

REPORT TO THE SUBDIVISION AND
DEVELOPMENT APPEAL BOARD

DATE: December 19, 2024	APPEAL NO.: SDAB2024-0080 FILE NO.: DP2024-05405
APPEAL BY: Mount Royal Community Association, represented by Roy Wright	
FROM A DECISION OF THE DEVELOPMENT AUTHORITY where a Revision: Single Detached Dwelling (change to DP2023-01121) was approved at <u>1425 Joliet Avenue SW.</u>	LAND USE DESIGNATION: R-CG Discretionary
COMMUNITY OF: Mount Royal	DATE OF DECISION: November 11, 2024
APPLICANT: KTRAN Design and Drafting	OWNERS: Mangala R. & Rajesh Khatri

Notes:

- Notice has been given of the hearing pursuant to the *Municipal Government Act* and Land Use Bylaw, including notices to parties who may be affected by the appeal. The final determination of whether a party is an “affected person” will be made by the Board if required.
- This Report is provided as a courtesy only. The Board’s record may include additional materials, including notifications to affected parties and correspondence of a procedural or administrative nature. The Board’s record may be viewed at the Appeal Board office at: 4th Floor, 1212 31 Avenue NE, Calgary, Alberta during regular office hours.

In accordance with Sections 678 and 686 of the Municipal Government Act and The City of Calgary Bylaw 25P95, as amended, an appeal to the Subdivision and Development Appeal Board must be filed within the legislated time frame and each Notice of Appeal must be accompanied by the legislated fee.

Municipal Address of Site Under Appeal [required]	1425 Joliet Ave SW
Development Permit/Subdivision Application/File Number [required]	DP 2024-05405
Name of Appellant [required]	Mount Royal Community Association
Agent Name (if applicable)	Roy Wright
Street Address [required]	2317 10th St. SW
hdnFullAddress	2317 10th St. SW Calgary AB T2T2S2
City [required]	Calgary
Province [required]	Alberta
Postal Code [required]	T2T 2S2
Residential Phone # [required]	(403) 607-8486
Business Phone #	(403) 607-8486
Email Address [required]	roywright@shaw.ca

APPEAL AGAINST

Required field. Check one item only: for multiple appeals you must submit another Notice of Appeal.

Development Permit Approval

I do hereby appeal the decision
of the Subdivision/Development
Authority for the following rea-
sons [required]

Attached is PDF

In order to assist the Board in scheduling, please answer the following questions to the best of your ability:

Estimated Presentation Time

1 hour

Will you be using an agent/legal
counsel? [required]

Yes

Do you anticipate any preliminary
issues with your appeal? (i.e.
jurisdiction, parties status as
affected persons, adjournment,
etc.)? [required]

No

If yes, what are the issues?

Do you anticipate bringing any
witnesses/experts to your hear-
ing? [required]

Unknown

If yes, how many will you be
bringing?

I confirm and acknowledge that

- I have read and understood this form;*
- The information I have provided is accurate to the best of my knowledge; and*
- I am responsible for paying the appeal fee and my notice of appeal will not be considered filed until my appeal fee has been received.*

Submission Date

2024-12-04 15:31:00 MST

This personal information is collected under the authority of the Freedom of Information and Protection of Privacy Act, section 33(c) and the Municipal Government Act, Sections 678 and 686. THIS INFORMATION WILL BE USED FOR PROCESSING YOUR APPEAL AND WILL BECOME PART OF A PUBLIC AGENDA. If you have any questions regarding the collection of this information, contact the Tribunal Coordinator, City Appeal Boards at 403-268-5312 or PO Box 2100, Stn "M", #8110, Calgary, AB, T2P 2M5.

If you require further information regarding appeal deadlines and procedures, please contact the SDAB office at:

Website: calgary.ca/sdab

Phone: (403) 268-5312

Email: info@calgarysdab.ca



Calgary Subdivision and Development Appeal Board

Re: Joliet Avenue SW (DP2024-05405 1425)

The Board of Directors of the Mount Royal Community Association discussed the merits of the above captioned appeal at a meeting held on November 19, 2024. The Board agreed to proceed with the appeal. As President of the MRCA at the time of that meeting and the current Past-President of the MRCA, I have authorized Roy Wright to file the appeal and take any actions necessary in relation to the appeal.

Regards,

A handwritten signature in black ink, appearing to read 'Lynn McRae'.

Lynn McRae
Mount Royal Community Association



December 4, 2024

The Mount Royal Community Association, at its Board meeting of November 19, 2024, authorized the Co-Chair of its Planning and Development Committee (PDC) to file an appeal regarding DP 2024-05405 (1425 Joliet Ave SW.) This DP was generated by neighbour and CA complaints because the developer was not following the approved plans associated with DP 2023-01121. Inspectors confirmed there were “numerous” breaches of the 2023 permit and requested the developer to apply for the new DP in 2024. The City did not disclose the number or nature of the breaches. The City advertised the 2024 application on November 14 as “Revision: Single Detached Dwelling (change to DP2023-01121).”

The MRCA is appealing the decision of approval for the following reasons.

1. The massing and scale of the structure is out of scale with the neighbours and immediate area. Note that the 2023 DP approved the building depth of 72.04% as compared to the maximum of 65% (Reasons for Approval- bylaw discrepancies, p. 4). However, the 2024 DP changes to the plan have only worsened the situation. The lot coverage was increased with the enclosing the west patio and installing a lower roof over the front entry on Joliet. The roof over the front entry also projects more than 600mm into a required side yard and would require a relaxation. These changes have only increased the mass and scale of the home. The Development Permit Complete Application Requirement list for New Single Detached, Semi-Detached and Duplex Dwellings requires an accurate streetscape be provided. The streetscape provided in the 2024 set does not accurately represent the enclosed patio that was approved. It is still showing the open patio. While the CA is not disputing the original approval, including the building depth, it is disputing the above changes that have made the massing and scale even more pronounced.

2. Lot coverage was supposed to be reduced from 48% to 37% as agreed to by the applicant and the CA and confirmed in a letter of November 30, 2023. It appears the lot coverage has increased in part because of #1 and by estimated comparisons to other properties that approach the 45% maximum lot coverage allowed. The CA has not been able to confirm the updated lot coverage with the new building as page A.01, general notes, was suspiciously missing from the 2024 DP application drawings. This page in the 2023 DP package included the information on lot area and proposed lot coverage.

3. Loss of privacy due to changing the number, size, and types of windows on the south elevation. Original drawings indicated several transom windows on the main level overlooking the backyard of the property to the south, but windows in this area appear to be floor to ceiling windows which are not consistent with the approved plans. Windows on the second storey have increased in number from two to four and were to be frosted, but at present (as of November 30) are clear glass with the “promise” (which is not legally binding) of covering them with frosted plastic. (CA letter of August 14, 2024).

4. Changing the orientation of the house from 3204 14th St. to 1425 Joliet Ave was supported by the CA during review of the first DP in 2023. The drawings note a 2.0m fence along the south property line, then there is a section where it notes 1.2m fence along the west property line. There are notes that say “steel fence” which is concerning as that could be chain link. The Development Permit Complete Application Requirement list for New Single Detached, Semi-Detached and Duplex Dwellings require Fencing heights to be labeled and cross referenced to an elevation for each type of fence. This was not provided. Given the property orientation now faces Joliet, there has been no acknowledgement by the City nor the applicant about extending the public sidewalk onto Joliet.

5. The City “Reasons for Approval” has a number of inaccuracies or incorrect statements in its justification of its approval. Some examples include “The CA did not provide comments,”; this is wrong. Our letter of August 14, 2024, was indeed submitted. Other comments like the application meets the Upper Mount Royal ARP and Low-Density Residential Guidelines are inaccurate and arguments will be outlined in detail during the presentation that dispute those assertions. Other City statements will also be challenged during the presentation.

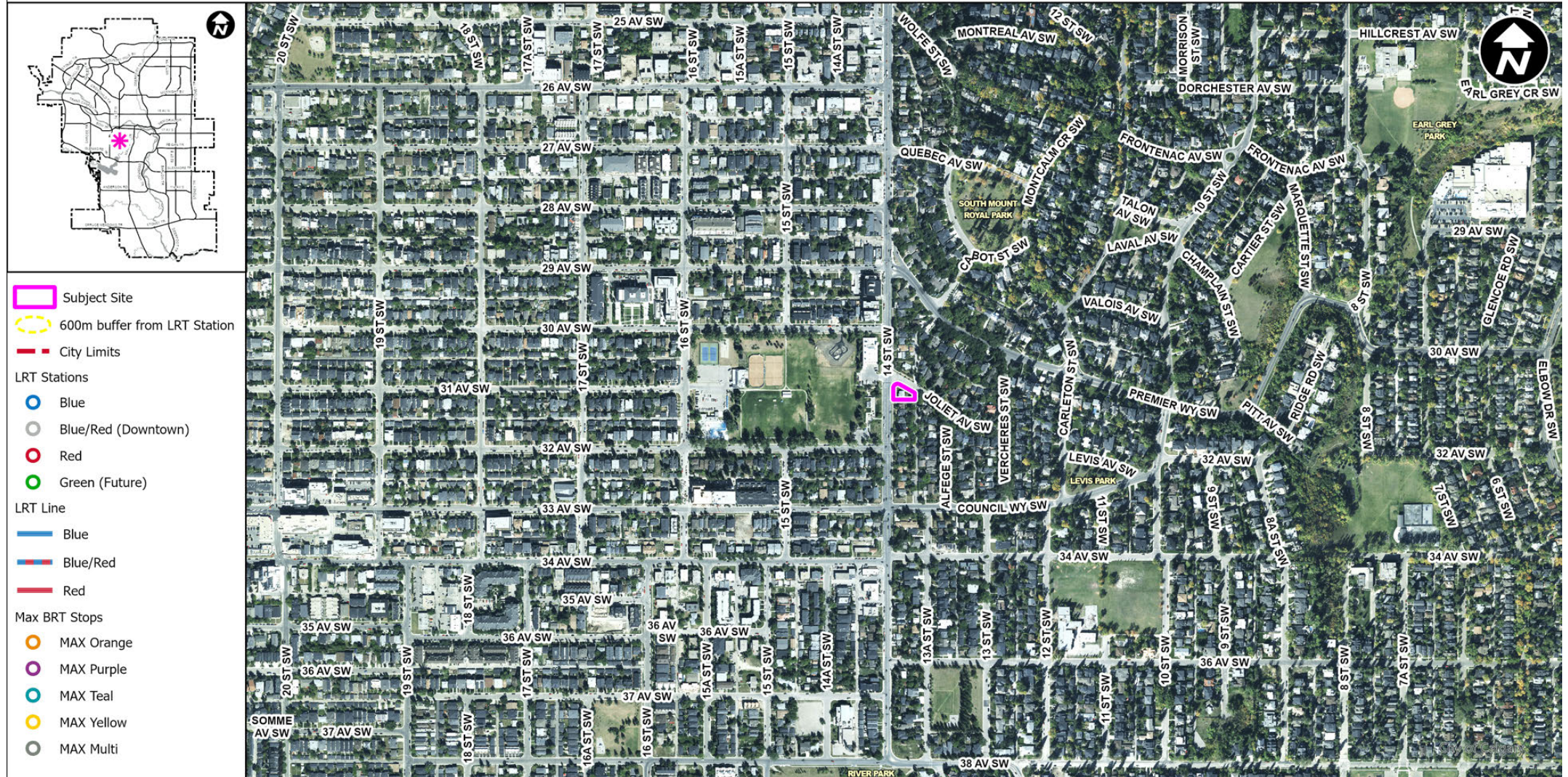
6. Lastly, the CA believes the integrity of the DP process has been damaged. The approved plans of 2023 state “The stamped and signed plans are a legal document.”, however many of its elements were willfully ignored. These breaches were not investigated by the City until the residents and the CA intervened and raised their concerns. The City then rightfully requested a new set of plans, which it then approved, even though the breaches worsened between the time of the first iteration of the process and the second iteration (as explained in the CA letter of August of 2024.)

