies	Does Not Apply	
	(3) The maximum parcel coverage referenced in subsections (1) and (2), must be reduced by:		(a) 21.0m ² where one motor vehicle parking stall is required on a parcel that is not located in a private garage; and				Applies	Does Not Apply	
			(b) 19.0m ² for each required motor vehicle parking stall that is not located in a private garage where more than one motor vehicle parking stall is required on a parcel.				Applies	Does Not Apply	
	(4) For all other uses, the maximum parcel coverage is 45.0%						Applies	Does Not Apply	
	Determine correct percentage of parcel coverage and input values below						%	%	
	1 Number of Units 568.60 Parcel Area (m ²)								
	45.0% minus Required Stalls = 255.87 Max. Coverage						44.84%	-0.16%	
	Parcel Coverage Totals						m ²	m ²	
House		Proj. > 1.0m		Garage(s)	Other	Total			
170.08		26.20		58.71		254.99	254.99	-0.88	
Accessory Building	If applicable please refer to Accessory Residential Building Form						See Attached	N/A	N/I
542 Landscaping Requirements <i>Applies with 3 or more units</i>	(3) All areas of a parcel, except for those portions specifically required for motor vehicle access, motor vehicle parking stalls, loading stalls, garbage facilities, or any purpose allowed by the Development Authority, must be a landscaped area.								
	(4) All setback areas adjacent to a street, except for those portions specifically required for motor vehicle access, must be a landscaped area.								
	(5) Amenity space provided outdoors at grade must be included in the calculation of a landscaped area.								
	(6) Any part of the parcel used for motor vehicle access, motor vehicle parking stalls, loading stalls and garbage or recycling facilities must not be included in the calculation of a landscaped area.								
	(7) A minimum of 30.0% of the landscaped area must be covered with soft surfaced landscaping.								
	Landscaped Area (m ²)								
	(8) All soft surfaced landscaped area must be irrigated by an underground irrigation system, unless otherwise provided by a low water irrigation system.								
(9) Mechanical systems or equipment that are located outside of a building must be screened.									
542.2 Planting Requirements <i>Applies with 3 or more units</i>	(4) The requirement for the provision of 1.0 tree is met where:		(a) a deciduous tree has a minimum calliper of 60mm;						
			# Provided						
			(b) a coniferous tree has a minimum height of 2.0m						
			# Provided						
	(5) The requirement for the provision of 2.0 trees is met where:		(a) a deciduous tree has a minimum calliper of 85mm;						
			# Provided						
			(b) a coniferous tree has a minimum height of 4.0m						
		# Provided							
(6) The requirement for the provision of 3.0 trees is met where an existing deciduous tree with a calliper greater than 100mm is preserved.									
		# Provided							
(2) A minimum of 1.0 tree and 3.0 shrubs must be provided for each 110.0m ² of parcel									

N/A

more units	area.							
	0	Required Trees						
	0	Required Shrubs	Parcel Area (m²)					
	(3) Shrubs must be a minimum height or spread of 0.6m at the time of planting.							
	(7) For landscaped areas with a building below, planting areas must have the following minimum soil depths:	(a) 1.2m for trees;						
		(b) 0.6m for shrubs; an						
		(c) 0.3m for all other planting areas.						
	(8) The soil depths referenced in (7) must cover an area equal to the mature spread of the planting material.							
342 Retaining Walls	(1) A retaining wall must be less than 1.2m in height when measured from the lowest grade at any point adjacent to the retaining wall to the highest grade retained by the retaining wall.			C	N/C	N/A	N/I	
	(2) A min horizontal separation of 1.0m must be maintained between retaining walls on the same parcel.			C	N/C	N/A	N/I	
338.1 Patios	(1) Unless otherwise referenced in subsections (2) and (3), a privacy wall may be located on a patio, provided it does not exceed a height of 2.0m from the surface of the patio.			C	N/C	N/A	N/I	
	(2) A privacy wall located on a patio must not exceed 2.0m in height, when measured from grade and when the privacy wall is located within: (a) a side setback area; or (b) 6.0m of a rear property line.			C	N/C	N/A	N/I	
	(3) A privacy wall located on a patio must not exceed 1.2m in height when measured from grade when the privacy wall is located between the foremost front façade of the main residential building and the front property line.			C	N/C	N/A	N/I	
540.1 Fences	Note: Only apply fence rules to proposed fences							
The height of a fence above grade at any point along a fence line must not exceed 1.2m for any portion of a fence extending between the foremost front façade of the immediately adjacent main residential building and the front property line.								
343 Fences	The height of a fence above grade at any point along a fence line must not exceed:	(a) 1.2 metres for any portion of a fence extending between the foremost front façade of the main residential building and the front property line;		C	N/C	N/A	N/I	
		(b) 2.0m in all other cases, and		Existing	C	N/C	N/A	N/I
		(c) 2.5m at the highest point of a gate that is not more than 2.5m in length.		C	N/C	N/A	N/I	
348 Visibility Setback	Within a corner visibility triangle, buildings, fences, finished grade of a parcel and vegetation must not exceed the lowest elevation of the street by more than 0.75m above lowest elevation of the street.			C	N/C	N/A	N/I	
546.3 Waste, Recycling and Organics	For developments of three or more units, garbage, recycling, and organics must be stored in a screened location approved by the Development Authority			C	N/C	N/A	N/I	
546 Motor Vehicle Parking Stalls	(1) The minimum number of motor vehicle parking stalls is calculated based on the sum of all units and suites at a rate of 1.0 stalls per unit or suite.			*See Communities Tab to Adjust Parking Rate				
	(2) Notwithstanding subsection (1), the minimum number of motor vehicle parking stalls is calculated based on the sum of all units and suites at a rate of 0.5 stalls per unit or suite for the area listed in Table 2.1 below.							
	1	Number of Units		Parking Rate: 0.50		Stall per Unit & Suite		
		Stalls Within a Private Garage	2	2	1			
546.1 Mobility Storage	(2) Notwithstanding subsection (1), there is no requirement for mobility storage lockers for parcels with two or less Dwelling Units.							
	The minimum number of mobility storage lockers is calculated based on the sum of all units and suites at a rate of 0.5 lockers per unit or suite where a unit or suite is not provided a motor vehicle parking stall located in a private garage.							
	-1	Number of Units						

546.2 Bicycle Parking Stalls	(2) Notwithstanding subsection (1), there is no requirement for a bicycle parking stall – class 1 for parcels with two or less Dwelling Units.		N/A			
	(1) The minimum number of bicycle parking stalls – class 1 is calculated based on the sum of all units and suites at a rate of 1.0 stall per unit or suite where a unit or suite is not provided a motor vehicle parking stall located in a private garage or mobility storage locker.					
	<div>-1</div> Number of Units					
13(90.3) Mobility Storage Locker	(a) has a door with a minimum width of 0.9m that has direct access to grade;					
	(b) has a minimum length of 2.8m;					
	(c) has a minimum width of 1.2m;					
	(d) has a minimum height of 1.8m					
122 Standards for Motor Vehicle Parking Stalls	(3) The minimum depth of a motor vehicle parking stall is 5.9m where it is required for:		C	N/C	N/A	N/I
	(a) a Contextual Single Detached Dwelling, Duplex Dwelling, Secondary Suite, Semi-detached Dwelling or Single Detached Dwelling					
	(4) The minimum width of a motor vehicle parking stall required for a Dwelling Unit is:		C	N/C	N/A	N/I
	(a) 3.0m where both sides of a stall abut a physical barrier;					
	(b) 2.85m where one side of a stall abuts a physical barrier; and					
	(c) 2.5m in all other					
	(15) Motor vehicle parking stalls for a Backyard Suite, Contextual Semi-detached Dwelling, Contextual Single Detached Dwelling, Duplex Dwelling, Secondary Suite, Semi-detached Dwelling and Single Detached Dwelling must be:		C	N/C	N/A	N/I
	(a) hard surfaced; and					
	(b) located wholly on the subject parcel.					

FILE: DP2025-01809

DATE RECEIVED: March 28, 2025

Bylaw Discrepancies		
Regulation	Standard	Provided
541 Building Height	(2) Where a building setback is required from a property line shared with another parcel designated with a low density residential district, the M-CG District or H-GO District, the max building height: (a) is the greater of: (i) the highest geodetic elevation of a main residential building on the adjoining parcel; or	Plans indicate portions of the roof are located within the maximum building height chamfer established from both side property lines.
535 Building Depth and Separation	(1) Unless otherwise referenced in subsections (2) and (3) the maximum building depth is 65.0% of the parcel depth for a building containing a unit.	Plans indicate a building depth of 24.91m (+0.61m) or 66.76% (+1.76%) of the parcel depth.

Samnick, Cyrille

From: Curt Santha <[REDACTED]>
Sent: Thursday, April 3, 2025 2:33 PM
To: Martin, Jeff
Subject: [External] RE: COU or new SDD - DP2025-01809

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As always Jeff – I trust you’ll do your best – no worries!

Have a great weekend.

Curt Santha AT
Santha Design Inc.
 Custom Home Design



santhadesign.ca

Please note my new e-mail address & phone number and update accordingly. Thank you!

From: Martin, Jeff <Jeff.Martin@calgary.ca>
Sent: April 3, 2025 7:04 AM
To: Curt Santha <curt@santhadesign.ca>
Subject: RE: COU or new SDD - DP2025-01809

Hi Curt,

Unfortunately I can’t reduce circulation or notice posting time.
 But I will commit to maintain forward progression as soon as process allows me to do so.

Thanks,

Jeff Martin, AT

Senior Planning Technician

Development & Subdivision Application Services | Community Planning

Planning and Development Services

City of Calgary

T 403.333-5492 | **E** jeff.martin@calgary.ca

Check out www.calgary.ca/pdmap to learn more about the development activity in your community.

From: Curt Santha <curt@santhadesign.ca>
Sent: Wednesday, April 2, 2025 5:10 PM

To: Martin, Jeff <Jeff.Martin@calgary.ca>
 Subject: [External] RE: COU or new SDD - DP2025-01809

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No worries Jeff – I appreciate you looking out for me.


As the home is essentially built – if there is any way to reduce the circulation time that would be greatly appreciated. This homeowner has been unreal in her understanding and patience...I love to help her out as much as we can; if anyone deserves it, its her.

Thanks Jeff.

Curt Santha AT
Santha Design Inc.
 Custom Home Design

santhadesign.ca

Please note my new e-mail address & phone number and update accordingly. Thank you!

From: Martin, Jeff <Jeff.Martin@calgary.ca>
 Sent: April 2, 2025 2:48 PM
 To: Curt Santha < >
 Subject: COU or new SDD - DP2025-01809

Hi Curt,

Further to our phone conversation ...

Yes, since the DCP has not been approved the correct approach is to re-approve the entire development as a New: Single Detached Dwelling.

If the DCP had already been approved then we would go the route of Change of Use: Single Detached Dwelling (changing it from Contextual) and and Addition: Covered Deck

Anyway Looks like the DP came in correctly so moving on !

Jeff Martin, AT
 Senior Planning Technician
 Development & Subdivision Application Services | Community Planning
 Planning and Development Services
 City of Calgary
 T 403.333-5492 | E jeff.martin@calgary.ca
 Check out www.calgary.ca/pdmap to learn more about the development activity in your community.

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Re: DP2025-01809 COMPLETENESS REVIEW - 1711 48 AV SW

Dear Applicant,

I am the file manager who will be leading the review of your development permit application.

A review of your application has been undertaken and it has been determined that your application is a complete application. A comprehensive review is now underwa

For more information about the development permit process please visit www.calgary.ca/dpprocess.

Please track your application, using your Job Access Code (JAC) DP2025-01809-70591, at www.calgary.ca/vista.

Should you have any questions or concerns, please contact me at your convenience.

Regards,

JEFF MARTIN
Senior Planning Technician
jeff.martin@calgary.ca
403-333-5492
www.calgary.ca/PDMap



Development Permit - Approved Plans (Approved)

Application Number: DP2025-01809
Description: Single Detached Dwelling
Land Use District: R-CG - Residential - Grade-Oriented Infill
Site Address: 1711 48 AV SW
Applicant: Santha Design Inc. - Curt Santha (SANTHA DESIGN)
Senior Planning Technician: JEFF MARTIN

List Of Plans Reviewed				
Approved Files	Doc ID	Document Type	Submitted Date	Approved Date
Higgins Residence - V1 DP Ready Designs - Covered Deck - Mar 27-2025_20250328_112345.pdf	1760267	RESIDENTIAL DRAWINGS	2025/03/28 11:23:45 AM	2025/05/01 12:00:00 AM
Higgins Residence - V1 DP Ready Block Plans - Covered Deck - Mar 27-2025_20250328_112351.pdf	1760268	SITE/BLOCK PLAN	2025/03/28 11:23:51 AM	2025/05/01 12:00:00 AM
Legend * Doc ID is specific identification associated to a document located within Livelink. * Date plans submitted is the date which the plans when uploaded into the Request Manager system.				

Comment Summary

Permit #: DP2025-01809
Address: 1711 48 AV SW
Job Description: New: Single Detached Dwelling

Name:	ENMAX	Created Date:	April 23, 2025
Phone:		Circulation Referee:	Y
Email:	EPC_PERMITS@ENMAX.COM	Number:	584365741
Address:	Circulation Referee No Address		
Overall:	Neither in support nor in opposition of this application		

Area of Concern

Other

General Comment

The applicant is required to review and follow the conditions mentioned in attached letter.

Attachments

[SUPPORTING DOCUMENT - CIRCULATION COMMENTS - DP2025-01809-Reply Letter-2025-04-23.pdf](#)



ENMAX Power Corporation
141 – 50 Avenue SE
Calgary, AB T2G 4S7
Tel (403) 514-3000
enmax.com

2025-04-23

File No: DP2025-01809
Location: 1711 48 AV SW

ENMAX Power Corporation (EPC) has reviewed the above permit application dated 2025-04-02 and based on the information provided and as of the above noted date the proposed development does not conflict with ENMAX facilities in respect of the requirements set forth in 10-002 Overhead System (Table 7) and 12-002 Underground Systems of the Alberta Electrical Utility Code (AEUC) under the *Safety Codes Act* (Alberta). This non-conflict letter does not reduce or limit responsibility to comply with all laws and regulations regarding utility facilities and all requirements under the *Alberta Occupational Health & Safety Act* (OHS) (including any code or regulations thereunder)(OHS) and the applicant shall observe all such laws and regulations when commencing any work related to the permit application. If a situation arises where there is a discrepancy between ENMAX required setbacks and the AEUC or the OHS, the stricter set of requirements shall govern. Please refer to ENMAX Ground Disturbance Guidelines while working near ENMAX Facilities.

Pursuant to Section 225(1) of Part 17 of the OHS Code, anyone working near overhead powerlines must maintain safe limits of approach as provided in Schedule 4, Table 1 of the OHS Code or Table 1 in the AEUC. Anyone excavating must contact Utilities Safety Partners for locations of all buried facilities. All contractors, prime or sub (excavating company) must contact hotdigs@enmax.com to obtain a permission letter prior to disturbing the ground within 2 metres of any ENMAX underground facility. As a condition of this no-conflict letter, and despite any existence of a permit, the applicant must contact EPC Lineinspection@enmax.com or call (403) 514-3117 prior to the commencement of any construction where any workers or equipment will be within 7.0m of existing overhead EPC facilities. If EPC is contacted in accordance with the above, no construction work shall be commenced thereafter unless and until EPC determines the minimum safe limit of approach distance in relation to the overhead facilities present at the project site.

****NOTE:** This letter provided by ENMAX Power Corporation is intended for information purposes only and is not in any manner intended to nor shall be construed to derogate from applicant's obligations to follow any applicable law. The provision of this no-conflict letter is not a representation that work will meet any legislative or regulatory obligations. This no-conflict letter is provided as of the date first noted above – the applicant is still required to perform their own due diligence prior to any development activities and resolve any conflicts (new or existing) at the Developer's sole expense. ENMAX expressly disclaims any liability related to applicant's responsibility to comply with such laws and regulations and ENMAX's required setbacks.

If you require any additional information regarding this Development Permit, please contact the Project Administrator at EPC_Permits@enmax.com. For new services inquiries, please contact ENMAX GetConnected at GetConnected@enmax.com.

Sincerely,

Will Du P.Eng
Distribution Engineering

QR Code for ENMAX Ground
Disturbance Guidelines



SDAB2025-0065

Samnick, Cyrille

From: Martin, Jeff
Sent: Thursday, April 10, 2025 3:22 PM
To: Candice Ross
Subject: RE: DP2025-01809

Hello Candice,

Thank you for taking the time to provide us with comments relating to this development proposal in your neighbourhood. Your feedback will be included in the file and will form part of the application review.

If you would like to learn more about this application, please refer to the following information.

The application review

In addition to your comments, several other factors will be taken into account including the Land Use Bylaw rules; applicable planning policies; circulation comments from external and internal referees (for example, the Community Association and City departments); and all relevant planning considerations. When a thorough review of the application has been completed, a decision will be recommended to the approving authority.

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However, if the decision on the application is appealed, all information in our file is disclosed and will become a part of the public record. In such a case, your comments will no longer be confidential.

FOIP Statement

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Regards,

Jeff Martin, AT

Senior Planning Technician

Development & Subdivision Application Services | Community Planning

Planning and Development Services

City of Calgary

T 403.333-5492 | E jeff.martin@calgary.ca

Check out www.calgary.ca/pdmap to learn more about the development activity in your community.

From: Candice Ross [REDACTED] a>

Sent: Thursday, April 10, 2025 1:20 PM

To: Martin, Jeff <Jeff.Martin@calgary.ca>

Subject: [External] DP2025-01809

This Message Is From an Untrusted Sender

You have not previously corresponded with this sender.

ATTENTION: Do not click links or open attachments from external senders unless you are certain it is safe to do so. Please forward suspicious/concerning email to spam@calgary.ca

Hi Jeff,

I found the development permit sign up at my next door neighbour's house today (1711 - 48 Ave SW). As you know, we appealed the original development permit - then it was subitted contextual, and approved, and now there is a new permit being applied for. Can you please explain to me what changes are being made from the contextual design. It is not immediately obvious from the plans that have been submitted.

I am also confused as to why 1 day is being allowed to submit comments. The sign went up today!

Thanks,
Candice Ross
(1707 - 48 Ave SW)

Samnick, Cyrille

From: Martin, Jeff
Sent: Monday, April 14, 2025 7:15 AM
To: Candice Ross
Subject: RE: DP2025-01809

Hello Candice,

Additional comments received.

Thank you,

Jeff Martin, AT

Senior Planning Technician

Development & Subdivision Application Services | Community Planning

Planning and Development Services

City of Calgary

T 403.333-5492 | E jeff.martin@calgary.ca

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From: Candice Ross [REDACTED] a>
Sent: Thursday, April 10, 2025 4:44 PM
To: Martin, Jeff <Jeff.Martin@calgary.ca>
Subject: [External] Re: DP2025-01809

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Thanks Jeff. The notice was posted today. I and all of my own tradespeople can attest to this. I would ask that time be extended by one week as a result.

On Apr 10, 2025, at 4:20 PM, Martin, Jeff <Jeff.Martin@calgary.ca> wrote:

Hello Candice,

re: reason for proposed application

The subject dwelling at 1711 48 Av SW was approved as a Contextual Dwelling under DP2023-06814.

As a Contextual use the development is required to comply with all rules.

During the construction phase, it was decided to add a roof over the rear patio / deck area. Adding a roof would increase the building depth past the maximum building depth line.

Therefore, a new Development Permit (DP) was required to apply for a Single Detached Dwelling (discretionary use) in order to request a relaxation for the building depth.

A Bylaw Check has been completed and the subject development (including new roof at covered patio) creates a building depth 24.91m.

The max building depth allowed is 24.30m, therefore the relaxation requested is 0.61m.

re: Notice Posting

A notice posting was requested on April 2, 2025 and delivered to the site on April 3, 2025.

The notice posted was requested to be on-site for a period of 1 week.

Thank you for taking the time to provide us with comments relating to this development proposal in your neighbourhood. Your feedback will be included in the file and will form part of the application review.

If you would like to learn more about this application, please refer to the following information.

The application review

In addition to your comments, several other factors will be taken into account including the Land Use Bylaw rules; applicable planning policies; circulation comments from external and internal referees (for example, the Community Association and City departments); and all relevant planning considerations. When a thorough review of the application has been completed, a decision will be recommended to the approving authority.

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Regards,

Jeff Martin, AT

Senior Planning Technician

Development & Subdivision Application Services | Community Planning

Planning and Development Services

City of Calgary

T 403.333-5492 | **E** jeff.martin@calgary.ca

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From: Candice Ross <[REDACTED]>

Sent: Thursday, April 10, 2025 3:44 PM

To: Martin, Jeff <Jeff.Martin@calgary.ca>

Subject: [External] Re: DP2025-01809

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Those were not comments? I asked you a specific question about what the changes were. Please provide.

On Apr 10, 2025, at 3:22 PM, Martin, Jeff <Jeff.Martin@calgary.ca> wrote:

Hello Candice,

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Regards,

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T 403.333-5492 | E jeff.martin@calgary.ca

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From: Candice Ross [REDACTED] >
Sent: Thursday, April 10, 2025 1:20 PM
To: Martin, Jeff <Jeff.Martin@calgary.ca>
Subject: [External] DP2025-01809

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 I am also confused as to why 1 day is being allowed to submit comments. The sign went up today!

Thanks,
 Candice Ross
 (1707 - 48 Ave SW)

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Samnick, Cyrille

From: Martin, Jeff
Sent: Monday, April 14, 2025 8:29 AM
To: Carol McClary
Cc: Meadows, Melanie D.; McKeown, Lynn; Candice Ross; rgrol
Subject: RE: [External] Letter of Objection to DP2025-01809, 1711 - 48 Avenue SW, New: Single Detached Dwelling

Carol,

Thank you for taking the time to provide us with comments relating to this development proposal in your neighbourhood. Your feedback will be included in the file and will form part of the application review.

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Regards,

Jeff Martin, AT

Senior Planning Technician

Development & Subdivision Application Services | Community Planning

Planning and Development Services

City of Calgary

T 403.333-5492 | E jeff.martin@calgary.ca

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From: Carol McClary [REDACTED] >

Sent: Friday, April 11, 2025 3:29 PM

To: Martin, Jeff <Jeff.Martin@calgary.ca>

Cc: Meadows, Melanie D. <Melanie.Meadows@calgary.ca>; McKeown, Lynn <Lynn.McKeown@calgary.ca>; Candice

Ross <candice.ross@shaw.ca>; rgrol <rgrol@shaw.ca>

Subject: [External] Letter of Objection to DP2025-01809, 1711 - 48 Avenue SW, New: Single Detached Dwelling

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This message came from outside your organization.

ATTENTION: Do not click links or open attachments from external senders unless you are certain it is safe to do so. Please forward suspicious/concerning email to spam@calgary.ca

Hello Jeff,

I have attached a letter of objection for DP2025-01809.

My client, Ms. Ross is very upset about the new proposed development especially when the issue of the fireplace was the difference between a Contextual Single Detached Dwelling permitted use and the current Single Detached Dwelling discretionary use permit.

I trust you will seriously consider these comments and reject this new development permit application.

Please acknowledge receipt of my email and two letters.

Thanks

Carol

Sincerely,

Carol McClary



From: [Curt Santha](#)
To: [Calgary SDAB Info](#)
Subject: [External] RE: Notice of Hearing: SDAB2025-0065 (1711 48 Ave SW, DP2025-01809)
Date: Tuesday, June 10, 2025 2:42:54 PM
Attachments: [SDAB 2025-0065 - Final Submission.pdf](#)

This Message Is From an External Sender

This message came from outside your organization.

ATTENTION: Do not click links or open attachments from external senders unless you are certain it is safe to do so. Please forward suspicious/concerning email to spam@calgary.ca

Good Day,

Attached is a set of designs illustrating the adjustments we have requested at the Covered Deck. The home itself currently under construction and near completion.

Please add this to the list of materials we will be referring to in the first meeting.

Thank you.

Curt Santha AT
Santha Design Inc.
 Custom Home Design
 403-710-7195
curt@santhadesign.ca
santhadesign.ca

Please note my new e-mail address & phone number and update accordingly. Thank you!

From: Calgary SDAB Info <Info@calgarysdab.ca>
Sent: May 28, 2025 1:49 PM
Cc: Calgary SDAB Info <Info@calgarysdab.ca>
Subject: Notice of Hearing: SDAB2025-0065 (1711 48 Ave SW, DP2025-01809)

Please see the attached documents pertaining to the upcoming Procedural & Jurisdictional hearing for **SDAB2025-0065**.

If you wish to participate in the hearing, you may do so by visiting our website at www.calgarysdab.ca. The video conference link, phone in number and access code are located at the bottom of the homepage and also available on the Upcoming Meetings page.

SDAB Admin

Municipal Boards & Governance
 Office: 4th Flr, 1212 31 Avenue NE
 Mail: PO Box 2100, Station M, MC #8110 | Calgary, AB T2P 2M5

General Phone Line: 403.268.5312 | calgarysdab.ca

NOTICE -

This communication is intended ONLY for the use of the person or entity named above and may contain information that is confidential or legally privileged. If you are not the intended recipient named above or a person responsible for delivering messages or communications to the intended recipient, YOU ARE HEREBY NOTIFIED that any use, distribution, or copying of this communication or any of the information contained in it is strictly prohibited. If you have received this communication in error, please notify us immediately by telephone and then destroy or delete this communication, or return it to us by mail if requested by us. The City of Calgary thanks you for your attention and co-operation.

PROJECT ADDRESS:

1711 48 AVENUE S.W.