The rationale for the approval also raises the issue of interpretation of statutory documents, including the judicious application of discretion and the notions of community context. The CA held meetings with the neighbours and the applicant and resolved many of the issues, but the latest changes by the applicant did not align with those agreements (and approvals via the 2023 DP), nor did the City address the issues raised in the CA letter of August 2024, nor the issues with re-orientating the house to front onto Joliet Ave. SW. Just because the Development Authority suggests “The building has been under construction for some time and changes to the design were made prior to approval.” (Reasons for Approval, p. 2) does not justify automatic approval of a building that violates the DP. Furthermore, the City cannot rely on its reluctance to hold the applicant responsible for “correcting” the breaches the City itself identified.

















Roy Wright RPP, MCIP

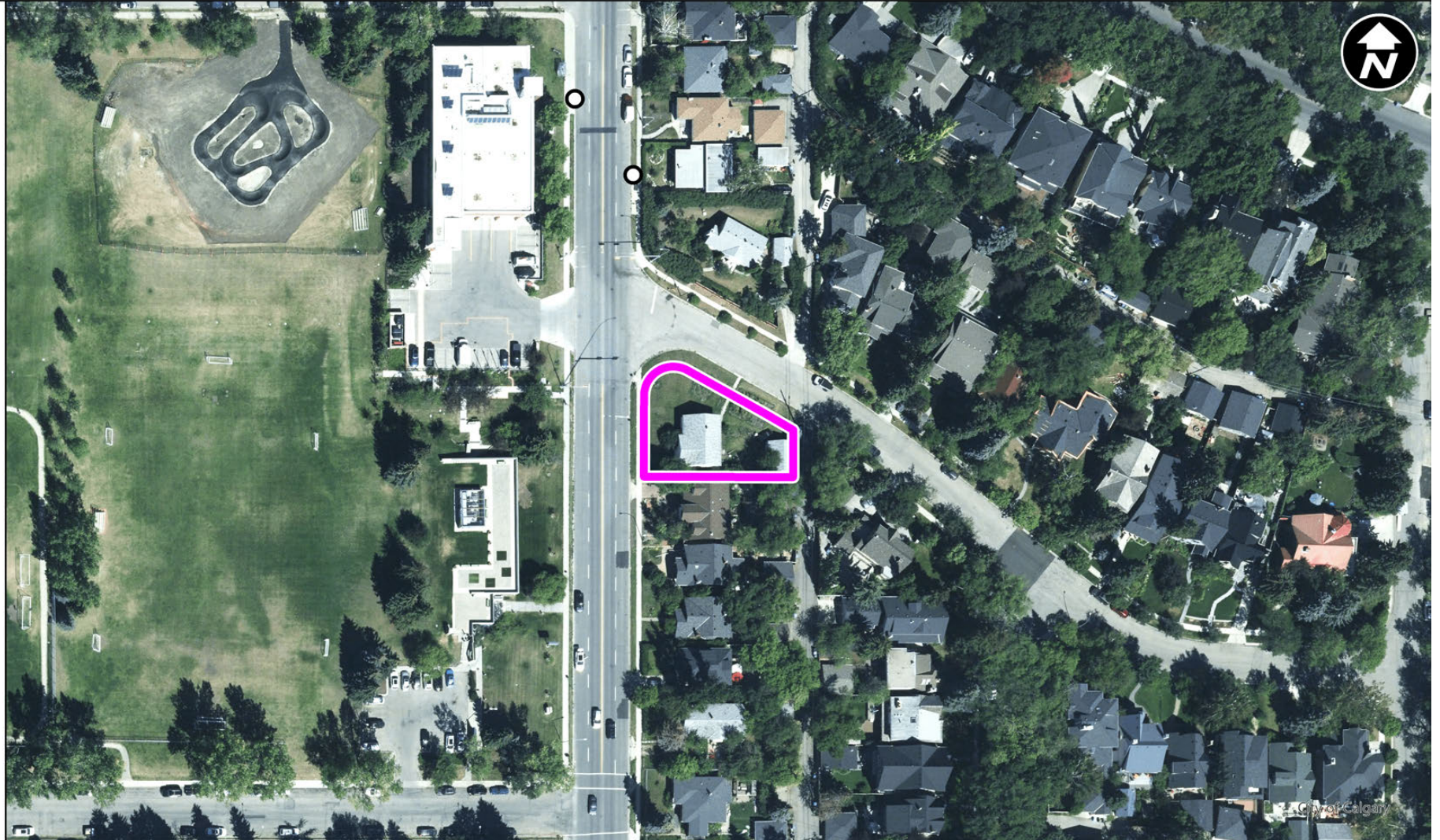
Co-Chair Planning and development Committee Mount Royal CA

Community Context SDAB2024-0080



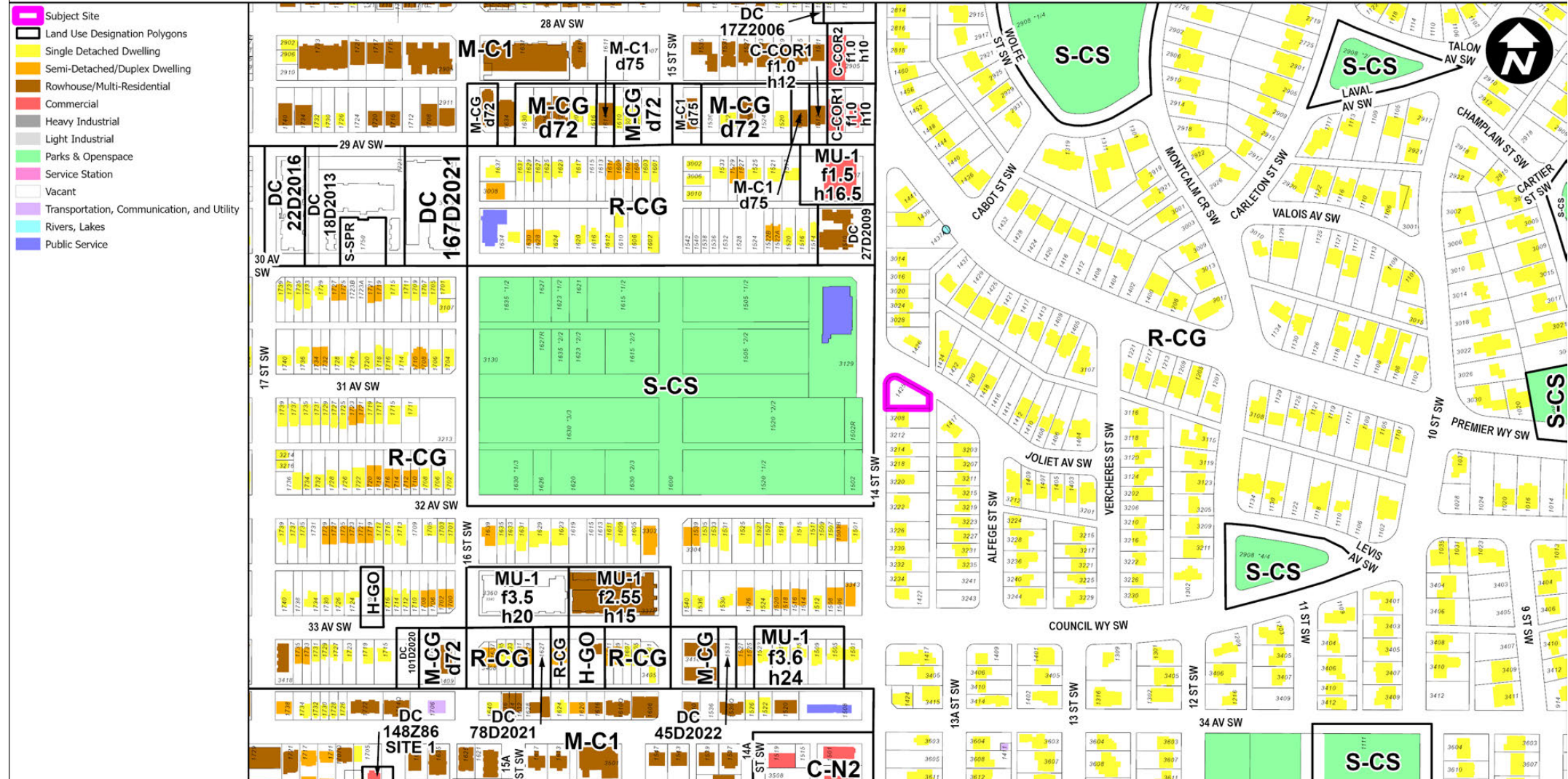
Site Context SDAB2024-0080

-  Subject Site
-  600m buffer from LRT Station
-  City Limits
- LRT Stations
 -  Blue
 -  Blue/Red (Downtown)
 -  Red
 -  Green (Future)
- LRT Line
 -  Blue
 -  Blue/Red
 -  Red
- Max BRT Stops
 -  MAX Orange
 -  MAX Purple
 -  MAX Teal
 -  MAX Yellow
 -  MAX Multi
 -  Bus Stop



Land Use Districts SDAB2024-0080







July 25, 2023

KTRAN DESIGN & DRAFTING



Dear Applicant:

RE: Notification of Decision: DP2023-01121
Subject: New: Single Detached Dwelling
Project:
Address: 3204 14 ST SW

This is your notification of decision by the Development Authority to approve the above noted application on July 21, 2023.

Read all of the Permanent Conditions of approval carefully as they form part of the approval decision. The Prior to Release Requirements must be met to the satisfaction of the Development Authority before your Development Permit will be released to you. The Permanent Conditions form part of the approval decision. Advisory Comments, if applicable, are also attached and are intended to be of assistance in obtaining additional permits and supplementary information for the successful completion of your development.

Development approved by this permit must commence by July 21, 2025 or the development permit shall cease to be valid.

The decision will be advertised beginning July 27, 2023 at www.calgary.ca/publicnotices, which is the start of the mandatory 21-day appeal period. This appeal period will conclude at midnight August 17, 2023. Release of the permit will occur within 2-4 business days following the conclusion of the appeal period and upon receipt of all Prior to Release requirements.

If you wish to appeal, submit your appeal with reasons and the \$200.00 filing fee to the Subdivision and Development Appeal Board within 21 days of this notice of decision being given. The appeal may be filed online at www.calgarysdab.ca or in person or by mail.

Please note that this letter is to advise you of the conditions of approval, the mandatory advertising appeal period and the timeframe in which you may appeal this decision. If no appeals have been filed during the appeal period, and the Prior to Release conditions have been met, your Development Permit will be released. Should you require clarification of the above or further information, please contact me at 403-333-5407 or by email at daniel.bronson@calgary.ca and assist me by quoting the Development Permit number.

Yours truly,

Daniel Bronson
 Senior Planning Technician
 Planning and Development
 Attachment(s)



November 12, 2024

KTRAN DESIGN AND DRAFTING



Dear Applicant:

RE: Notification of Decision: DP2024-05405

Subject: Revision: Single Detached Dwelling (change to DP2023-01121)

Address: 1425 JOLIET AV SW

This is your notification of decision by the Development Authority to approve the above noted application on November 11, 2024.

Read all of the Permanent Conditions of approval carefully as they form part of the approval decision. Advisory Comments, if applicable, are also attached and are intended to be of assistance in obtaining additional permits and supplementary information for the successful completion of your development.

Development approved by this permit must commence by November 11, 2026 or the development permit shall cease to be valid. The decision will be advertised beginning November 14, 2024 at www.calgary.ca/publicnotices, which is the start of the mandatory 21-day appeal period. This appeal period will conclude at midnight December 5, 2024. Release of the permit will occur within 2-4 business days following the conclusion of the appeal period and upon receipt of all Prior to Release requirements.

If you wish to appeal, submit your appeal with reasons and the \$200.00 filing fee to the Subdivision and Development Appeal Board within 21 days of this notice of decision being given. The appeal may be filed online at www.calgarysdab.ca or in person or by mail.

Please note that this letter is to advise you of the conditions of approval, the mandatory advertising appeal period and the timeframe in which you may appeal this decision. If no appeals have been filed during the appeal period, your Development Permit will be released. Should you require clarification of the above or further information, please contact me at 403-333-5407 or by email at daniel.bronson@calgary.ca and assist me by quoting the Development Permit number.

Yours truly,

Daniel Bronson
Senior Planning Technician
Planning and Development
Attachment(s)



**DEVELOPMENT PERMIT
LAND USE BYLAW NO 1P2007**

DP2024-05405

This permit relates to land in the City of Calgary municipally described as:

1425 JOLIET AV SW

Community: **Upper Mount Royal**

L.U.D.: **R-CG**

and legally described as:

7080AJ;84;26,27

and permits the land to be used for the following development:

Revision: Single Detached Dwelling (change to DP2023-01121)

The present owner and any subsequent owner of the above described land must comply with any attached conditions.

The development has been approved subject to any attached conditions and to full compliance with the approved plans bearing the stamp of approval and the above development permit number.

Decision By: **Development Authority**

Date of Decision: **November 11, 2024**

Development Authority: **Maurie Loewen**

File Manager: **Daniel Bronson**

Release Date: _____

This permit will not be valid if development has not commenced by: November 11, 2026

This Development Permit was advertised on: **November 14, 2024**

This is NOT a Building Permit

In addition to your Development Permit, a Building Permit may be required, prior to any work commencing. further information, you should contact the City of Calgary, Planning, Development & Assessment - Building Regulations Division.

WARNING

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Applicant: **KTRAN DESIGN AND DRAFTING**

Address: **79 RAVENSMOOR MANOR SE**

City: **Airdrie, Alberta, T4A 0P8**

Phone: [REDACTED]



DEVELOPMENT PERMIT
LAND USE BYLAW NO 1P2007

DP2024-05405

Complete Address and Legal Description listing for Development Permit DP2024-05405

Address Type	Address	Legal Description
Parcel	1425 JOLIET AV SW	7080AJ;84;26,27



Conditions of Approval – Development Permit

Application Number:	DP2024-05405
Application Description:	Revision: Single Detached Dwelling (change to DP2023-01121)
Land Use District:	Residential - Grade-Oriented Infill
Use Type:	Discretionary
Site Address:	1425 JOLIET AV SW
Community:	UPPER MOUNT ROYAL
Applicant:	KTRAN DESIGN AND DRAFTING
Planning:	DANIEL BRONSON 403-333-5407 daniel.bronson@calgary.ca
Utility Engineering:	STEVEN MEDEIROS 587-216-6111 Steven.Medeiros@calgary.ca
Mobility Engineering:	FABIAN SNYDERS 587-576-4315 Fabian.Snyders@calgary.ca

Permanent Conditions

The following permanent conditions shall apply:

Planning

1. The development shall be completed in its entirety, in accordance with the approved plans and conditions. The stamped and signed plans are a legal document.
2. No changes to the approved plans shall take place unless authorized by the Development Authority. If changes to the development occur or are proposed, a new development permit or revised plan application may be required.
3. A Development Completion Permit is required prior to the development being occupied.
4. When the main floor is constructed, submit the surveyed geodetic elevation to Geodetic.Review@Calgary.ca

Utility Engineering

Track your application on-line with VISTA. Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

5. Single retaining walls 1.2m in height or greater or terraced retaining walls 1.2m in height or greater with a horizontal separation between walls of less than 3.6m (3x height) require the approval of a Building Permit prior to construction.

For retaining wall(s) that meet these criteria, the developer may either:

- a. Include the retaining walls with the Building Permit for the building, or
- b. Apply for a separate Building Permit for the retaining walls.

It should be noted that the Building Permit for the building on site will not be released until the separate Building Permit for site retaining walls is approved.

6. Prior to the issuance of the Development Completion Permit, the developer/builder is required to provide the form, Assurance of Engineering Field Review and Compliance, (final page of the Retaining Wall Design Disclosure Statement) under seal and permit to practice stamp by the Engineer of Record to the Development Authority for the field review of the retaining wall(s).
7. The developer / project manager, and their site designates, shall ensure a timely and complete implementation, inspection and maintenance of all practices specified in erosion and sediment control report and/or drawing(s) which comply with Section 3.0 of The City of Calgary Guidelines for Erosion and Sediment Control. Any amendments to the ESC documents must comply with the requirements outlined in Section 3.0 of The City of Calgary Guidelines for Erosion and Sediment Control.

For other projects where an erosion and sediment control report and/or drawings have not been required at the Prior to Release stage, the developer, or their designates, shall, as a minimum, develop an erosion and sediment control drawing and implement good housekeeping practices to protect onsite and offsite storm drains, and to prevent or mitigate the offsite transport of sediment by the forces of water, wind and construction traffic (mud-tracking) in accordance with the current edition of The City of Calgary Guidelines for Erosion and Sediment Control. Some examples of good housekeeping include stabilization of stockpiles, stabilized and designated construction entrances and exits, lot logs and perimeter controls, suitable storm inlet protection and dust control.

For all soil disturbing projects, the developer, or their representative, shall designate a person to inspect all erosion and sediment control practices a minimum of every seven (7) days and during, or within 24 hours of, the onset of significant precipitation (> 12 mm of rain in 24 hours, or rain on wet or thawing soils) or snowmelt events. Note that some practices may require daily or more frequent inspection. Erosion and sediment control practices shall be adjusted to meet changing site and winter conditions. The City of Calgary Guidelines for Erosion and Sediment Control can be accessed at: www.calgary.ca/ud (under publications).

8. All rooftop drainage shall be controlled with eave troughs and downspouts that direct drainage to the street.
9. The development shall be built and operated in functional compliance with the Stormwater Management measures outlined for the parcel.

10. The grades must match the grades indicated on the Development Permit approved plans. Upon a request from the Development Authority, the developer or owner of the titled parcel must confirm under seal from a Consulting Engineer or Alberta Land Surveyor, that the development was constructed in accordance with the grades submitted on the Development Permit.
11. No trees, shrubs, buildings, permanent structures or unauthorized grade changes are permitted within the utility rights-of-way.

Mobility Engineering

12. All the requirements of the parent file (DP2023-01121) are to be adhered to.

Advisory Comments

The following advisory comments are provided as a courtesy to the Applicant and registered property owner. The comments represent some, but not all of the requirements contained in the Land Use Bylaw that must be complied with as part of this approval.

Planning

13. The Applicant may appeal the decision of the Development Authority, including any of the conditions of the development permit. If you decide to file an appeal, please refer to the notification of decision letter for the appropriate appeal body and appeal process.
14. The approval of this development permit does not limit in any way the application of any federal, provincial, or municipal law, policy, code, regulation, bylaw, and/or guideline, nor does it constitute any permit or permission under any federal, provincial, or municipal law, policy, code, regulation, bylaw, and/or guideline.
15. In addition to this development permit, building permits may also be required. Building permit applications may be submitted upon approval of the associated development permit. Contact Building Regulations at 403-268-5311 for further information.
16. This development permit has not been reviewed for potential issues with the National Building Code - current Alberta Edition. You may require a Building Permit in addition to this development permit in which case compliance with the Code will be assessed through a Building Permit application. Should a Building Permit review require changes to the approved development permit, the changes must be to the satisfaction of the Development Authority and are potentially subject to a new development permit.
17. All plumbing services including sanitary, storm and water must be verified onsite by the owner and/or builder to ensure the size and location is compliant with the National Plumbing Code of Canada for the number of fixtures being installed. The waterline must be of the size that is indicated on the grade slip, but in no case smaller than 1 in size.
18. A minimum of three trees must be planted on the parcel. This may be accomplished by planting new trees or preserving existing trees. The trees must be of a species capable of healthy growth in Calgary and must conform to the standards of the Canadian Nursery Landscape Association. To satisfy the requirement of one tree, the following sizes must be met:
 - a. A deciduous tree with a minimum calliper of 50.0mm; or
 - b. A coniferous tree with a minimum height of 2.0 metres.
 To satisfy the requirement of two trees, the following sizes must be met:
 - a. A deciduous tree with a minimum calliper of 85.0mm; or
 - b. A coniferous tree with a minimum height of 4.0 metres.
 The required trees must be provided on the parcel within 12 months of issuance of the development completion permit (DCP) and maintained for a minimum of 24 months after issuance of the DCP.

19. There are many types of caveats and other agreements that can be registered on the title of the property that can restrict the ability to develop. The City has not reviewed or considered all instruments registered on the title to this property. Property owners must evaluate whether this development is in compliance with any documents registered on title.

Utility Engineering

20. The developer is responsible for ensuring that:
- a. The environmental conditions of the subject property and associated utility corridors meet appropriate regulatory criteria and appropriate environmental assessment, remediation, exposure control or risk management is undertaken.
 - b. Appropriate environmental assessment(s) of the property has been undertaken and, if required, a suitable Remedial Action Plan, Exposure Control Plan and/or Risk Management Plan has been prepared, reviewed and accepted by the appropriate regulatory agency(s) including but not limited to Alberta Environment and Protected Areas.
 - c. The development conforms to any reviewed and accepted Remedial Action Plan, Exposure Control Plan and/or Risk Management Plan.
 - d. All reports are prepared by a qualified professional in accordance with accepted guidelines, practices and procedures that include but are not limited to those in the most recent versions of the Canadian Standards Association and City of Calgary Phase I & II Environmental Site Assessment Terms of Reference.
 - e. The development is in compliance with applicable environmental approvals, for example from Alberta Environment and Protected Areas, Alberta Energy Regulator and/or Natural Resources Conservation Board; as well, any related setback requirements, and landfill setback requirements as set out in the Subdivision and Development Regulation.
- If the potential for methane generation or vapours from natural or contaminated soils and groundwater has been identified on the property, the developer is responsible for ensuring appropriate environmental assessment(s) of the property has been undertaken and appropriate measures are in place to protect the building(s) and utilities from the entry of methane or other vapours.
- Issuance of this permit does not absolve the developer from complying with and ensuring the property is developed in accordance to applicable environmental legislation.
21. Water connection is available from ____.
22. Maintain a 3.0m separation between Enmax facilities (power poles, light standards, transformer pads, catch basins, etc.) with the proposed water service.
23. If further subdivision occurs in the future (including strata subdivisions), each titled parcel must have separate service connections to public mains (water and

sanitary). Contact the Leader, Development Approvals, Water Resources at 403-268-2855 for details.