CALGARY, ALBERTA
COMMUNITY OF ALTADORE

LEGAL ADDRESS:

LOT: 43 & 44 BLOCK: 7 PLAN: 5770AJ

REVISIONS DESCRIPTION & DATE:

- DEVMENT PERMIT SUBMISSION (COVERED DECK)
(DP# 2025-01809) MAR 27, 2025
- SDAB MATERIAL SUBMISSION JUNE 9, 2025

DRAWING STAGE:

DEVELOPMENT PERMIT SUBMISSION

* NOT FOR CONSTRUCTION *
DRAWINGS REMAIN SUBJECT TO ONGOING
INCREMENTAL REVIEW / REVISIONS
HOWEVER SUBSTANTIALLY COMPLETE

SQUARE FOOTAGES:

MAIN FLOOR PLAN	1830
UPPER FLOOR PLAN	1506
TOTAL ABOVE GRADE	3336
BASEMENT DEVELOPMENT	1846
BACKYARD SUITE	636
GARAGE	552

DRAWING DATE:

JUNE 9, 2025

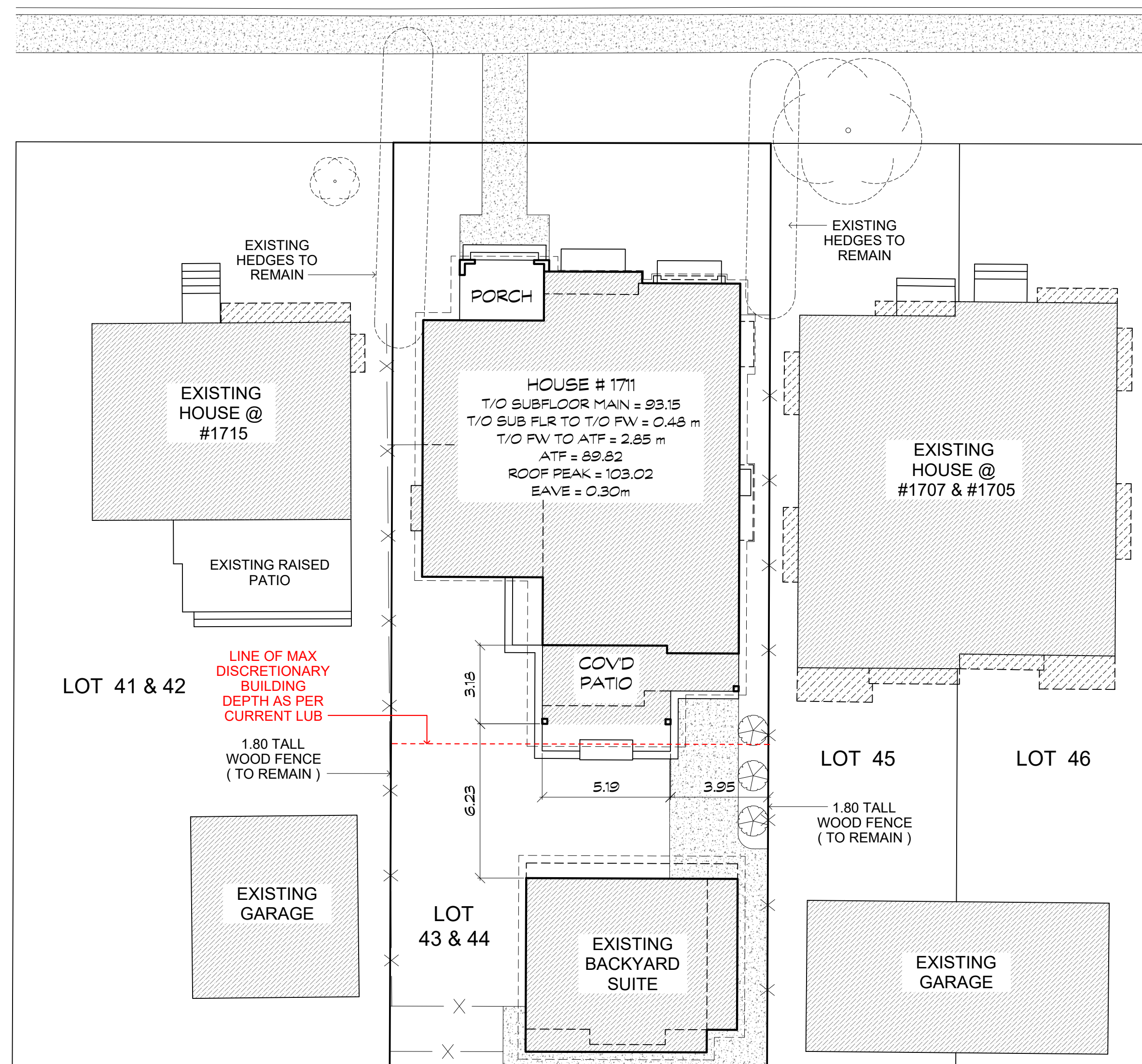
DRAWING SCALE:

3/16" = 1'-0"

PAGE / SHEET:

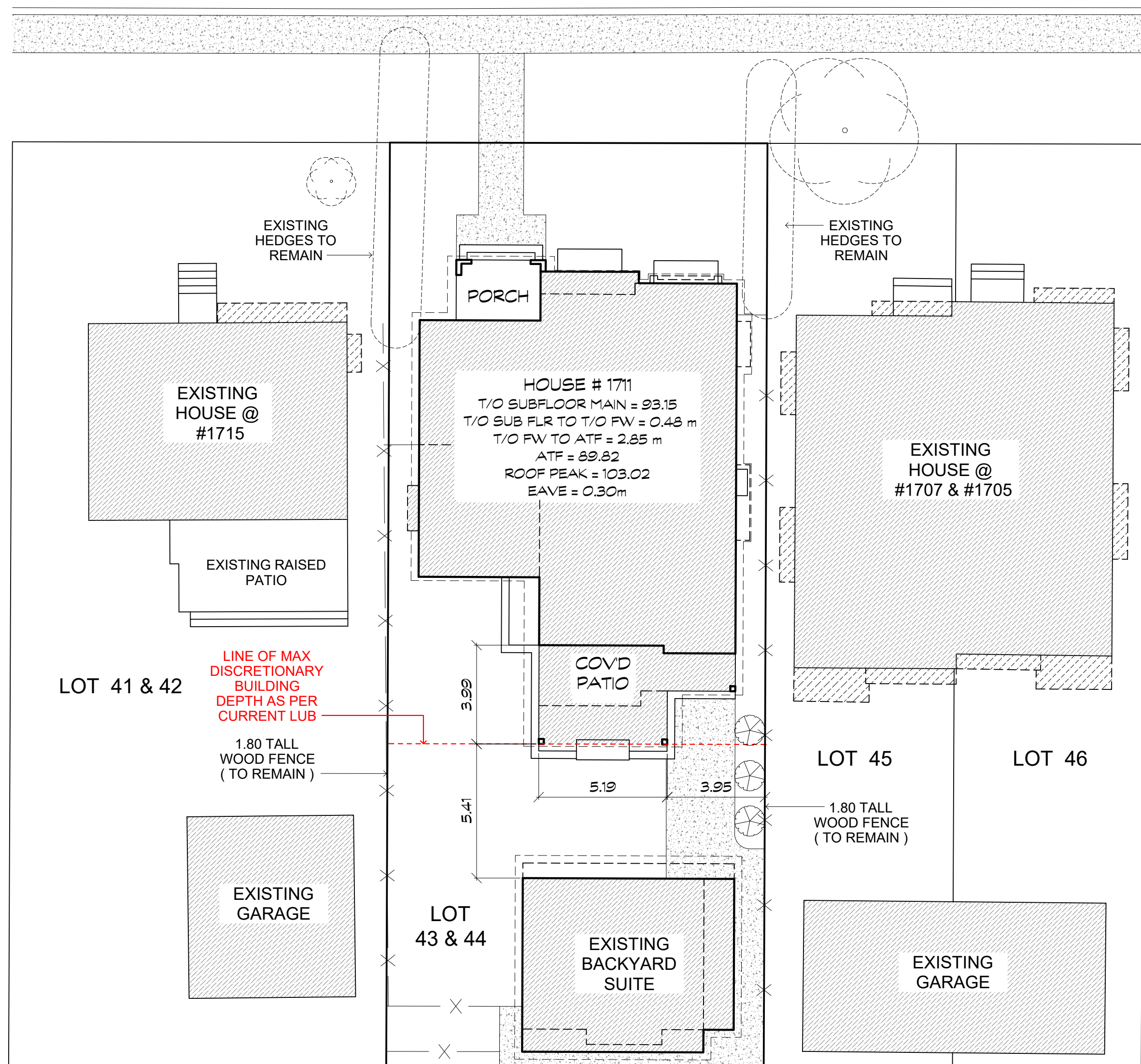
1 / 3

48 AVENUE S.W.

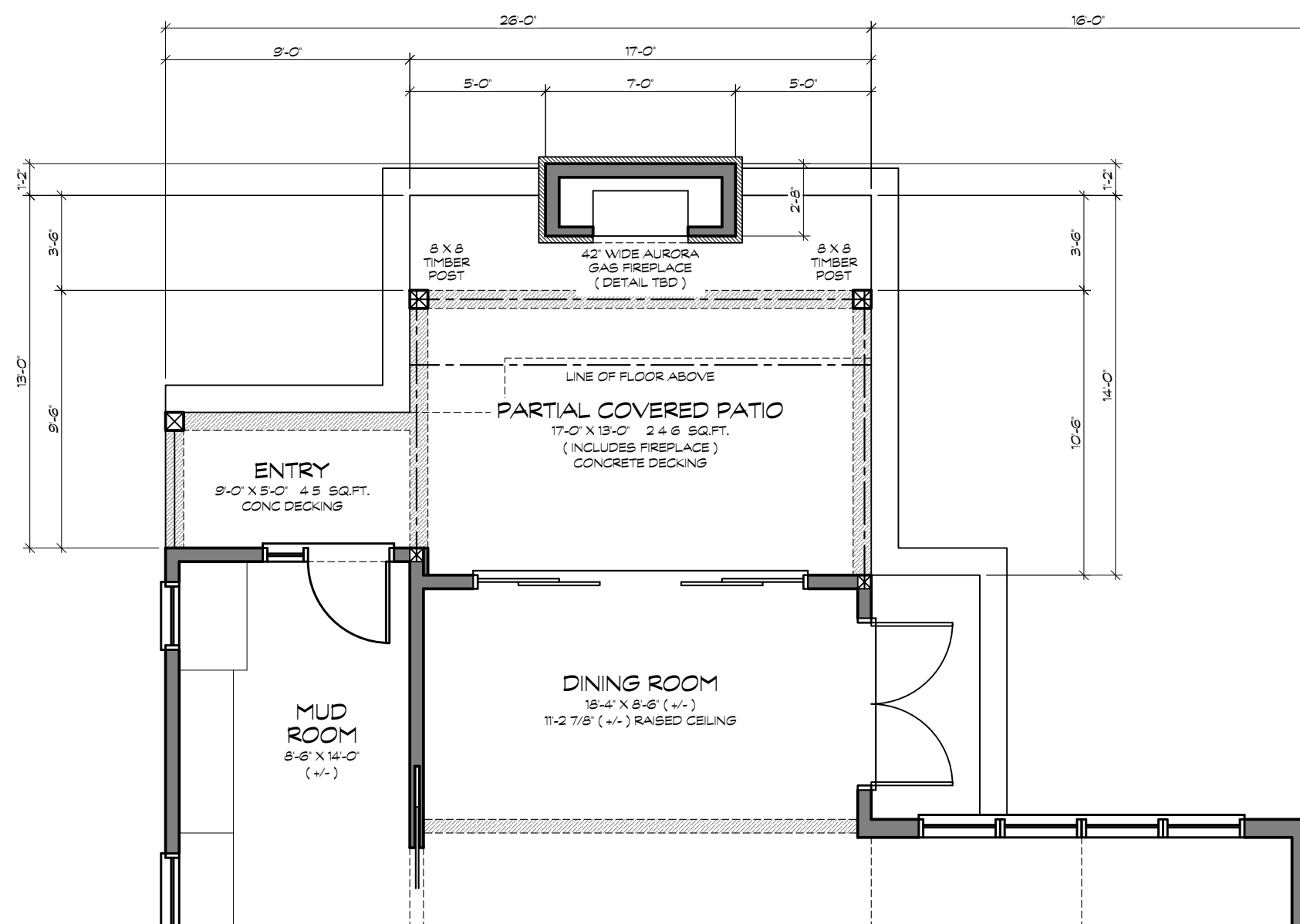


EXISTING SITE PLAN

48 AVENUE S.W.



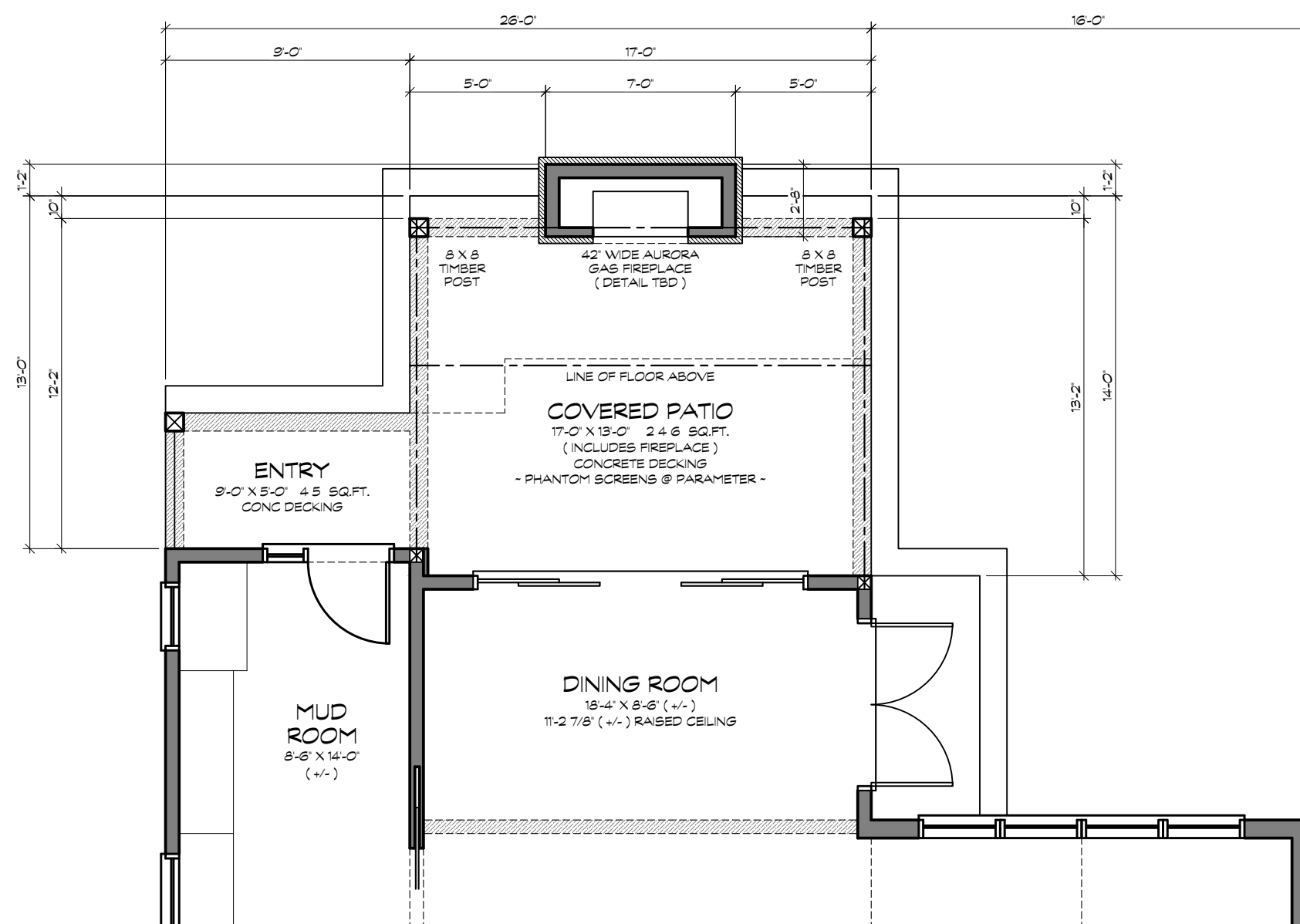
NEW SITE PLAN



EXISTING MAIN FLOOR DECK PLAN



EXISTING SOUTH (MID - REAR) ELEVATION



NEW MAIN FLOOR DECK PLAN



NEW SOUTH (MID - REAR) ELEVATION



PROJECT ADDRESS:

1711 48 AVENUE S.W.

CALGARY, ALBERTA
COMMUNITY OF ALTADORE

LEGAL ADDRESS:

LOT: 43 & 44 BLOCK: 7 PLAN: 5770AJ

REVISIONS DESCRIPTION & DATE:

- DEVMENT PERMIT SUBMISSION (COVERED DECK)
(DP# 2025-01809) MAR 27, 2025
- SDAB MATERIAL SUBMISSION JUNE 9, 2025

DRAWING STAGE:

DEVELOPMENT PERMIT SUBMISSION

- NOT FOR CONSTRUCTION -
DRAWINGS REMAIN SUBJECT TO ONGOING
INCREMENTAL REVIEW / REVISIONS
HOWEVER SUBSTANTIALLY COMPLETE

SQUARE FOOTAGES:

MAIN FLOOR PLAN	1830
UPPER FLOOR PLAN	1506
TOTAL ABOVE GRADE	3336
BASEMENT DEVELOPMENT	1846
BACKYARD SUITE	636
GARAGE	552

DRAWING DATE:

JUNE 9, 2025

DRAWING SCALE:

3/16" = 1'-0"

PAGE / SHEET:

LOT: 43 & 44 BLOCK: 7 PLAN: 5770AJ

VISIONS DESCRIPTION & DATE :
VMENT PERMIT SUBMISSION (COVERED DECK)
P# 2025-01809) MAR 27, 2025
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SUBMISSION**

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<hr/>	
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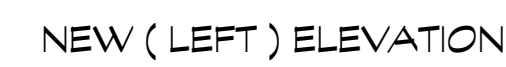
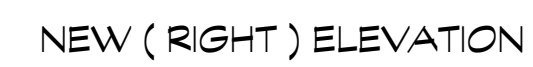
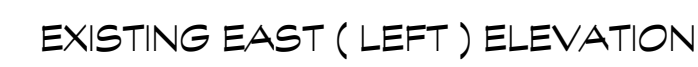
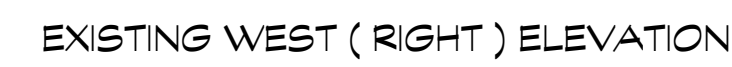
AWING DATE :
JUNE 9, 2025

DRAWING SCALE :

$3/16" = 1' - 0"$

GE / SHEET :

3 / 3





NORTH (FRONT) ELEVATION

EXTERIOR COLOURS :

ROOF

TYPE : ASPHALT SHINGLES COLOUR : BLACK

EXTERIOR WALLS

TYPE : STUCCO COLOUR : WHITE

TYPE : SHARTEBOARD COLOUR : LIGHT GRAY

MASONRY

TYPE : THIN BRICK VENEER COLOUR : PAINTED WHITE

TRIM & MILLWORK DETAILS

TYPE : SHARTEBOARD COLOUR : LIGHT GRAY

FASCIA & EAVESTROUGH

FASCIA : ALUMINUM COLOUR : LIGHT GRAY

DOWNSPOUT : ALUMINUM COLOUR : TO MATCH STUCCO

SOFFIT

TYPE : PRE-FIN ALUMINUM COLOUR : LIGHT GRAY

FRONT DOOR

TYPE : TBD COLOUR : WHITE OAK

WINDOWS

TYPE : VINYL COLOUR : BLACK

WINDOW GRILLS

TYPE : AS PER ELEVATIONS COLOUR : BLACK

REAR DOOR

TYPE : VINYL COLOUR : BLACK

GARAGE DOOR (IF APPLICABLE - SEE DETACHED GARAGE)

COLOUR : LIGHT GRAY

RAILINGS

TYPE : ALUMINUM COLOUR : BLACK

WINDOW FENESTRATION INFORMATION & U-VALUE KEY	
PRODUCT HEIGHT	10" m.
TERRAIN TYPE	ROUGH
PERFORMANCE CLASS	5
MINIMUM PERFORMANCE GRADE (PG)	25
MINIMUM POSITIVE DESIGN PRESSURE	1200 psf
MINIMUM NEGATIVE DESIGN PRESSURE	1200 psf
MINIMUM WATER PENETRATION RESISTANT TEST PRESSURE	360 psf
MINIMUM CANADIAN AIR INFILTRATION / EXFILTRATION	A2 psf
* AS PER NORTH AMERICAN FENESTRATION STANDARD (NAPS)	

WEST ELEVATION GLASS CALCULATION KEY

UNOBSTRUCTED GLASS CALC.	
TOTAL WALL AREA	12.84 SQ.FT.
TOTAL WALL AREA @ 12" m.	8.23 SQ.FT.
MAX ALLOWABLE GLASS (7.00 %)	4.5 SQ.FT.
TOTAL GLASS AREA	4.4 SQ.FT.

UNOBSTRUCTED GLASS CALC.	
TOTAL WALL AREA	12.84 SQ.FT.
TOTAL WALL AREA @ 8" m.	6.10 SQ.FT.
MAX ALLOWABLE GLASS (19.00 %)	1.16 SQ.FT.
TOTAL GLASS AREA	8.8 SQ.FT.



WEST (RIGHT) ELEVATION



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(DP2023-06814) SEPT 27, 2023

- DEVIANT PERMIT RELEASED
(DP2023-06814) DEC 4, 2023

- DEVIANT PERMIT SUBMISSION (8-YARD SUITE)
(DP2023-09060) DEC 22, 2023

- DEVIANT PERMIT RELEASED
(DP2023-09060) JUN 11, 2024

- DEVIANT PERMIT SUBMISSION (COVERED DECK)
(DP# TBD) MAR 27, 2025

DRAWING STAGE :

DEVELOPMENT
PERMIT
SUBMISSION

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HOWEVER SUBSTANTIALLY COMPLETE

SQUARE FOOTAGES :

MAIN FLOOR PLAN	183.0
UPPER FLOOR PLAN	150.6
TOTAL ABOVE GRADE	333.6
BASEMENT DEVELOPMENT	184.6
BACKYARD SUITE	63.6
GARAGE	55.2

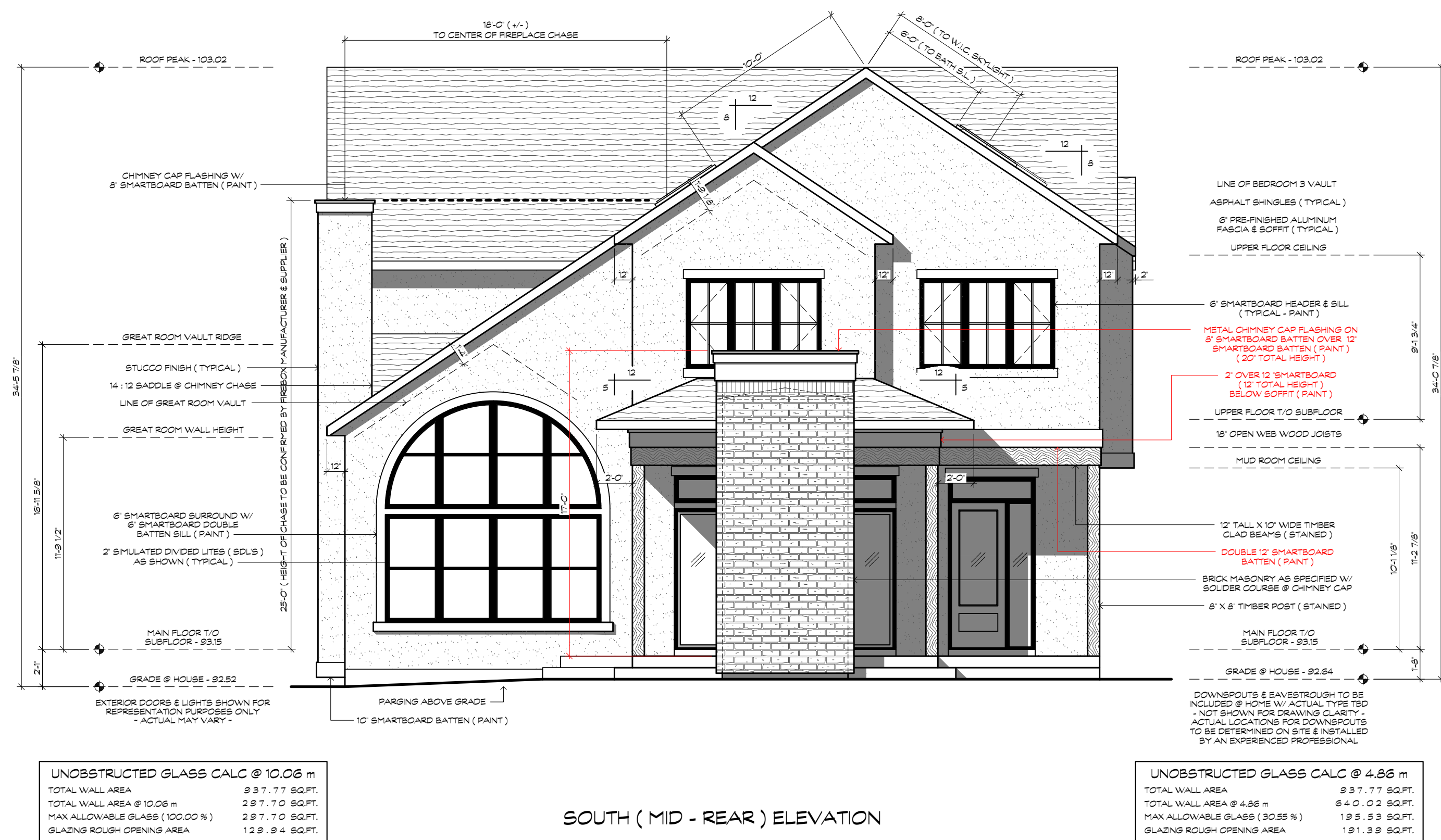
DRAWING DATE :

MARCH 27, 2025

DRAWING SCALE :

3 / 16" = 1' - 0"

PAGE / SHEET :