24. Sanitary sewer connection is available from ____.
25. Storm sewer connection is available from ____.
26. The applicant is encouraged to explore and adopt stormwater volume control options for this development.
27. Discharge of roof leaders should be onto grassed or pervious areas to help reduce the volume of runoff. Direct connection of roof leaders to weeping tile or storm sewers is prohibited. Roof leaders are to be directed to the ground that is graded away from the building and must not discharge within 2.0m of a road right-of-way.
28. As per The City of Calgary Drainage Bylaw 37M2005, the developer, and those under their control, are responsible for ensuring that a Drainage Permit is obtained from Water Resources prior to discharging impounded runoff (caused by rainfall and/or snowmelt) seepage or groundwater from construction site excavations or other areas to a storm sewer. The developer, and those under their control, is responsible for adhering to all conditions and requirements stipulated in the Drainage Permit at all times. For further information, contact the Corporate Call Centre at 311 or visit <http://www.calgary.ca/UEP/Water/Pages/Watersheds-and-rivers/Erosion-and-sediment-control/Report-and-Drawings-Templates-and-Guides.aspx> (Drainage Permit applications can be downloaded from this website).
29. Stormwater emergency escape routes must be to a public roadway.
30. No encroachments are permitted above or below grade in City rights-of-way.
31. Locate any/all utilities in the field.

Coordinate accordingly with any/all affected utility owners (if any), for the relocation OR protection of existing utilities that may exist/reside within the subject sites (i.e. by way of utility right-of-way and/or easement). All of which shall be to the satisfaction of the utility owners.
32. For questions and concerns regarding waste storage facilities, refer to the Development Reviews: Design Standards for the Storage and Collection of Waste
Found at: <http://www.calgary.ca/UEP/WRS/Pages/Commercial-Services/Development-Permits-Waste-Recycling.aspx>
33. In the event the proposed development is no longer able to obtain waste collection service as shown in this development approval, the landowner is responsible for obtaining a new development permit for an alternative service plan.



Conditions of Approval – Development Permit

Application Number:	DP2023-01121
Application Description:	New: Single Detached Dwelling
Land Use District:	Residential - Contextual One Dwelling
Use Type:	Discretionary
Site Address:	3204 14 ST SW
Community:	UPPER MOUNT ROYAL
Applicant:	KTRAN DESIGN & DRAFTING
Planning:	DANIEL BRONSON 403-333-5407 daniel.bronson@calgary.ca
Utility Engineering:	SCOTT WELLS 403-268-3432 Scott.Wells@calgary.ca
Mobility Engineering:	FABIAN SNYDERS 587-576-4315 Fabian.Snyders@calgary.ca

Prior to Release Requirements

The following requirements shall be met prior to the release of the permit. All requirements shall be resolved to the satisfaction of the Approving Authority:

Planning

1. ~~Remit a performance security deposit (certified cheque, bank draft) of \$4000 for the removal and rehabilitation of the existing driveway crossing(s) on street name within the public right of way.~~

~~The attached document outlines the process for providing the security deposit, scheduling of work, responsibility for damages and requesting a refund, if applicable.~~

Permanent Conditions

The following permanent conditions shall apply:

Planning

2. The development shall be completed in its entirety, in accordance with the approved plans and conditions. The stamped and signed plans are a legal document.
3. No changes to the approved plans shall take place unless authorized by the Development Authority. If changes to the development occur or are proposed, a new development permit or revised plan application may be required.
4. A Development Completion Permit is required prior to the development being occupied.
5. When the main floor is constructed, submit the surveyed geodetic elevation to Geodetic.Review@Calgary.ca
6. This permit does not allow for the basement to be used as an additional Dwelling Unit or Secondary Suite as defined by Land Use Bylaw 1P2007.

Utility Engineering

7. If during construction of the development, the developer, the owner of the titled parcel, or any of their agents or contractors becomes aware of any contamination,
 - a. the person discovering such contamination shall immediately report the contamination to the appropriate regulatory agency including, but not limited to, Alberta Environment and Parks, Alberta Health Services and The City of Calgary (311).
 - b. on City of Calgary lands or utility corridors, The City of Calgary, Environmental Risk and Liability group shall be immediately notified (311).
8. The developer / project manager, and their site designates, shall ensure a timely and complete implementation, inspection and maintenance of all practices specified in erosion and sediment control report and/or drawing(s) which comply with Section 3.0 of The City of Calgary Guidelines for Erosion and Sediment Control. Any amendments to the ESC documents must comply with the requirements outlined in Section 3.0 of The City of Calgary Guidelines for Erosion and Sediment Control.

For other projects where an erosion and sediment control report and/or drawings have not been required at the Prior to Release stage, the developer, or their designates, shall, as a minimum, develop an erosion and sediment control drawing and implement good housekeeping practices to protect onsite and offsite storm drains, and to prevent or mitigate the offsite transport of sediment by the forces of water, wind and construction traffic (mud-tracking) in accordance with

the current edition of The City of Calgary Guidelines for Erosion and Sediment Control. Some examples of good housekeeping include stabilization of stockpiles, stabilized and designated construction entrances and exits, lot logs and perimeter controls, suitable storm inlet protection and dust control.

For all soil disturbing projects, the developer, or their representative, shall designate a person to inspect all erosion and sediment control practices a minimum of every seven (7) days and during, or within 24 hours of, the onset of significant precipitation (> 12 mm of rain in 24 hours, or rain on wet or thawing soils) or snowmelt events. Note that some practices may require daily or more frequent inspection. Erosion and sediment control practices shall be adjusted to meet changing site and winter conditions. The City of Calgary Guidelines for Erosion and Sediment Control can be accessed at: www.calgary.ca/ud (under publications).

9. The grades must match the grades indicated on the Development Permit approved plans. Upon a request from the Development Authority, the developer or owner of the titled parcel must confirm under seal from a Consulting Engineer or Alberta Land Surveyor, that the development was constructed in accordance with the grades submitted on the Development Permit.
10. No trees, shrubs, buildings, permanent structures or unauthorized grade changes are permitted within the utility rights-of-way.

Advisory Comments

The following advisory comments are provided as a courtesy to the Applicant and registered property owner. The comments represent some, but not all of the requirements contained in the Land Use Bylaw that must be complied with as part of this approval.

Planning

11. The Applicant may appeal the decision of the Development Authority, including any of the conditions of the development permit. If you decide to file an appeal, please refer to the notification of decision letter for the appropriate appeal body and appeal process.
12. The approval of this development permit does not limit in any way the application of any federal, provincial, or municipal law, policy, code, regulation, bylaw, and/or guideline, nor does it constitute any permit or permission under any federal, provincial, or municipal law, policy, code, regulation, bylaw, and/or guideline.
13. In addition to this development permit, building permits may also be required. Building permit applications may be submitted upon approval of the associated development permit. Contact Building Regulations at 403-268-5311 for further information.
14. This development permit has not been reviewed for potential issues with the National Building Code - 2019 Alberta Edition. You may require a Building Permit in addition to this development permit in which case compliance with the Code will be assessed through a Building Permit application. Should a Building Permit review require changes to the approved development permit, the changes must be to the satisfaction of the Development Authority and are potentially subject to a new development permit.
15. All plumbing services including sanitary, storm and water must be verified onsite by the owner and/or builder to ensure the size and location is compliant with the National Plumbing Code of Canada for the number of fixtures being installed. The waterline must be of the size that is indicated on the grade slip, but in no case smaller than 1 in size.
16. A minimum of three trees must be planted on the parcel. This may be accomplished by planting new trees or preserving existing trees. The trees must be of a species capable of healthy growth in Calgary and must conform to the standards of the Canadian Nursery Landscape Association. To satisfy the requirement of one tree, the following sizes must be met:
 - a. A deciduous tree with a minimum calliper of 50.0mm; or
 - b. A coniferous tree with a minimum height of 2.0 metres.
 To satisfy the requirement of two trees, the following sizes must be met:
 - a. A deciduous tree with a minimum calliper of 85.0mm; or
 - b. A coniferous tree with a minimum height of 4.0 metres.
 The required trees must be provided on the parcel within 12 months of issuance of the development completion permit (DCP) and maintained for a minimum of 24 months after issuance of the DCP.

17. There are many types of caveats and other agreements that can be registered on the title of the property that can restrict the ability to develop. The City has not reviewed or considered all instruments registered on the title to this property. Property owners must evaluate whether this development is in compliance with any documents registered on title.

Utility Engineering

18. The developer is responsible for ensuring that:
 - a. The environmental conditions of the subject property and associated utility corridors meet appropriate regulatory criteria and appropriate environmental assessment, remediation or risk management is undertaken.
 - b. Appropriate environmental assessment(s) of the property has been undertaken and, if required, a suitable remedial action plan and/or risk management plan has been prepared, reviewed and accepted by the appropriate regulatory agency(s) including but not limited to Alberta Environment and Parks and Alberta Health Services.
 - c. The development conforms to any reviewed and accepted remedial action plan/risk management plans.
 - d. All reports are prepared by a qualified professional in accordance with accepted guidelines, practices and procedures that include but are not limited to those in the most recent versions of the Canadian Standards Association and City of Calgary Phase I & II Environmental Site Assessment Terms of Reference.
 - e. The development is in compliance with applicable environmental approvals (e.g. Alberta Environment and Parks Approvals, Registrations, etc.), Alberta Energy Regulator approvals and related setback requirements, and landfill setback requirements as set out in the Subdivision and Development Regulation.

If the potential for methane generation or vapours from natural or contaminated soils and groundwater has been identified on the property, the developer is responsible for ensuring appropriate environmental assessment(s) of the property has been undertaken and appropriate measures are in place to protect the building(s) and utilities from the entry of methane or other vapours.

Issuance of this permit does not absolve the developer from complying with and ensuring the property is developed in accordance to applicable environmental legislation.

19. Water connection is available from 14 ST SW.
20. Sanitary sewer connection is available from 14 ST SW.
21. Storm sewer connection is available from 14 ST SW.
22. No encroachments are permitted above or below grade in City rights-of-way.
23. For questions and concerns regarding waste storage facilities, refer to the Development Reviews: Design Standards for the Storage and Collection of Waste
Found at: <http://www.calgary.ca/UEP/WRS/Pages/Commercial-Services/Development-Permits-Waste-Recycling.aspx>



Reasons for Approval for DP2023-01121

The Reasons for Approval document is intended to provide a short summary of the development permit process, responses to concerns raised by neighbours, Community Associations, and other affected parties, and rationale for any relaxations of the Land Use Bylaw granted by the Development Authority. Only the approved plans and conditions of approval are the subject of an appeal.

Scope and Process

Development Scope:

The application is for a discretionary Single Detached Dwelling at 3204 14 Street SW in the community of Upper Mount Royal. The site is surrounded by Single detached Dwellings to the north, south, and east. There is a fire hall and library to the west. Primary access for adjacent residences along 14 Street SW is via the rear lane.

Circulation and Notice Posting:

The following referees were circulated:

1. **Enmax** – No objection.
2. **Ward Councillor** – No comments provided.
3. **Community Association** – Comments provided:
 - Found initial design conflicted with community. Excessive massing/scale, no respect for existing setbacks.
 - Found first amended design to still be excessive. Noted imposing walls to south but pleased with changes.
 - Supported final design.
4. **Mobility Engineering** – Comments provided regarding the driveway and public realm setback requirements in the form of Prior to Decision requirements and Permanent and Advisory Conditions.
5. **Utility Engineering** – No comments provided.
6. As per Land Use Bylaw requirements, the application was notice posted for a 1-week period. The following concerns were submitted:
 - Several nearby residents found the design to be excessive and incongruous with the surrounding neighbourhood at first.
 - Later changes were supported.

The above comments were addressed by the following:



The City of Calgary

Planning and Development

Development and Subdivision Application Services

- Significantly scaled back parcel coverage.
- Removed building and landscaping in public realm setback and set building back appropriately.
- Oriented entrance toward Joliet Avenue with front walk and entrance toward 14 Street as well.
- Moved driveway accessing Joliet Avenue to rear lane.
- Reduced height.
- Reduced wall size to south and set back further into parcel above first floor.

The Development Authority also notes:

- Materials and massing have been deliberately broken up and varied to promote architectural interest and reduce industrial/box-like appearance.
- The tree requirement is captured under the Advisory Conditions section of the Conditions of Approval and full landscape plans are not reviewed for low density residential development.
- Drainage is not reviewed as part of the Development Permit approval. The applicant, builder and owner are responsible to ensure that the parcel drains properly. There were no indications or red flags on the plans that the drainage would be a concern.

Comments on Relevant City Policies

Upper Mount Royal Area Redevelopment Plan

- **3.2 Policies**

Garden Suburbs Area Development Guidelines

17. In determining if a discretionary use development permit application for a housing addition or a new house is consistent with the character of the Garden Suburb, the Development Authority shall consider the following factors and how they relate to one another:

- Front, side and rear yard setbacks.
- Total lot coverage.
- Volumetric massing (e.g., one storey or two storey, roof lines, etc.).
- Landscaping.
- Lot size.
- Contextual building depth. Bylaw 45P2008

18. In exercising its discretion with respect to front yard setbacks, the Development Authority shall consider the elements related to front yard setbacks and massed as per Sections 3.2.9a and 3.2.9b; however, front yard setbacks which are less than 6 m are strongly discouraged.



The City of Calgary

Planning and Development

Development and Subdivision Application Services

19. New houses and housing additions that are close to the maximum allowable site coverage and have more than two yard setbacks which are minimum setbacks are discouraged.

20. At least one side yard should be more than the minimum required. Side yards should be consistent with existing side yards on the block face in order to preserve the spacious setting of the houses. Projections into minimum side yards are discouraged for new houses and on those housing additions that require a discretionary development permit unless they are located at the rear of the house. Projections may be allowed into the minimum side yards of the DC (RR-1) lots on the east side of 8 Street.

21. Total lot coverage should be consistent with the existing pattern of development in the surrounding area with the intention of retaining a relatively low lot coverage. In exercising its discretion, the Development Authority shall consider elements related to massing as per Section 3.2.9a.

22. Building renovation and additions should be designed so that the various parts of the building relate to one another in a consistent fashion with respect to massing, articulation, proportion and detailing.

Low Density Residential Housing Guidelines for Established Communities (Infill Guidelines):

- **4.2 Context**

New development should be designed in a manner which is responsive to the local context.

- **4.3 Parcel Layout**

The setbacks of new development should respect the established street pattern.

One side setback should be kept clear in order to provide an unobstructed exterior access from the front to the rear of the house.

The rear setback area, in addition to being the garage and/or other accessory building location, is an important amenity space that should allow for outdoor activity and maintain the pattern of rear amenity space typical of the surrounding community.

Two on-site parking spaces should be provided to each new dwelling unit.

- **4.4 Building Mass**

New development should respect the existing scale and massing of its immediate surroundings.

- **4.5 Privacy**

The privacy of adjacent residences should be respected.

The principal entry should be clearly identifiable from the street and located in a manner which respects the privacy of the neighbours.

The proposed application is both respectful of and responsive to development in the area by way of height, massing, and siting on the parcel. The development provides adequate setbacks to each property line, ample rear amenity area,



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Development and Subdivision Application Services

adequate parking, and allowance for privacy. Further, there are no balconies causing concerns and the decks are well below the maximum height. There is free and clear access to the rear of the parcel, meeting both the Land Use Bylaw and this policy.

Land Use Bylaw 1P2007:

The existing land use for the site is Residential – Contextual One Swelling District (R-C1). The R-C1 district is intended to accommodate existing residential development and contextually sensitive redevelopment in the form of Single Detached Dwellings in the Developed Area.

A Bylaw check of the proposed development identified one discrepancy which is highlighted in the chart below. This discrepancy does not interfere with the amenities of the neighbourhood or negatively affect the use, enjoyment, or value of neighbouring parcels of land. The proposed development meets the intent of the land use district.

Bylaw Discrepancies		
Regulation	Standard	Provided
399 Building Height	(1) For a Contextual Single Detached Dwelling and a Single Detached Dwelling, the max. building height is the greater of: (a) 8.6 m	Plans indicate the roof peak geodetic is 1093.28 (+0.07m).

Planning Review

During the review, the Development Authority considered the Land Use Bylaw rules and the appropriateness of the proposed development in the context of the neighbourhood.

A relaxation is required for the roof peak height. The relaxation is negligible and will not be noticeable to the neighbours and surrounding community. Therefore, the Development Authority supports this relaxation as proposed.

The Development Authority has determined that the proposal is in keeping with the character of the surrounding area. Since the relaxation will have minimal impact upon the adjacent properties, the proposed development respects the intent of the Low Density Residential Housing Guidelines, the Upper Mount Royal Area Redevelopment Plan, and Land Use Bylaw 1P2007.



**APPLICATION FOR A DEVELOPMENT PERMIT
LAND USE BYLAW NO 1P2007**

420746296-018
Taken By:

Application Date **Jul 23, 2024**

APPLICATION NO DP2024-05405

I/We hereby make application for a Development Permit under the provisions of the Land Use Bylaw in accordance with these plans and supporting information submitted herewith and which form part of this application.

Total Fees: \$1,859.00

Cart #:

Applicant: **KTRAN DESIGN AND DRAFTING**

Address: **245 EVANS GLEN DR NW**

City: **Calgary, Alberta, T3P 0X8**

Phone:

Parcel Address: **1425 JOLIET AV SW**

Legal: **7080AJ;84;26,27**

L.U.D.: **R-C1**

Community: **UPPER MOUNT ROYAL**

Sec. Number: **9C** Ward: **08**

Description: **Revision: Single Detached Dwelling (change to DP2023-01121)**

Gross Floor Area: 4021 feet - squared
Dwelling Units: 1

Proposed Development is: **Discretionary**

Proposed Use: **Single Detached Dwelling**

I agree to receive correspondence via electronic message related to this application.

By signing below, I confirm that the contact information provided above is accurate and further, acknowledge the ability of the General Manager - Planning and Development to inactivate and cancel incomplete applications.

Applicant / Agent Signature: _____ Date: _____

The personal information on this form is being collected under the authority of The Municipal Government Act, Section 640, and The City of Calgary Land Use Bylaw 1P2007 (Part 2) and amendments thereto. It will be used for the permit review and inspection processes. It may also be used to conduct ongoing evaluations of services received from Planning, Development & Assessment. The name of the applicant and the nature of the permit will be available to the public. Please send inquiries by mail to the FOIP Program Administrator, Planning, Development & Assessment, PO Box 2100, Station M, Calgary, AB T2P 2M5 or contact us by phone at 311.

Track your application on-line with **VISTA** Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) **DP2024-05405-**
or call our Planning Support Centre at (403)268-5311.

SDAB2024-0080



Applicant's Planning Overview

This form is to be filled out by the applicant and provided to The City of Calgary at the time of submission.

The information is not verified or endorsed by The City of Calgary. The responses are intended to assist the Community Association, and The City, in reviewing the development.

Site Address: 3204 14 Street SW

Type of Application: ☒ Single Detached ☐ Semi-detached ☐ Duplex Dwelling ☐ Backyard Suite

- 1) Please provide information related to site constraints associated with the subject parcel, which were considered in the design (e.g. topography, lot configuration, floodway/fringe area, existing landscaping).

FLAT LAND, TRIANGULAR SHAPE, EXISTING LANDSCAPE - ALL REMOVED. NO PUBLIC TREES.

- 2) Please explain how the development meets any applicable City policies and how it fits with the context of the community. (Refer to calgary.ca/myproperty for a list of the policies that apply to your site).

MODERN/COMTEMPORARY 3 STOREY BUILDING. MANY LANDSCAPING, LARGE CONCRETE PAD AND MODERN FINISH TREND

- 3) Please explain the elements of the development provided to mitigate and/or adapt to climate change as per the "Climate Resilience Strategy." Refer to the "Climate Resilience Inventory User Guide," and the "Climate Ready Home Guide" for additional information.

N/A

Check off all that apply:

<input type="checkbox"/> Green Building Certification: _____	<input type="checkbox"/> Solar ready	<input type="checkbox"/> Electric Vehicle ready
<input type="checkbox"/> Improved Building Envelope (e.g. better than code minimum)	<input type="checkbox"/> Water Conservation (e.g. YardSmart Design)	<input type="checkbox"/> Climate Resilient Landscaping
<input type="checkbox"/> Resilient Roofing (ex. Hail/impact resistant materials)	<input type="checkbox"/> Other (provide details):	

- 4) Of the known relaxations, please elaborate on why the relaxations are requested. (A bylaw check has not yet been undertaken on this application. Further relaxations may be identified once the bylaw check is complete.)

HEIGHT AND OVERALL LOT COVERAGE

- 5) Is there anything else we should know about your development that may assist the review of your application?

N/A



September 26, 2024

KTRAN DESIGN AND DRAFTING



Dear Applicant:

RE: Detailed Review (DR)

Development Permit Number: DP2024-05405

Based on the plans received, your application has been reviewed in order to determine compliance with the Land Use Bylaw and applicable City policies. Any variance from the Land Use Bylaw or City policies may require further discussion or revision prior to a decision being rendered.

The City endeavors to render decisions on applications within specific service standards. Please assist us in meeting these targets by ensuring your resubmission is complete and made in a timely manner. Please submit a digital set of the amended plan, in PDF format, along with a detailed response letter on how each of the Prior to Decision and/or Prior to Release conditions have been addressed and/or resolved.

This information must be received, in its entirety, no later than October 26, 2024. If a complete submission is not received by this date, the development permit may be inactivated and subject to a reactivation fee. If the development permit application is not reactivated, it may be cancelled by Administration as per Land Use Bylaw 1P2007, Section 41.1. If you require additional time to respond to the conditions outlined in this Detailed Review document, please let me know by contacting me.

Should you have any questions or concerns, please contact me at 403-333-5407 or by email at daniel.bronson@calgary.ca.