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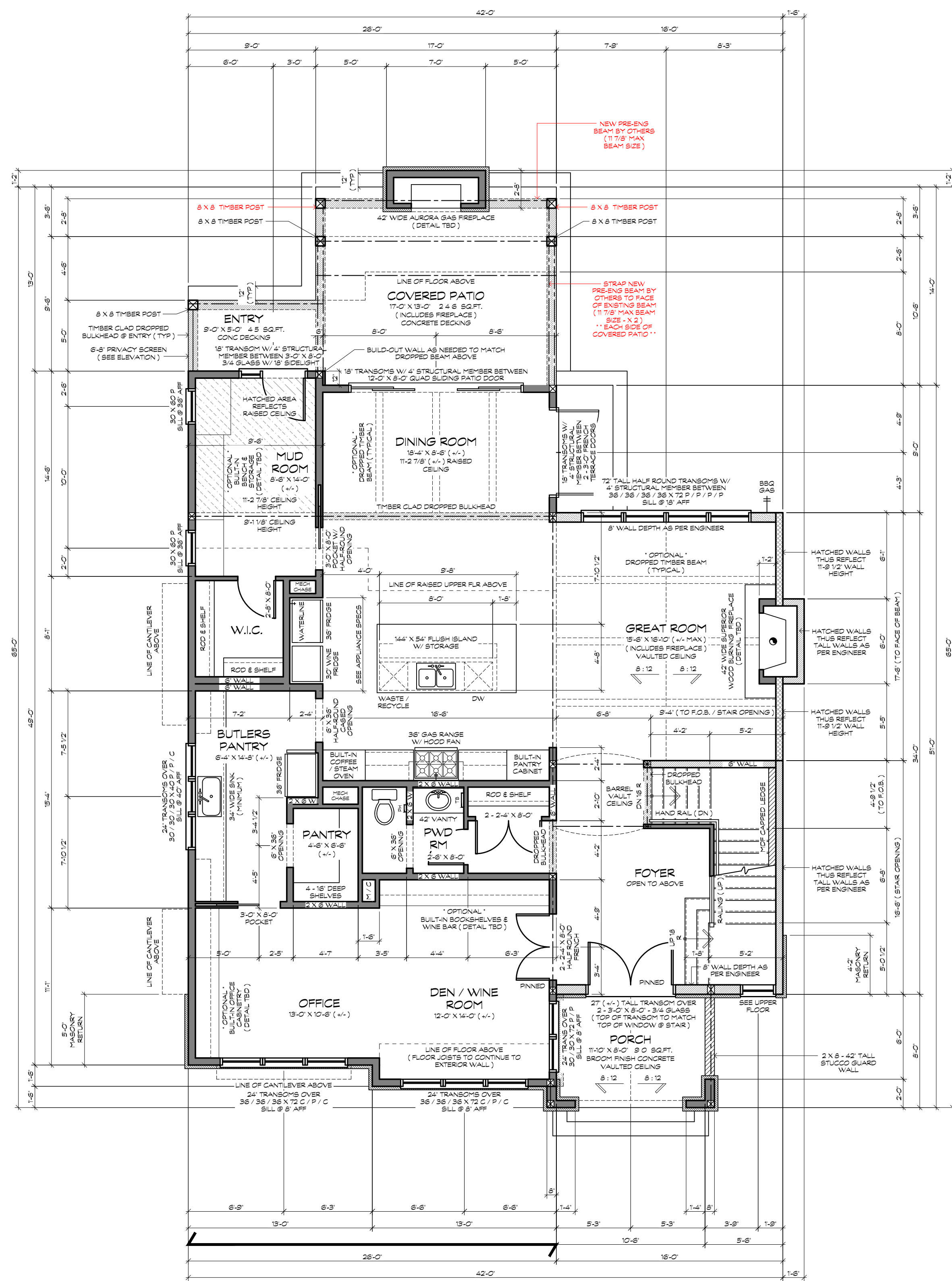
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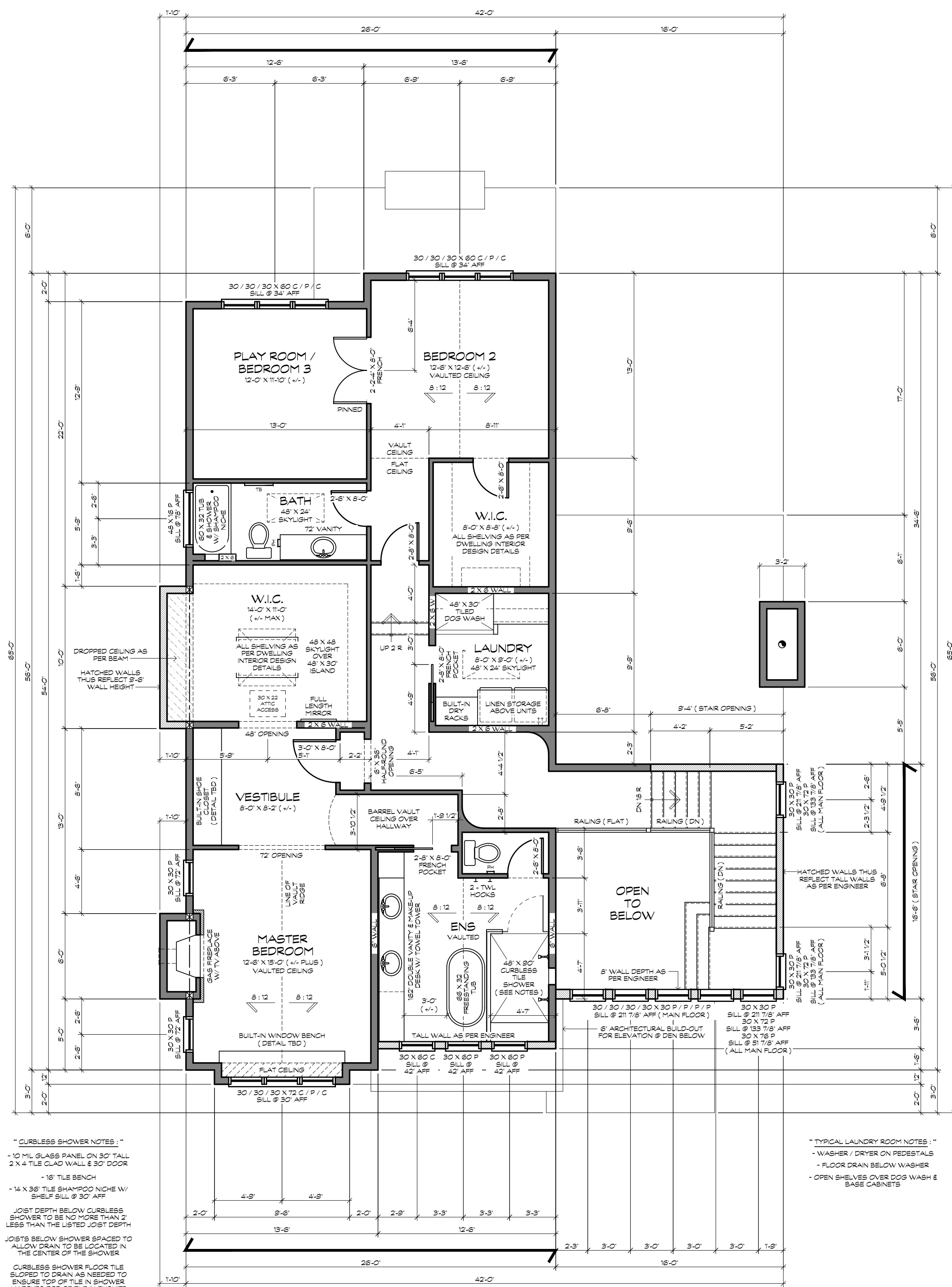
2 / 4



MAIN FLOOR PLAN
1830 SQ.FT.

10'-1 1/8" MAIN FLOOR WALL HEIGHT
CITY OF CALGARY : CONTEXTUAL SINGLE DETACHED DWELLING 347 (5) :
MAIN FLOOR FOOTPRINT = 1830 SQ.FT.
UPPER FLOOR FOOTPRINT = 1718 SQ.FT.
DIFFERENCE IN BUILDING COVERAGE = 114 SQ.FT.
* NOTE : *
MAIN FLOOR FOOTPRINT SQUARE FOOTAGE
EXCLUDES COVERED ENTRY AND DECK.

* CURBLESS SHOWER NOTES : *
- 10 MIL GLASS PANEL ON 30" TALL
2 X 4 TILE CLAD WALL & 30" DOOR
- 18" TILE BENCH
- 14 X 36" TILE SHAMPOO NICHE W/
SHELF SILL @ 30" AFF
- JOIST DEPTH BELOW CURBLESS
SHOWER TO BE NO MORE THAN 2"
LESS THAN THE LISTED JOIST DEPTH
- JOISTS BELOW SHOWER SPACED TO
ALLOW DRAIN TO BE LOCATED IN
THE CENTER OF THE SHOWER
- CURBLESS SHOWER FLOOR TILE
SLOPED TO DRAIN AS NEEDED TO
ENSURE TOP OF TILE IN SHOWER
MATCHES TOP OF TILE IN ENSUITE



UPPER FLOOR PLAN
1506 SQ.FT.

10'-3 1/2" MASTER BEDROOM & LAUNDRY WALL HEIGHT
9'-1 1/8" UPPER FLOOR WALL HEIGHT
(EXCLUDES STAIRS & OPEN TO BELOW)

* TYPICAL LAUNDRY ROOM NOTES : *
- WASHER / DRYER ON PEDESTALS
- FLOOR DRAIN BELOW WASHER
- OPEN SHELVES OVER DOG WASH &
BASE CABINETS

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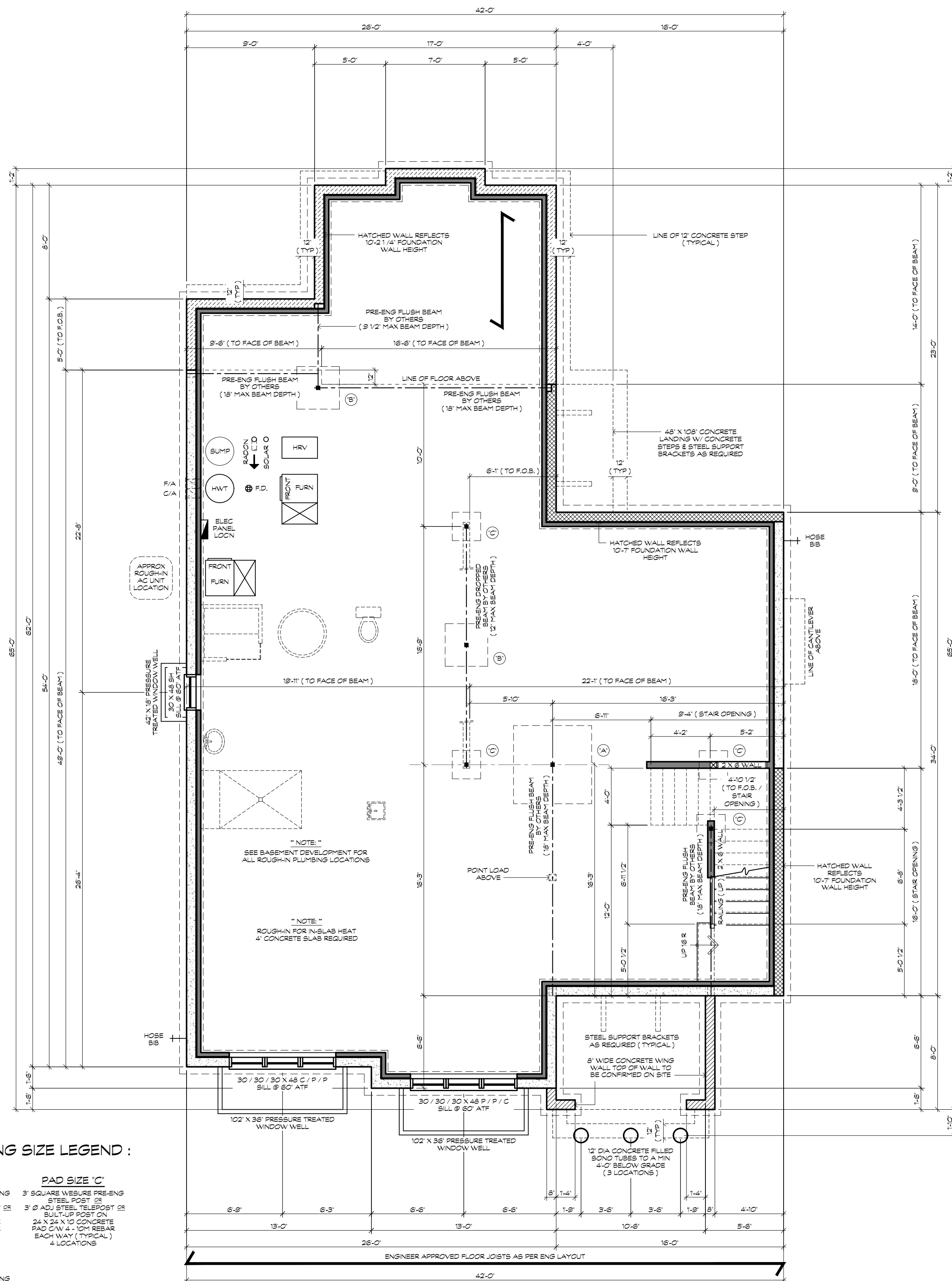
DRAWING SCALE :

3/16" = 1'-0"

PAGE / SHEET :

PAD FOOTING SIZE LEGEND :