Sincerely,

DANIEL BRONSON

Senior Planning Technician



Detailed Review 1 – Development Permit

Application Number:	DP2024-05405
Application Description:	Revision: Single Detached Dwelling (change to DP2023-01121)
Land Use District:	Residential - Grade-Oriented Infill
Use Type:	Discretionary
Site Address:	1425 JOLIET AV SW
Community:	UPPER MOUNT ROYAL
Applicant:	KTRAN DESIGN AND DRAFTING
Date DR Sent:	September 26, 2024
Response Due Date:	October 26, 2024
Planning:	DANIEL BRONSON 403-333-5407 daniel.bronson@calgary.ca
Utility Engineering:	STEVEN MEDEIROS 587-216-6111 Steven.Medeiros@calgary.ca
Mobility Engineering:	FABIAN SNYDERS 587-576-4315 Fabian.Snyders@calgary.ca

General Comments

The Development Authority notes that the revision to the development does not increase the height or massing of the building and is sensitive to neighbouring developments by varying the massing and building materials of walls and using frosted glass to prevent overlooking potential. The revision to the development is supported.

Please note that amended plans/additional information is required by Utility Engineering before the development permit application can be approved.

Prior to Decision Requirements

The following issues must be addressed by the Applicant through a written submission and amended plans prior to a decision by the Approving Authority:

Utility Engineering

1. Amend the plans to:

Utility Specialists - Sanitary and Stormwater Servicing

Track your application on-line with VISTA. Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

1) Adjust site grades so storm water does not drain onto the neighboring property and must flow to the road and/or lane. Current grades make it look like storm water will be flowing onto the neighboring lot which is not allowed as per Drainage Bylaw.

2a) Indicate if the trench drain is to be tied into the storm system,

OR

2b) Indicate the sump and pump discharge location (2.0m away from all property lines), complete with the discharge elevations and direction of travel to the street or lane for the stormwater that is collected from the driveway trench drain. And indicate the location of the sump and pump and back-up battery in case of a power failure

Prior to Release Requirements

The following requirements shall be met prior to the release of the permit. All requirements shall be resolved to the satisfaction of the Approving Authority:

Planning

2. The Prior to Release Requirements will be finalized at the time of Development Authority decision.

Permanent Conditions

The following permanent conditions shall apply:

Planning

3. The Permanent Conditions will be finalized at the time of Development Authority decision.

Utility Engineering

4. Single retaining walls 1.2m in height or greater or terraced retaining walls 1.2m in height or greater with a horizontal separation between walls of less than 3.6m (3x height) require the approval of a Building Permit prior to construction.

For retaining wall(s) that meet these criteria, the developer may either:

- a. Include the retaining walls with the Building Permit for the building, or
- b. Apply for a separate Building Permit for the retaining walls.

It should be noted that the Building Permit for the building on site will not be released until the separate Building Permit for site retaining walls is approved.

5. Prior to the issuance of the Development Completion Permit, the developer/builder is required to provide the form, Assurance of Engineering Field Review and Compliance, (final page of the Retaining Wall Design Disclosure Statement) under seal and permit to practice stamp by the Engineer of Record to the Development Authority for the field review of the retaining wall(s).
6. The developer / project manager, and their site designates, shall ensure a timely and complete implementation, inspection and maintenance of all practices specified in erosion and sediment control report and/or drawing(s) which comply with Section 3.0 of The City of Calgary Guidelines for Erosion and Sediment Control. Any amendments to the ESC documents must comply with the requirements outlined in Section 3.0 of The City of Calgary Guidelines for Erosion and Sediment Control.

For other projects where an erosion and sediment control report and/or drawings have not been required at the Prior to Release stage, the developer, or their designates, shall, as a minimum, develop an erosion and sediment control drawing and implement good housekeeping practices to protect onsite and offsite storm drains, and to prevent or mitigate the offsite transport of sediment by the forces of water, wind and construction traffic (mud-tracking) in accordance with the current edition of The City of Calgary Guidelines for Erosion and Sediment Control. Some examples of good housekeeping include stabilization of stockpiles, stabilized and designated construction entrances and exits, lot logs and perimeter controls, suitable storm inlet protection and dust control.

For all soil disturbing projects, the developer, or their representative, shall designate a person to inspect all erosion and sediment control practices a

minimum of every seven (7) days and during, or within 24 hours of, the onset of significant precipitation (> 12 mm of rain in 24 hours, or rain on wet or thawing soils) or snowmelt events. Note that some practices may require daily or more frequent inspection. Erosion and sediment control practices shall be adjusted to meet changing site and winter conditions. The City of Calgary Guidelines for Erosion and Sediment Control can be accessed at: www.calgary.ca/ud (under publications).

7. All rooftop drainage shall be controlled with eave troughs and downspouts that direct drainage to the street.
8. The development shall be built and operated in functional compliance with the Stormwater Management measures outlined for the parcel.
9. The grades must match the grades indicated on the Development Permit approved plans. Upon a request from the Development Authority, the developer or owner of the titled parcel must confirm under seal from a Consulting Engineer or Alberta Land Surveyor, that the development was constructed in accordance with the grades submitted on the Development Permit.
10. No trees, shrubs, buildings, permanent structures or unauthorized grade changes are permitted within the utility rights-of-way.

Mobility Engineering

11. All the requirements of the parent file (DP2023-01121) are to be adhered to.

Advisory Comments

The following advisory comments are provided as a courtesy to the Applicant and registered property owner. The comments represent some, but not all of the requirements contained in the Land Use Bylaw that must be complied with as part of this approval.

Planning

12. The Advisory Comments will be finalized at the time of Development Authority decision.

Utility Engineering

13. The developer is responsible for ensuring that:
 - a. The environmental conditions of the subject property and associated utility corridors meet appropriate regulatory criteria and appropriate environmental assessment, remediation, exposure control or risk management is undertaken.
 - b. Appropriate environmental assessment(s) of the property has been undertaken and, if required, a suitable Remedial Action Plan, Exposure Control Plan and/or Risk Management Plan has been prepared, reviewed and accepted by the appropriate regulatory agency(s) including but not limited to Alberta Environment and Protected Areas.
 - c. The development conforms to any reviewed and accepted Remedial Action Plan, Exposure Control Plan and/or Risk Management Plan.
 - d. All reports are prepared by a qualified professional in accordance with accepted guidelines, practices and procedures that include but are not limited to those in the most recent versions of the Canadian Standards Association and City of Calgary Phase I & II Environmental Site Assessment Terms of Reference.
 - e. The development is in compliance with applicable environmental approvals, for example from Alberta Environment and Protected Areas, Alberta Energy Regulator and/or Natural Resources Conservation Board; as well, any related setback requirements, and landfill setback requirements as set out in the Subdivision and Development Regulation.

If the potential for methane generation or vapours from natural or contaminated soils and groundwater has been identified on the property, the developer is responsible for ensuring appropriate environmental assessment(s) of the property has been undertaken and appropriate measures are in place to protect the building(s) and utilities from the entry of methane or other vapours.

Issuance of this permit does not absolve the developer from complying with and ensuring the property is developed in accordance to applicable environmental legislation.

14. Water connection is available from ____.
15. Maintain a 3.0m separation between Enmax facilities (power poles, light standards, transformer pads, catch basins, etc.) with the proposed water service.
16. If further subdivision occurs in the future (including strata subdivisions), each titled parcel must have separate service connections to public mains (water and sanitary). Contact the Leader, Development Approvals, Water Resources at 403-268-2855 for details.
17. Sanitary sewer connection is available from ____.
18. Storm sewer connection is available from ____.
19. The applicant is encouraged to explore and adopt stormwater volume control options for this development.
20. Discharge of roof leaders should be onto grassed or pervious areas to help reduce the volume of runoff. Direct connection of roof leaders to weeping tile or storm sewers is prohibited. Roof leaders are to be directed to the ground that is graded away from the building and must not discharge within 2.0m of a road right-of-way.
21. As per The City of Calgary Drainage Bylaw 37M2005, the developer, and those under their control, are responsible for ensuring that a Drainage Permit is obtained from Water Resources prior to discharging impounded runoff (caused by rainfall and/or snowmelt) seepage or groundwater from construction site excavations or other areas to a storm sewer. The developer, and those under their control, is responsible for adhering to all conditions and requirements stipulated in the Drainage Permit at all times. For further information, contact the Corporate Call Centre at 311 or visit <http://www.calgary.ca/UEP/Water/Pages/Watersheds-and-rivers/Erosion-and-sediment-control/Report-and-Drawings-Templates-and-Guides.aspx> (Drainage Permit applications can be downloaded from this website).
22. Stormwater emergency escape routes must be to a public roadway.
23. No encroachments are permitted above or below grade in City rights-of-way.
24. Locate any/all utilities in the field.

Coordinate accordingly with any/all affected utility owners (if any), for the relocation OR protection of existing utilities that may exist/reside within the subject sites (i.e. by way of utility right-of-way and/or easement). All of which shall be to the satisfaction of the utility owners.
25. For questions and concerns regarding waste storage facilities, refer to the Development Reviews: Design Standards for the Storage and Collection of Waste
Found at: <http://www.calgary.ca/UEP/WRS/Pages/Commercial-Services/Development-Permits-Waste-Recycling.aspx>

26. In the event the proposed development is no longer able to obtain waste collection service as shown in this development approval, the landowner is responsible for obtaining a new development permit for an alternative service plan.



March 23, 2023

KTRAN DESIGN & DRAFTING

[REDACTED] [m](#)
[REDACTED]

Dear Applicant:

RE: Detailed Review (DR)

Development Permit Number: DP2023-01121

Based on the plans received, your application has been reviewed in order to determine compliance with the Land Use Bylaw and applicable City policies. Any variance from the Land Use Bylaw or City policies may require further discussion or revision prior to a decision being rendered.

A written response to the Prior to Decision issues in this DR is required from the Applicant by the end of the thirty (30) calendar day response due date. In the event that the response due date expires, the application may be inactivated subject to a fifteen (15) calendar day reactivation timeline. In the case of a non-responsive or incomplete application, the General Manager – Planning & Development Services may cancel the application as per Section 41.1 of Land Use Bylaw 1P2007.

Should you have any questions or concerns, please contact me at 403-333-5407 or by email at daniel.bronson@calgary.ca.

Sincerely,

A handwritten signature in blue ink, appearing to read "Daniel Bronson", is written over a light blue circular background.

DANIEL BRONSON
Senior Planning Technician



Detailed Review 1 – Development Permit

Application Number:	DP2023-01121
Application Description:	New: Single Detached Dwelling, Secondary Suite (basement)
Land Use District:	Residential - Contextual One Dwelling
Use Type:	Discretionary
Site Address:	3204 14 ST SW
Community:	UPPER MOUNT ROYAL
Applicant:	KTRAN DESIGN & DRAFTING
Date DR Sent:	March 23, 2023
Response Due Date:	April 23, 2023
Planning:	DANIEL BRONSON 403-333-5407 daniel.bronson@calgary.ca
Mobility Engineering:	FABIAN SNYDERS 587-576-4315 Fabian.Snyders@calgary.ca

General Comments

After circulating and notice posting, many objections have come in from various neighbours and the Community Association pointing out the incongruous scale of the development within the surrounding context. The development must be scaled back considerably to exist cohesively with the established pattern of development in the area.

Bylaw Discrepancies		
Regulation	Standard	Provided
53 Required Setbacks	(1) The Development Authority must not relax the required setbacks referenced in Table 1 below: 14 STREET W. (FROM ROSELAWN CRESCENT N. TO 38 AVENUE S.) 5.182m required setback.	Plans indicate the proposed building projects 1.81m into the Public Realm Setback. Plans indicate the proposed deck projects 2.08m into the Public Realm setback.
53 Required Setbacks	(2) When considering a development permit application for a parcel adjacent to a street right-of-way referenced in Table 1, the Development Authority must require that the building be set back	Plans indicate the proposed hot tub projects 4.48m into the Public Realm setback. Relaxation not supported by Development Authority.