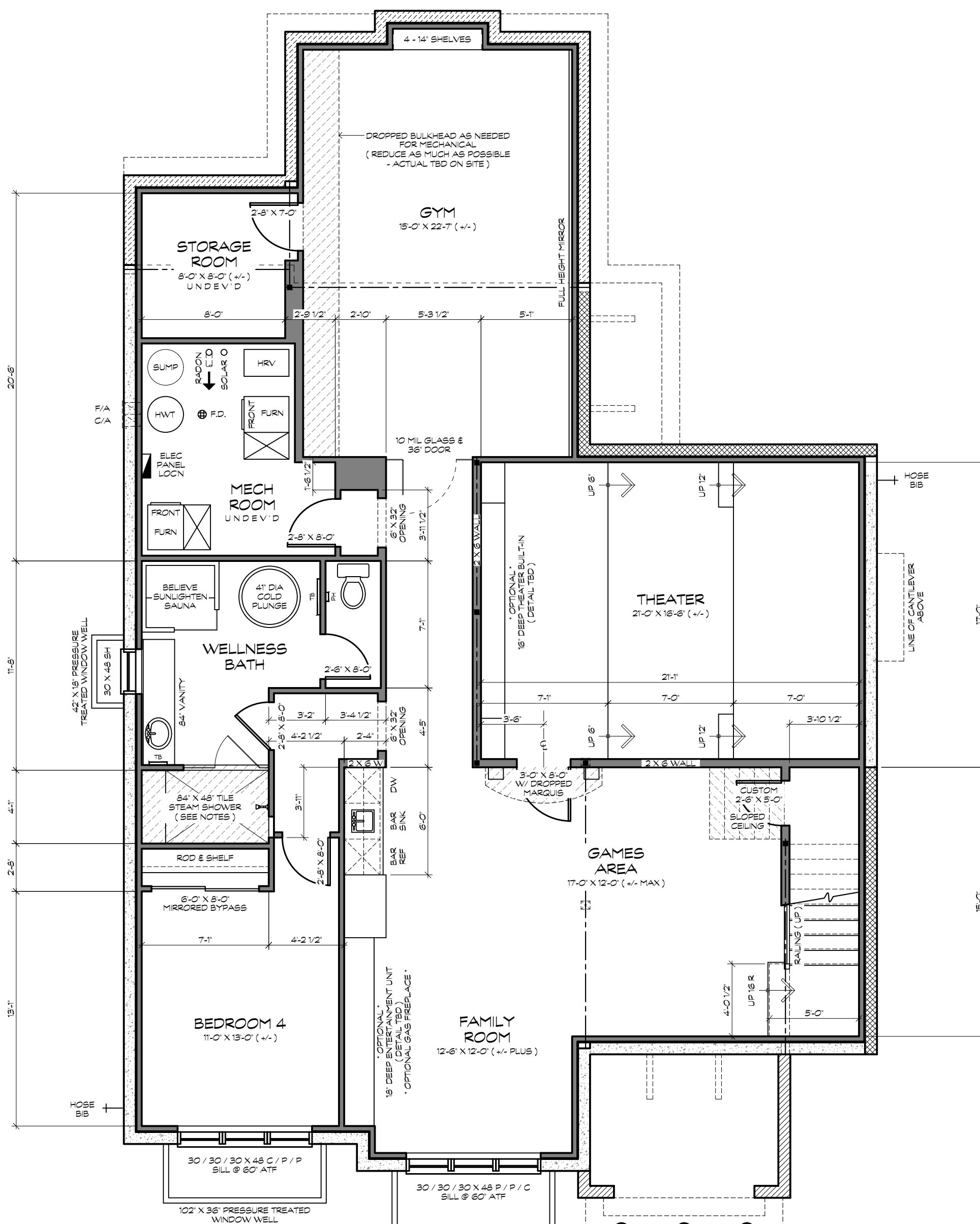
- PAD SIZE 'A'**
3' SQUARE WESURE PRE-ENG STEEL POST OR 3' Ø ADJ. STEEL TELEPOST OR 36" X 36" X 10 CONCRETE PAD C/W 8" Ø 10" REBAR EACH WAY (TYPICAL) 1 LOCATION
- PAD SIZE 'B'**
3' SQUARE WESURE PRE-ENG STEEL POST OR 3' Ø ADJ. STEEL TELEPOST OR 36" X 36" X 10 CONCRETE PAD C/W 8" Ø 10" REBAR EACH WAY (TYPICAL) 2 LOCATIONS
- PAD SIZE 'C'**
3' SQUARE WESURE PRE-ENG STEEL POST OR 3' Ø ADJ. STEEL TELEPOST OR 24" X 24" X 10 CONCRETE PAD C/W 4" Ø 10" REBAR EACH WAY (TYPICAL) 4 LOCATIONS



- * STEAM SHOWER NOTES : *
- 10 ML GLASS PANEL & 30" DOOR
 - 18" TILE BENCH
 - 14" X 36" TILE SHAMPOO NICHE W/ SHELF SILL @ 30" AFF
 - DROPPED CEILINGS AS REQUIRED FOR STEAM SHOWER
 - LOCATE STEAM UNIT IN VANITY

BASEMENT DEVELOPMENT PLAN
1846 SQ.FT.

9'-4" FOUNDATION WALL HEIGHT



- * BASEMENT DEVELOPMENT NOTES : *
- SOME WALL LOCATIONS MAY REQUIRE TO BE ALTERED ON SITE TO ACCOMMODATE FOR THE COLUMN HEAD OR SADDLE
 - DROPPED CEILINGS SHOWN ARE FOR REPRESENTATION PURPOSES ONLY ACTUAL MAY VARY ON SITE DUE TO REQUIRED HVAC NEEDS

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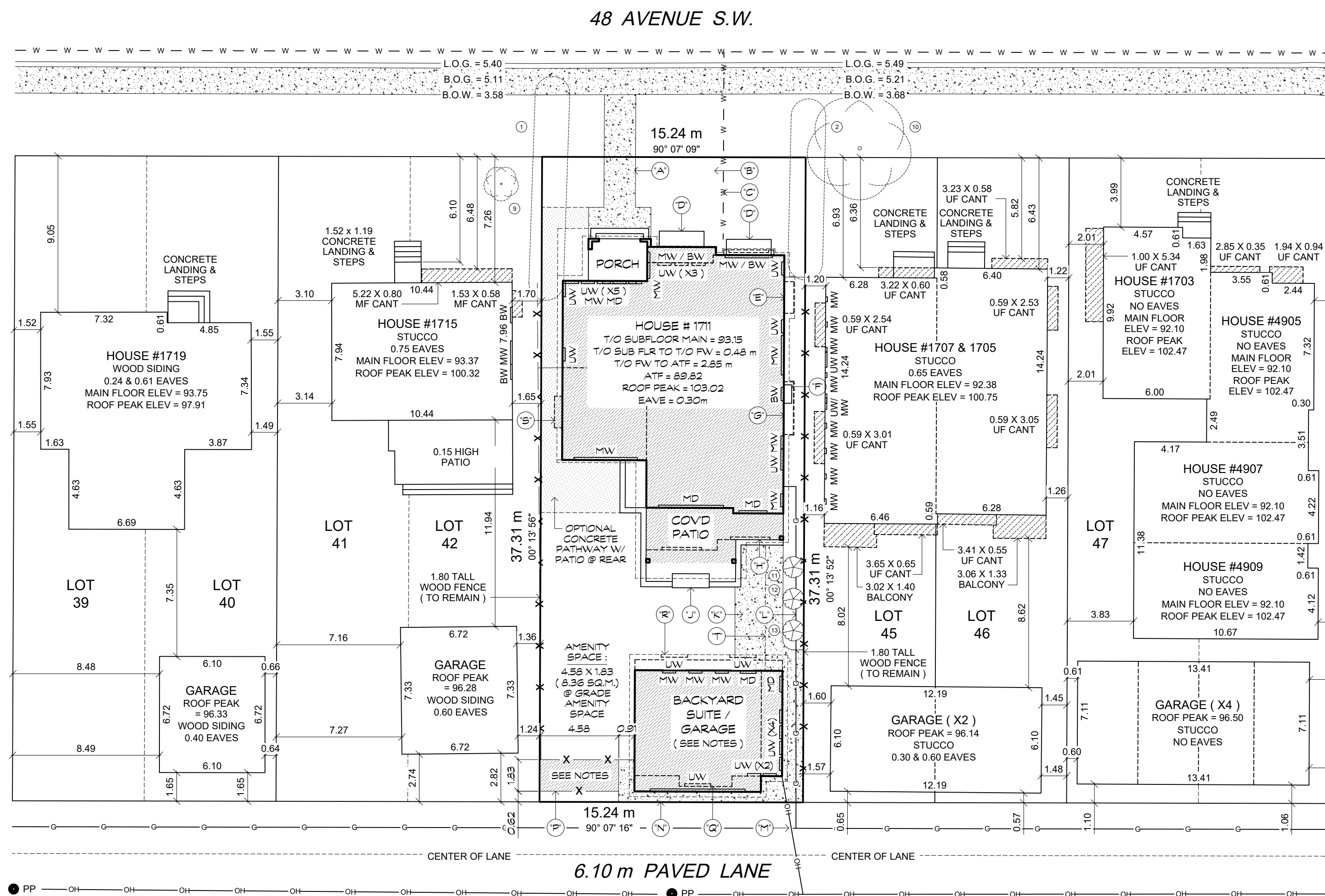
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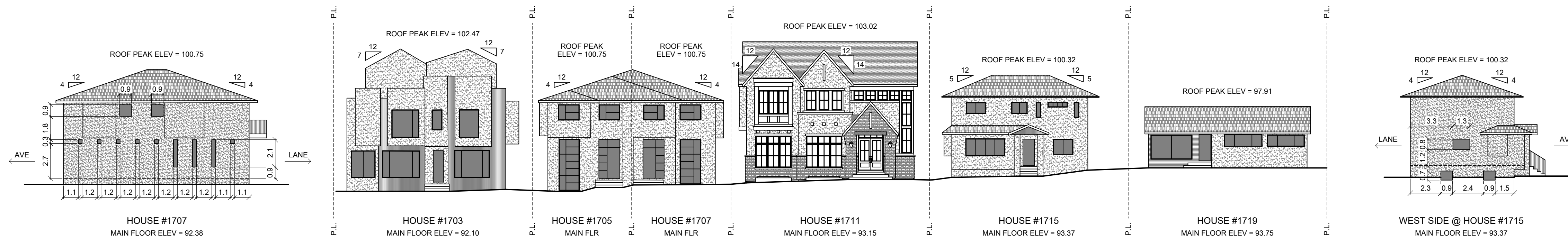
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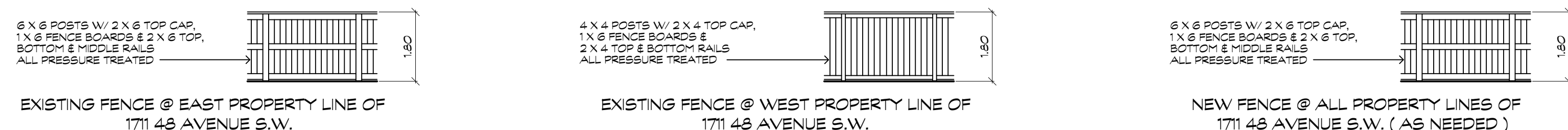
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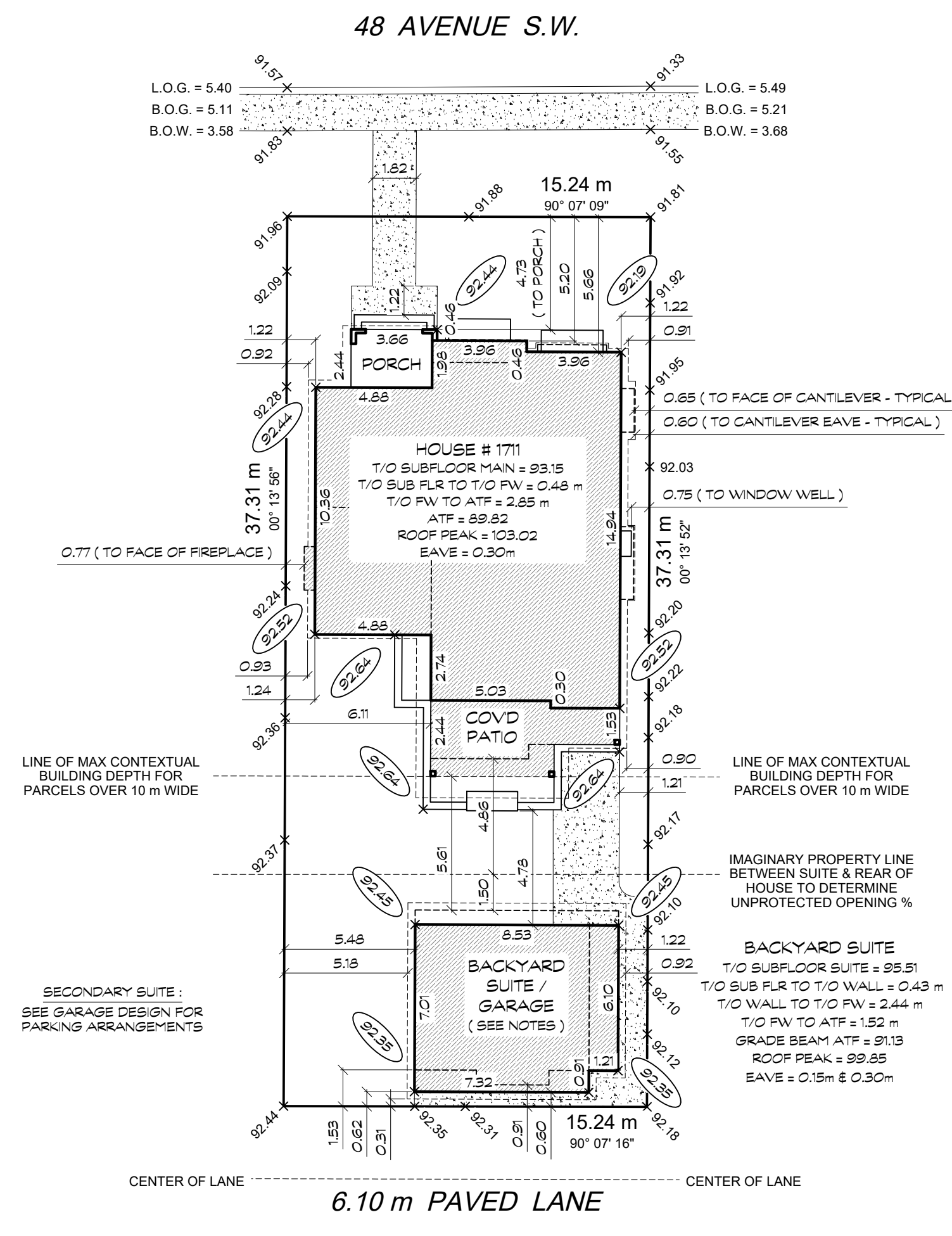
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







SCALE = N.T.S.



SCALE = 1 : 200



LEGEND & ABBREVIATIONS :

- | | | | | |
|------------------------|----|-----------------|-------------------|---|
| • PROPERTY LINE | OR | _____ | • CONCRETE |  |
| • GAS LINE | | _____ G _____ | • FIRE HYDRANT |  |
| • UNDERGROUND ELECTRIC | | ----- E ----- | • LIGHT STANDARD |  |
| • OVERHEAD POWER LINES | | ----- OI ----- | • POWER POLE |  |
| • SANITARY SEWER | | ----- S ----- | • WATER VALVE |  |
| • STORM SEWER | | ----- SS ----- | • BUSH |  |
| • TELLUS LINE | | ----- T ----- | • CONIFEROUS TREE |  |
| • WATER LINE | | ----- W ----- | • DECIDUOUS TREE |  |
| • FENCE | | ----- X ----- | | |
| • MAIN FLOOR DOOR | | ----- MD ----- | | |
| • UPPER FLOOR DOOR | | ----- UD ----- | | |
| • BASEMENT WINDOW | | ----- BW ----- | | |
| • MAIN FLOOR WINDOW | | ----- MW ----- | | |
| • UPPER FLOOR WINDOW | | ----- UW ----- | | |
| • OVERHEAD GARAGE DOOR | | ----- OGD ----- | | |
| • WINDOW WELL | | ----- WW ----- | | |
| • EXISTING CURB CUT | | ----- CC ----- | | |

SURVEYOR NOTES :

- DISTANCES ARE SHOWN IN METERS & DECIMALS THEREOF.
- ELEVATIONS ARE GEODETIC AND DERIVED FROM :
 ASCN 63297 ELEVATION = 1074.740
- TO OBTAIN ACTUAL ELEVATION ADD 1000 TO SPOT ELEVATIONS.
- SURVEY WAS PERFORMED ON :
 JUNE 14, 2022
- ALL UNDERGROUND UTILITIES WERE PLOTTED FROM CITY OF CALGARY BLOCK
 PROFILE PLANS. PRIOR TO DIGGING, UNDERGROUND LINES MUST BE LOCATED.
- DEEP UTILITIES ARE NOT PLOTTED TO SCALE.

GENERAL PLOT PLAN NOTES :

- * ALL MEASUREMENTS ARE IN METERS @ 1:200 SCALE UNLESS NOTED OTHERWISE
- * FINAL NUMBER OF REBERS AND GRACES MAY VARY AS PER SITE CONDITIONS AND ARE TO BE CONFIRMED ON SITE PRIOR TO DIMENSIONING
- * CONTRACTOR TO CONFIRM ALL PIFICATIONS & SERVICES PRIOR TO BEGINNING OF WORK
- * ALL DISCREPANCIES TO BE REPORTED PRIOR TO THE BUILDER / DESIGNER PRIOR TO CONSTRUCTION START
- * STREET LAMP(S), SITE FURNITURE, ETC. ARE SHOWN FOR REPRESENTATION PURPOSES ONLY. ACTUAL TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION
- * BEARING CERTIFICATE REQUIRED
- * PLUMB TO ENSURE THAT THE SEWER PIPE BE LOCATED & INSTALLED WITH A MINIMUM 2% GRADE TO THE SERVICE INVERT OR SANITARY FIELD
- * IF A PUMP PUMP IS REQUIRED THAT IT IS TO BE LOCATED & INSTALLED WITHIN THE MECHANICAL ROOM OF THE HOUSE
- * DRIVEWAY & SIDEWALK QUOTE BREAKDOWN :
 - SIDEWALK TO FRONT STEP 1.6 , 4.0 SQ.M.
 - GARAGE APRON 4. 4.8 SQ.M.
 - MISCELLANEOUS FLAT WORK 3.2 , 0.0 SQ.M.
- * EXISTING ELEVATIONS ARE METRIC AND ARE SHOWN AS THIS.....
- * NEW ELEVATIONS ARE METRIC AND ARE SHOWN AS THIS.....
- * PROPOSED NEW PLANTING ONLY - FINAL PLACEMENT @ BUILDERS / OWNERS DISCRETION
- * ADDITIONAL PLANTING AS REQUIRED TO COMPLY WITH THE CITY OF CALGARY BYLAWS
- * PLANTING TO BE COMPLETE WITHIN THE RESPECTIVE SUBJECT SITE
- * DO NOT SCALE DRAWING

PROPOSED PARCEL COVERAGE CALCULATIONS:	
TOTAL PARCEL AREA	588.61 m ²
MAXIMUM ALLOWABLE PARCEL COVERAGE : 45 %	255.87 m ²
HOUSE FOOTPRINT INC. PROJECTIONS LESS THAN 2.4M ABOVE GRADE	190.65 m ²
GARAGE FOOTPRINT TOTAL (MAX 75 SQ.M.)	58.69 m ²
TOTAL COMBINED FOOTPRINT COVERAGE	249.37 m ²
TOTAL PARCEL COVERAGE	43.86 %

CONTEXTUAL BUILDING SETBACK CALCULATIONS:	
BUILDING SETBACK FROM FRONT PROPERTY LINE	4.73 m
BUILDING SETBACK FROM SIDE PROPERTY LINE	1.20 m
MAX CONTEXTUAL BUILDING DEPTH FROM FRONT PROPERTY LINE	23.47 m
MAX BUILDING HEIGHT	102.90

[illegible]

MISCELLANEOUS NOTES	
A	BROOM FINISH CONCRETE WALKWAY & LANDING
B	APPROXIMATE LOCATION OF NEW SEWER LINE
C	APPROXIMATE LOCATION OF NEW WATER LINE
D	2.60 X 0.90 PRESSURE TREATED WINDOW WELL
E	0.54 X 1.69 UPPER FLOOR FIREPLACE CANTILEVER
F	1.06 X 0.48 PRESSURE TREATED WINDOW WELL
G	0.54 X 3.00 UPPER FLOOR CANTILEVER
H	UPPER FLOOR CANTILEVER
J	2.19 X 0.82 EXTERIOR GAS FIREPLACE
K	BROOM FINISH LANDING & BATHWAY
L	APPROXIMATE LOCATION OF NEW WATER LINE ("80 ON SITE)
M	NEW OVERHEAD POWER TO NEW "MST @ GARAGE
N	BROOM FINISH CONCRETE APRON
P	NEW 1"X3 WOOD FENCE (SEE DETAIL)
Q	LINE OF BACKYARD SUITE ABOVE GARAGE W/ 3.00 X 0.60 PROJECTION
R	0.91 UPPER FLOOR CANTILEVER @ BACKYARD SUITE ABOVE GARAGE
S	0.91 X 1.69 FIRE PLACE CANTILEVER @ BACKYARD SUITE ABOVE GARAGE
T	SELOCUTE NEW SERVICES BELOW GRASS BETWEEN HOUSE & GARAGE

santha

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CUSTOM HOME DESIGN

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DP# TBD	MAR 27, 2025

ALPHA GEOMATICS

Dalcastle Way N.W. Phone : (403) 891-2252
Calgary, Alberta T3A 2N4 E-mail : info@alphageomatics.ca

DRAWING STAGE :

DEVELOPMENT
PERMIT
SUBMISSION

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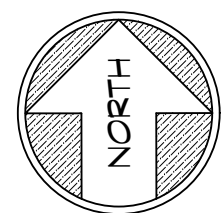
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SQUARE FOOTAGES :	
MAIN FLOOR PLAN	1 6 3 0
UPPER FLOOR PLAN	1 5 0 6
<hr/>	
TOTAL ABOVE GRADE	3 3 3 6
BASEMENT DEVELOPMENT	1 8 4 6
BACKYARD SUITE	6 3 6
GARAGE	5 5 2

DRAWING DATE :
MARCH 27, 2025DRAWING SCALE:
AS NOTED

PAGE / SHEET :