Track your application on-line with VISTA. Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

	<p>from the basic right-of-way by a distance equal to:</p> <p>(a) the required building setback in the applicable land use district; plus</p> <p>(b) the Required Setbacks referenced in Table 1.</p>	
396 Building Setback from Front Property Line	(1) For a Contextual Single Detached Dwelling and a Single Detached Dwelling, the min. building setback from a front property line is the greater of: (b) 3.0m	
336 Projections Into Front Setback Area	(1) Unless otherwise referenced in subsection (6), bay windows and eaves may project a max. of 0.6m into the front setback area.	<p>Plans indicate the West eave projects 2.39m (+1.79m) into the West setback area.</p> <p>Relaxation not supported by Development Authority.</p>
397 Building Setback from Side Property Line	(1) For a laned parcel, the min. building setback from any side property line is 1.2m	<p>Plans indicate the South setback to the stone buildout is 0.92m (-0.28m).</p> <p>Plans indicate the South setback to the attached garage is 0.78m (-0.42m).</p> <p>Relaxation not supported by Development Authority.</p>
337 Projections Into Side Setback Area	(9) Balconies and decks must not project into any side setback area;	<p>Plans indicate the 2nd floor open balcony is setback 0.78m (-0.42m) from the South property line.</p> <p>Relaxation not supported by Development Authority.</p>
338 Projections Into Rear Setback Area	(2) Awnings, balconies, bay windows, canopies, chimneys, decks, eaves, fireplaces, fire escapes, landings, porches, and ramps other than wheelchair ramps may project a max of 1.5m into any rear setback area.	<p>Plans indicate the 2nd floor balcony projects 6.28m (+4.78m) into the East setback area.</p> <p>Relaxation not supported by Development Authority.</p>
338 Projections Into Rear Setback Area	<p>(3) A private garage attached to a building may project without limits into a rear setback area provided it:</p> <p>(a) does not exceed 4.6m in height, measured from the finished floor of the private garage;</p>	<p>Plans indicate the attached garage height is 5.60m from finished floor to the top of the balcony railing above it.</p> <p>Plans indicate the attached garage area is 88.87sm (+13.87sm).</p> <p>Relaxation not supported by Development Authority.</p>

	(b) does not exceed 75.0m ² in gross floor area for each Dwelling Unit located on the parcel.	
338 Projections Into Rear Setback Area	(4) When an attached private garage has a balcony or deck, the balcony or deck must not be located within 6.0 m of a rear property line or 1.2m of a side property line.	Plans indicate the 2 nd floor balcony is setback 0.78m (-0.42m) from the South property line. Plans indicate the 2 nd floor balcony is setback 1.22m (-4.78m) from the East property line. Relaxation not supported by Development Authority.
335 Length of Portions of a Building in Setback Areas (Rear)	(2) The max. length of an individual projection into any setback area is 3.1m	Plans indicate the 2 nd floor balcony length is 6.86m (+3.76m). Relaxation not supported by Development Authority.
340 Balconies	(1) Unless otherwise referenced in this Part, an open balcony must not project more than 1.85m from the building façade to which it is attached.	Plans indicate the 2 nd floor balcony projects 7.92m (+6.07m) from the façade to which it is attached. Plans indicate the 3 rd floor balcony projects 9.65m (+7.80m) from the façade to which it is attached. Relaxation not supported by Development Authority.
340 Balconies	(2) Unless otherwise referenced in this Part, the floor area of a recessed balcony must not exceed 10.0m ²	Plans indicate a 2 nd floor balcony with an area of 10.90sm (+0.90sm). Relaxation not supported by Development Authority.
399 Building Height	(1) For a Contextual Single Detached Dwelling and a Single Detached Dwelling, the max. building height is the greater of: (a) 8.6 m	Plans indicate the roof peak geodetic is 1094.36 (+1.03m). Relaxation not supported by Development Authority.
393 Parcel Coverage	The max. parcel coverage is 45.0% of the area of a parcel, which must be reduced by 21.0 m ² for each required motor vehicle parking stall that is not provided in a private garage.	Plans indicate the parcel coverage is 52.48% (+7.48%) or 401.51sm (+57.21sm). Relaxation not supported by Development Authority.
341 Driveways	(6) In the developed area a driveway accessing a street must not be constructed, altered or replaced except where: (a) located on a laneless parcel; (b) located on a laned parcel and 50.0% or more parcels on same block face have an	Plans indicate a laned parcel. Plans indicate 41.67% (-8.33%) or 5 (-1) parcels on the block have existing driveways. Plans indicate the existing driveway is being altered.

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	existing driveway accessing a street; or (c) legally existing driveway not being relocated or widened.	Relaxation not supported by Development Authority.
343 Fences	The height of a fence above grade at any point along a fence line must not exceed: (a) 1.2m for any portion of a fence extending between the foremost front façade of the main residential building and the front property line; (b) 2.0m in all other cases	Plans do not indicate the height of the proposed steel fences. Please indicate fence heights on plans.
351 Secondary Suite	(1) For a Secondary Suite the minimum building setback from a property line, must be equal to or greater than the minimum building setback from a property line for the main residential building.	Plans indicate the secondary suite below grade is within the West setback area. Relaxation not supported by Development Authority.
351 Secondary Suite	(4) Except in the R-CG District, a Secondary Suite must have a private amenity space that: (a) is located outdoors; and (b) has a minimum area of 7.5m ² with no dimension less than 1.5m.	Plans do not indicate an outdoor private amenity space for the secondary suite below grade. Plans do not indicate an outdoor private amenity space for the secondary located on the third floor. Relaxation not supported by Development Authority.
354 Accessory Suite - Density	(1.1) There must not be more than one Secondary Suite contained within a Dwelling Unit.	Plans indicate 2 (+1) secondary suites. Relaxation not supported by Development Authority.
295 Secondary Suite	(d) requires a minimum of 1.0 motor vehicle parking stalls;	Plans indicate 0 (-2) secondary suite parking stalls. Relaxation not supported by Development Authority.
295 Secondary Suite	(a) (iii) is self-contained and located within a Dwelling Unit;	Plans do not indicate the secondary suites are self contained. Relaxation not supported by Development Authority.
25 Exempt Developments	(2)(d) an outdoor in-ground or above ground private swimming pool or hot tub so long as it: (i) is not located within the actual front setback area;	Plans indicate the hot tub is within the actual front setback area. Plans indicate the hot tub is 0.69m (-0.51m) from the West property line.

Track your application on-line with VISTA. Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

	(iii) does not have any above grade components including a deck, walkway, supporting member, heater or mechanical equipment within 1.2 metres of any property line;	Relaxation not supported by Development Authority.
Permitted Contextual Use Rules		
Regulation	Standard	Provided
347 Contextual Single Detached Dwelling	<p>(2) Unless otherwise referenced in this Part, a Contextual Single Detached Dwelling: (b) may have a balcony located on a rear façade where:</p> <p>(ii) a privacy wall is provided where the balcony is facing a side property line shared with a parcel; and</p> <p>(iii) the privacy wall is a minimum of 2.0m in height and a maximum of 3.0m in height</p>	<p>Plans do not indicate balcony privacy walls.</p> <p>Relaxation not supported by Development Authority.</p>
347 Contextual Single Detached Dwelling	(2) Unless otherwise referenced in this Part, a Contextual Single Detached Dwelling: (c) must not have a balcony with a height greater than 6.0m, when measured vertically at any point from grade to the platform of the balcony.	<p>Plans indicate the 3rd floor balcony exceeds 6.0m in height above grade.</p> <p>Relaxation not supported by Development Authority.</p>
347 Contextual Single Detached Dwelling	(1) A contextual Single Detached Dwelling(d) must not have a roof slope less than 4:12 within 1.5m of the horizontal plane forming the maximum building height	<p>Plans indicate flat roofs within the contextual height plane.</p> <p>Relaxation not supported by Development Authority.</p>
347 Contextual Single Detached Dwelling	(4) Where a Contextual Single Detached Dwelling is located on a parcel with a parcel width greater than 10m the maximum building depth is the contextual building depth average	<p>Plans indicate the building depth is 31.32m (+11.32m).</p> <p>Relaxation not supported by Development Authority.</p>
347 Contextual Single Detached Dwelling	(6) Where a private garage is attached to a Contextual Single-Detached Dwelling the maximum building coverage is the maximum parcel coverage which must be reduced by 21m ² for each required parking stall	<p>Plans indicate the building coverage is 401.51sm (+78.21sm).</p> <p>Relaxation not supported by Development Authority.</p>

Track your application on-line with VISTA. Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

Prior to Decision Requirements

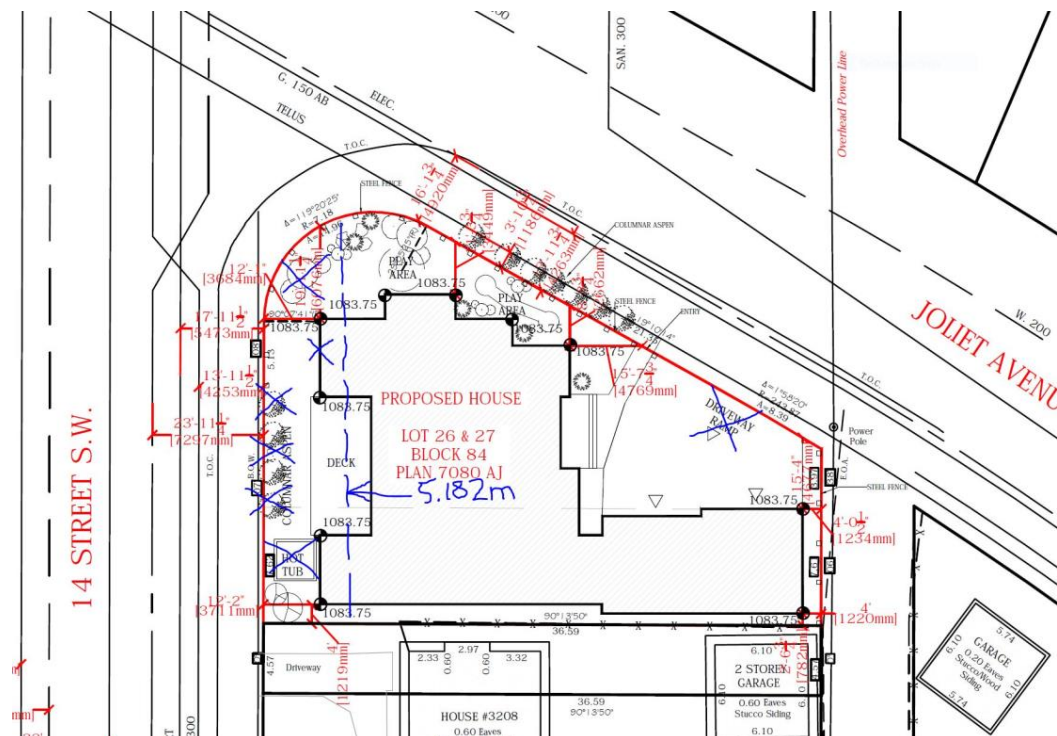
The following issues must be addressed by the Applicant through a written submission and amended plans prior to a decision by the Approving Authority:

Planning

1. Upload a complete set of the amended plans in PDF format, into the ePermit system. The submitted plans must address the requirements listed in this document. Ensure that all plans affected by the revisions are amended accordingly, including all issues outlined in the Bylaw Discrepancies and Relevant City Policies.