SP 1 / 2

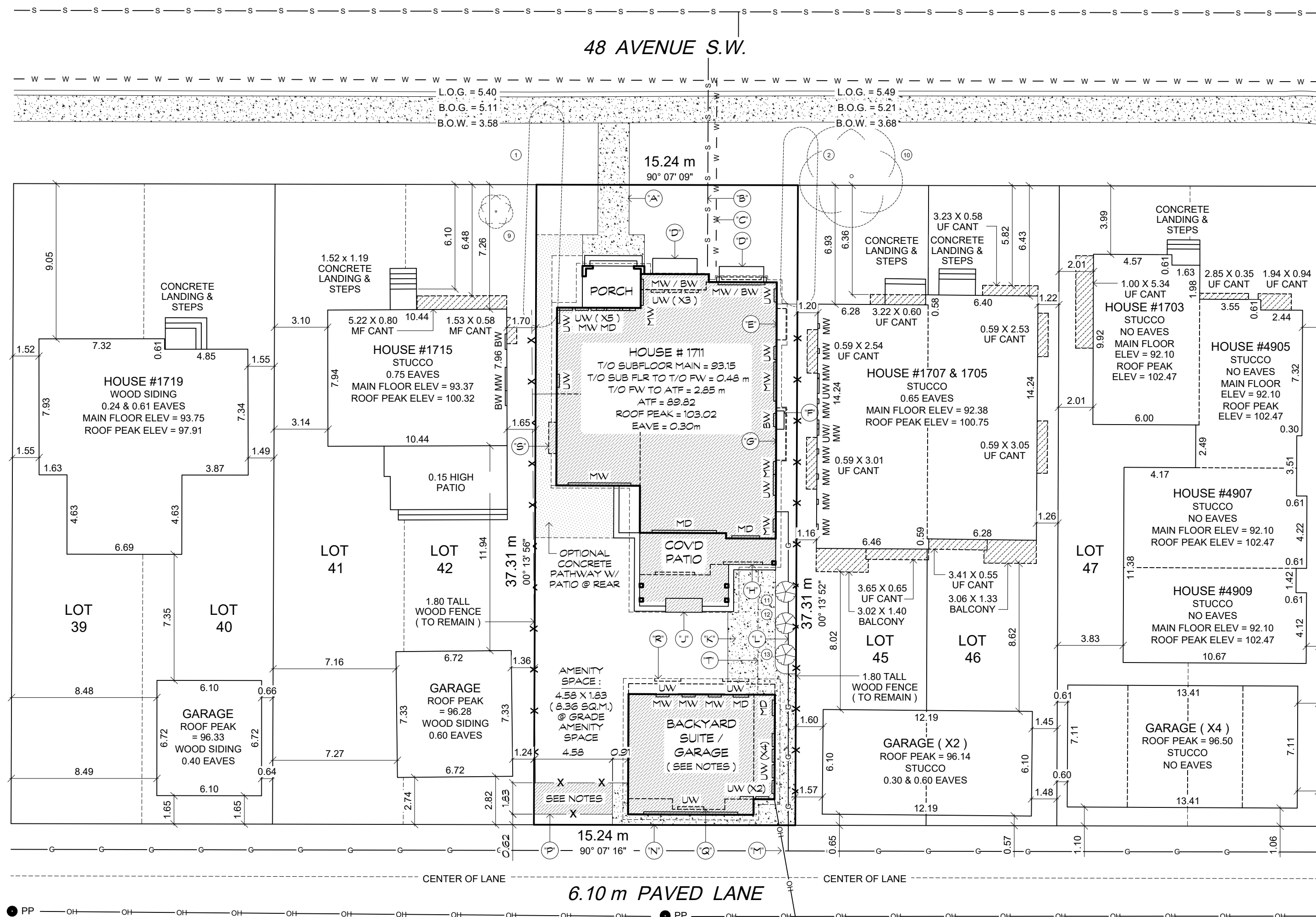


NEW BLOCK & SITE PLAN

SCALE = 1:200

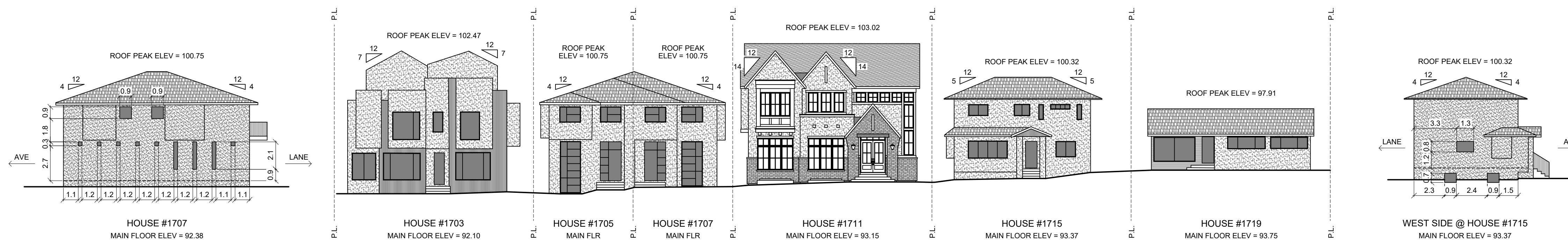
NEW BUILDING GRADE PLAN

SCALE = 1:200



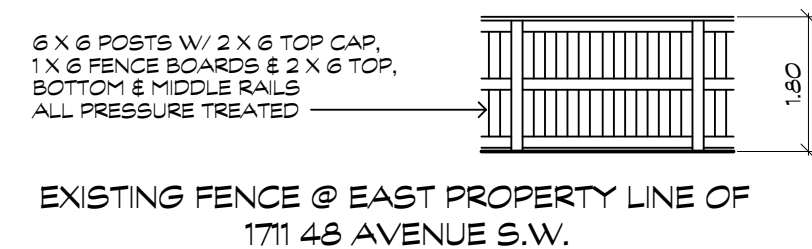
STREETSCAPE & PROFILES

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FENCE DETAILS

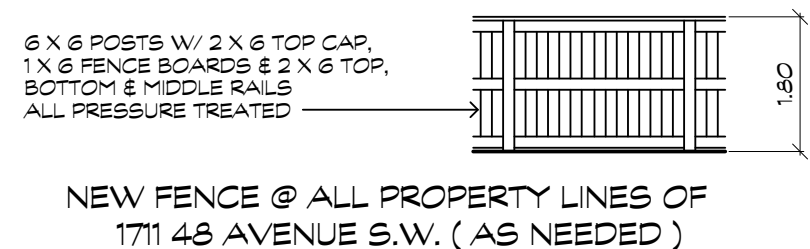
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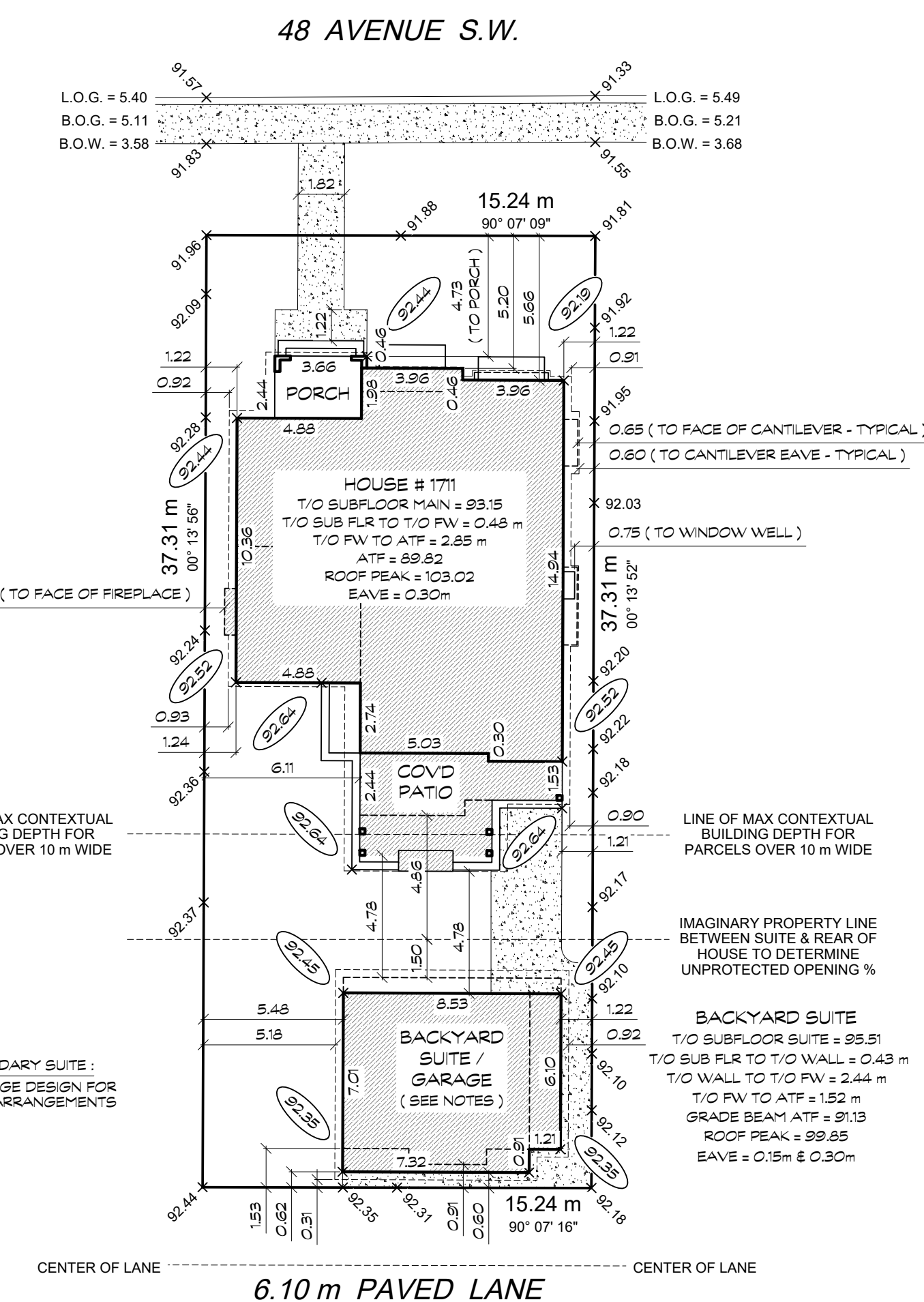
EXISTING FENCE @ EAST PROPERTY LINE OF 1711 48 AVENUE S.W.



EXISTING FENCE @ WEST PROPERTY LINE OF 1711 48 AVENUE S.W.



NEW FENCE @ ALL PROPERTY LINES OF 1711 48 AVENUE S.W. (AS NEEDED)



LEGEND & ABBREVIATIONS:

PROPERTY LINE	OR	CONCRETE	
GAS LINE		FIRE HYDRANT	
UNDERGROUND ELECTRIC		LIGHT STANDARD	
OVERHEAD POWER LINES		POWER POLE	
SANITARY SEWER		WATER VALVE	
STORM SEWER		BUSH	
TELUS LINE		CONIFEROUS TREE	
WATER LINE		DECIDUOUS TREE	
FENCE			
MAIN FLOOR DOOR			
UPPER FLOOR DOOR			
BASEMENT WINDOW			
MAIN FLOOR WINDOW			
UPPER FLOOR WINDOW			
OVERHEAD GARAGE DOOR			
WINDOW WELL			
EXISTING CURB CUT			

SURVEYOR NOTES:

- DISTANCES ARE SHOWN IN METERS & DECIMALS THEREOF.
- ELEVATIONS ARE GEODETIC AND DERIVED FROM:
- ASCH (88297) ELEVATION 1014.70
- TO OBTAIN ACTUAL ELEVATION ADD 1000 TO SPOT ELEVATIONS.
- PROFILES PLANNED PRIOR TO DIGGING, UNDERGROUND LINES MUST BE LOCATED.
- DEEP UTILITIES ARE NOT PLOTTED TO SCALE.

GENERAL PLOT PLAN NOTES:

- ALL MEASUREMENTS ARE IN METERS @ 1:200 SCALE UNLESS NOTED OTHERWISE.
- FINAL NUMBER OF RISERS AND GRADES MAY VARY AS PER SITE CONDITIONS AND ARE TO BE CONFIRMED ON SITE PRIOR TO FABRICATION.
- CONTRACTOR TO CONFIRM ALL DIMENSIONS & SERVICES PRIOR TO BEGINNING OF WORK.
- ALL DISCREPANCIES TO BE REPORTED PRIOR TO THE BUILDER / DESIGNER PRIOR TO CONSTRUCTION START.
- STREET LAMP, SITE FURNITURE, ETC. ARE SHOWN FOR REPRESENTATION PURPOSES ONLY.
- ACTUAL TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION.
- BEARING CERTIFICATE REQUIRED.
- PLUMBER TO ENSURE THAT THE SEWER PIPE BE LOCATED & INSTALLED WITH A MINIMUM 2% GRADE TO THE SERVICE INVERT OR SANITARY FIELD.
- IF A PUMP PUMP IS REQUIRED THEN IT IS TO BE LOCATED & INSTALLED WITHIN THE MECHANICAL ROOM @ THE HOUSE.
- DRIVEWAY & SIDEWALK SQ.FT. BREAKDOWN:
 - SIDEWALK TO FRONT STEP 16.40 SQ.M.
 - GARAGE APRON 4.45 SQ.M.
 - MISCELLANEOUS PLAT WORK 32.00 SQ.M.
- EXISTING ELEVATIONS ARE METRIC AND ARE SHOWN AS THIS.
- NEW ELEVATIONS ARE METRIC AND ARE SHOWN AS THIS.
- PROPOSED NEW PLANTING ONLY - FINAL PLACEMENT @ BUILDERS / OWNERS DISCRETION.
- ADDITIONAL PLANTING AS REQUIRED TO COMPLY WITH THE CITY OF CALGARY BYLAWS.
- PLANTING TO BE COMPLETE WITHIN THE RESPECTIVE SUBJECT SITE.
- DO NOT SCALE DRAWING.

PROPOSED PARCEL COVERAGE CALCULATIONS:	
TOTAL PARCEL AREA	588.81 m ²
MINIMUM ALLOWABLE PARCEL COVERAGE - 48 %	282.57 m ²
HOUSE FOOTPRINT INC. PROJECTIONS LESS THAN 2.4M ABOVE GRADE	196.36 m ²
GARAGE FOOTPRINT TOTAL (MAX 75 SQ.M.)	58.89 m ²
TOTAL COMBINED FOOTPRINT COVERAGE	284.95 m ²
TOTAL PARCEL COVERAGE	44.84 %

CONTEXTUAL BUILDING SETBACK CALCULATIONS:	
BUILDING SETBACK FROM FRONT PROPERTY LINE	4.73 m
BUILDING SETBACK FROM SIDE PROPERTY LINE	1.20 m
MAX CONTEXTUAL BUILDING DEPTH FROM FRONT PROPERTY LINE	23.47 m
MAX BUILDING HEIGHT	102.90

TREE TABLE					
TREE	DIA	SPREAD	HEIGHT	TYPE	STATUS
1	MULTI	2.00	1.80	SHRUBS	EXISTING
2	MULTI	2.00	3.00	SHRUBS	EXISTING
3	MULTI	3.20	2.00	SHRUBS	REMOVED
4	MULTI	3.20	2.00	SHRUBS	REMOVED
5	MULTI	3.20	2.00	SHRUBS	REMOVED
6	0.30	5.00	5.00	DECIDUOUS	REMOVED
7	MULTI	6.00	6.00	DECIDUOUS	REMOVED
8	0.20	4.00	4.00	DECIDUOUS	REMOVED
9	0.20	2.00	8.00	DECIDUOUS	NOT ON PARCEL
10	0.10	6.00	3.00	DECIDUOUS	NOT ON PARCEL
11	0.10	1.00	3.00	DECIDUOUS	NEW
12	0.10	1.00	3.00	DECIDUOUS	NEW
13	0.10	1.00	3.00	DECIDUOUS	NEW

MISCELLANEOUS NOTES	
A	BROOM FINISH CONCRETE WALKWAY & LANDING
B	APPROXIMATE LOCATION OF NEW SEWER LINE
C	APPROXIMATE LOCATION OF NEW WATER LINE
D	2.80 X 0.80 PRESSURE TREATED WINDOW WELL
E	0.54 X 1.83 UPPER FLOOR FIREPLACE CANTILEVER
F	1.06 X 0.46 PRESSURE TREATED WINDOW WELL
G	0.54 X 3.00 UPPER FLOOR CANTILEVER
H	UPPER FLOOR CANTILEVER
J	2.15 X 0.53 EXTERIOR GAS FIREPLACE
K	BROOM FINISH LANDING & PATHWAY
L	APPROXIMATE LOCATION OF NEW GAS LINE (TBD ON SITE)
M	NEW OVERHEAD POWER TO NEW MAST @ GARAGE
N	BROOM FINISH CONCRETE APRON
P	NEW 1.83 WOOD FENCE (SEE DETAIL)
Q	LINE OF BACKYARD SUITE ABOVE GARAGE W/ 3.00 X 0.80 PROJECTION
R	0.21 UPPER FLOOR CANTILEVER & BACKYARD SUITE ABOVE GARAGE
S	0.45 X 1.83 MAIN FLOOR FIREPLACE CANTILEVER
T	RELOCATE NEW SERVICES BELOW GRADE BETWEEN HOUSE & GARAGE



PROJECT ADDRESS:

1711 48 AVENUE S.W.

CALGARY, ALBERTA
COMMUNITY OF ALTADORE

LEGAL ADDRESS:

LOT: 43 & 44 BLOCK: 7 PLAN: 5770AJ

REVISIONS DESCRIPTION & DATE:

- DEVIMENT PERMIT SUBMISSION (HOUSE) (DP2023-06814) SEPT 27, 2023
- DEVIMENT PERMIT RELEASED (DP2023-06814) DEC 4, 2023
- DEVIMENT PERMIT SUBMISSION (8-YARD SUITE) (DP2023-09060) DEC 22, 2023
- DEVIMENT PERMIT RELEASED (DP2023-09060) JUN 11, 2024
- DEVIMENT PERMIT SUBMISSION (COVERED DECK) (DPH TBD) MAR 27, 2025

SURVEYOR:

ALPHA GEOMATICS

7 Dalcastle Way N.W. Phone: (403) 891-2252
Calgary, Alberta T3A 2N4 E-mail: info@alphageomatics.ca

DRAWING STAGE:

DEVELOPMENT PERMIT SUBMISSION
- NOT FOR CONSTRUCTION -
DRAWINGS REMAIN SUBJECT TO ONGOING INCREMENTAL REVIEW / REVISIONS HOWEVER SUBSTANTIALLY COMPLETE

SQUARE FOOTAGES:	
MAIN FLOOR PLAN	1830
UPPER FLOOR PLAN	1506
TOTAL ABOVE GRADE	3336
BASEMENT DEVELOPMENT	1846
BACKYARD SUITE	636
GARAGE	552

DRAWING DATE:

MARCH 27, 2025

DRAWING SCALE:

AS NOTED

PAGE / SHEET:

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