Mobility Engineering

2. There is a 5.182m Bylaw/ Public realm enhancement setback on 14 Street S.W. (Measured off the existing Property Line) which must stay free and clear of any development above and below ground. The proposed design is showing portions of the building, hot tub, and landscaping within this area, which must be removed.



3. Applicant is to take all vehicular access from off the existing lane, not Joliet Ave S.W. as proposed, as this is a pedestrian realm, while the lane is meant for vehicular travel.

Track your application on-line with VISTA. Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

District Title: **Residential – Grade-Oriented Infill (R-CG) (R-CGex) District**

The information contained herein is intended for information purposes only. Please refer to the Calgary Land Use Bylaw 1P2007 for a complete list of rules and regulations. This form has no legal status and cannot be used as an official interpretation of the Land Use Bylaw 1P2007.

Date:	August 15, 2024
Date Received:	July 23, 2024
BLC BY:	Andrew Kjartanson
Review Required:	<div>COMPLETE</div>

D.P. #

2024-05405

For Internal Distribution Only

Modifier(s):	F.A.R	Height	Density	ALL MODIFIER(S) ARE COMPULSORY (Cannot be relaxed)
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Floodway/Floodfringe/Overland Flow

DOES NOT APPLY

If applicable Complete Flood Sheet

Public Realm Setbacks					
Rd / St / Av	14 STREET W. (FROM ROSELAWN CRESCENT N. TO 38 AVENUE S.)	Required	5.182M	Provided	6.58M

Main Floor Elevation(S):	Roof Peak Elevation(s):
1085.20	1093.25

LDR: For Additions or alterations to existing See Section 358 For Dwellings Deemed Conforming

Notes:

Please note this review was completed based on 21P2024 that come into Effect August 6, 2024

Did not check contextual rules - applicant is proposing rear attached garage with access to the lane

ISC: Protected

For Internal Distribution Only

Communities

0.5 Parking Rate

Other Areas of the City

Within 600.0m of Existing LRT or BRT Bus Stop

A

- ☐ Acadia
- ☐ Albert Park / Ridsson Heights
- ☐ Altadore

B

- ☐ Banff Trail
- ☐ Bankview
- ☐ Bayview
- ☐ Bel-aire
- ☐ Beltline
- ☐ Bonavista Downs
- ☐ Bowness
- ☐ Braeside
- ☐ Brentwood
- ☐ Bridgeland / Riverside
- ☐ Britannia

C

- ☐ Cambrian Heights
- ☐ Canyon Meadows
- ☐ Capitol Hill
- ☐ Charleswood
- ☐ Chinatown
- ☐ Chinook Park
- ☐ Cliff Bungalow
- ☐ Collingwood
- ☐ Crescent Heights
- ☐ Currie Barracks

D

- ☐ Dalhousie
- ☐ Downtown Commercial Core
- ☐ Downtown Commercial Core
- ☐ Downtown East Village
- ☐ Downtown West End

E

- ☐ Eagle Ridge
- ☐ Eau Claire
- ☐ Elbow Park
- ☐ Elboya
- ☐ Erlton

F

- ☐ Fairview
- ☐ Forest Heights
- ☐ Forest Lawn

G

- ☐ Garrison Green
- ☐ Garrison Woods
- ☐ Glamorgan
- ☐ Glenbrook
- ☐ Glendale
- ☐ Greenview

H

- ☐ Haysboro
- ☐ Highland Park
- ☐ Highwood

- ☐ Hillhurst

- ☐ Hounsfield Heights / Briar Hill

- ☐ Huntington Hills

I

- ☐ Inglewood

K

- ☐ Kelvin Grove
- ☐ Killarney / Glengarry
- ☐ Kingsland

L

- ☐ Lake Bonavista
- ☐ Lakeview
- ☐ Lincoln Park
- ☐ Lower Mount Royal

M

- ☐ Manchester
- ☐ Maple Ridge
- ☐ Marlborough
- ☐ Mayfair
- ☐ Mayland Heights
- ☐ Meadowlark Park
- ☐ Mission
- ☐ Montgomery
- ☐ Mount Pleasant

N

- ☐ North Glenmore Park
- ☐ North Haven
- ☐ North Haven Upper

O

- ☐ Oakridge
- ☐ Ogden

P

- ☐ Palliser
- ☐ Parkdale
- ☐ Parkhill
- ☐ Point McKay
- ☐ Pump Hill

Q

- ☐ Queens Park Village

R

- ☐ Ramsay
- ☐ Renfrew
- ☐ Richmond
- ☐ Rideau Park
- ☐ Rosedale
- ☐ Rosemont
- ☐ Rosscarrock
- ☐ Roxboro
- ☐ Rutland Park

S

- ☐ Scarboro
- ☐ Shaganappi
- ☐ South Calgary
- ☐ Southview
- ☐ Southwood
- ☐ Spruce Cliff
- ☐ St. Andrews Heights
- ☐ Sunalta
- ☐ Sunalta West
- ☐ Sunnyside

T

- ☐ Thorncliffe
- ☐ Tuxedo Park

U

- ☐ University District
- ☐ University Heights
- ☒ Upper Mount Royal

V

- ☐ Varsity
- ☐ Vista Heights

W

- ☐ West Hillhurst
- ☐ Westgate
- ☐ Wildwood
- ☐ Willow Park
- ☐ Windsor Park
- ☐ Winston Heights / Mountview

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Residential - Grade-Oriented Infill (R-CG) District					D.P. # 2024-05405			
Rule	Requirements				Evaluation			
				Notes	Provided/Variance			
Secondary Suites	If applicable please refer to Secondary Suites Form				See Attached	N/A	N/I	
347 Contextual Single Detached Dwelling	(Front A 1083.89 + Front B 1083.33) / 2 = Front Average Building Reference Point				1083.61			
	(Rear A 1082.90 + Rear B 1082.93) / 2 = Rear Average Building Reference Point				1082.92			
	(1) A Contextual Single Detached Dwelling: (e) must not be located on a parcel where the difference between the average building reference points is greater than 2.4m; and							
	Difference between Front & Rear Average Building Reference Points =				0.69	C	N/C	N/A
537 Building Setback from Front Property line	The minimum building setback from a front property line is 3.0m			West - RROW	3.06		0.06	
347 Contextual Single Detached Dwelling	(1) A contextual Single Detached Dwelling	(a) must have:	(i) a portion of the front façade with an area less than or equal to 50% of the area of all front facades, recessed or projecting forward from the remaining façade that has a minimum dimension of: (A) 2.0m in width; (B) 0.6m in depth; and; (C) 2.4m in height; or		C	N/C	N/A	N/I
			(ii) a porch projecting from the front façade with a minimum dimension of: (A) 2.0m in width; and (B) 1.2m in depth		C	N/C	N/A	N/I
334 Projections into Setback Areas	(3) Portions of a building below the surface of the ground may extend without any limits into a setback area, with the exception of the required front setback area.				C	N/C	N/A	N/I
336 Projections Into Front Setback Area	(1) Unless otherwise referenced in subsection (6), bay windows and eaves may project a max. of 0.6 m into the front setback area.			West Eave	0.25		-0.35	
	(2) Landings, ramps other than wheelchair ramps and stairs may project into a front setback area provided:	(a) they provide access to the main floor or lower level of the building; and			C	N/C	N/A	N/I
		(b) the area of a landing does not exceed 2.5m²			N/A			
	(5) In a Developed Area, a porch may project a maximum of 1.8m into a front setback area where:				N/A			
		(a) it forms an entry to the main floor of a Dwelling Unit of a main residential building;						
		(b) the setback of the porch from the front property line is not less than the minimum setback in the district;						
		(c) the maximum height of the porch platform is 1.2m measured from grade, excluding stairs and a landing area not exceeding 2.5m²; and						
		(d) the portion of the porch that projects into a front setback area is unenclosed, other than by a railing, balustrade or privacy walls located on porches between attached units.						

	(6) Eaves may project an additional 0.6m from a porch into the front setback area, as described in subsection (5).									
335 Length of Portions of a Building in Setback Areas (Front)	(1) On each storey, the total combined length of all projections into any setback area must not exceed 40% of the length of the façade <i>(Does not apply to decks, eaves, porches, ramps, and stairs)</i>				PROVIDE LENGTH AND % VALUES		N/A			
	1st st			X 40% =						
	2nd st			X 40% =						
	(2) The max. length of an individual projection into any setback area is 3.1m									
539 Building Setback from Side Property Line	(1) Subject to subsections (3) through (9), the minimum building setback from any side property line is 1.2m				South	1.22	0.02			
	(2) Subject to subsections (3) through (7), for a laneless parcel, the minimum building setback from any side property line is:	(a) 1.2m; or					N/A			
		(b) 3.0m on one side of the parcel when no provision is made for a private garage on the front or side of a building.								
	(3) There is no requirement for a building setback from a property line upon which a party wall is located.									
	(4) The minimum building setback from a side property line may be reduced to a zero setback where:	(a) the owner of the parcel proposed for development and the owner of the adjacent parcel register, against both titles, a 1.2m private maintenance easement.								
	(5) The minimum building setback from a side property line may be reduced to a zero setback where the main residential building on the adjoining parcel has a zero setback.									
	(6) For a corner parcel, the minimum building setback from a side property line shared with a street is 0.6m				North	Complies				
	(7) The building setback from a side property line of 3.0m required in subsection 2(b) may be reduced to zero metres where the owner of the parcel proposed for development and the owner of the adjacent parcel registers, against both titles, a private access easement:	(a) where the width of the easement, in combination with the reduced building setback, must be at least 3.0 metres;					N/A			
		(b) that provides unrestricted vehicle access to the rear of the parcel.								
	(8) Unless otherwise referenced in subsection (9), on a laned parcel the minimum building setback from a side property line for a private garage attached to a main residential building is 0.6m									
	(9) On a laned parcel, the minimum building setback for a private garage attached to a main residential building that does not share a side or rear property line with a street may be reduced to zero metres where the wall of the portion of the building that contains the private garage is constructed of maintenance-free materials and there is no overhang of eaves onto an adjacent parcel.									
	(1.1) Portions of a building greater than or equal to 2.4m above grade may project a max of 0.6m into any side setback area.					N/A				
	(1.2) Portions of a building less than 2.4m above grade may project a maximum of 0.6m,									
	(1.2) (b) for all other uses:	(i) when located on a corner parcel;					C	N/C	N/A	N/I
		(ii) where at least one side setback area is clear of all portions of the building measured from grade to a height of 2.4m; or					C	N/C	N/A	N/I
		(iii) where the side setback area contains a private								

337 Projections Into Side Setback Area	maintenance easement required by this Bylaw and no portion of the building projects into the required private maintenance easement.					C	N/C	N/A	N/I
	(1.3) Window wells may project a maximum of 0.8m into any side setback area.				North WW X2	N/I			
	(2) Window wells and portions of a building, other than eaves, must not project into a 3.0 metre setback required on a laneless parcel.					C	N/C	N/A	N/I
	(3) Eaves may project a max. of 0.6m into any side setback area.				South eave (0.43m on west elevation and 0.30m on East elevation!!!!)	0.40		-0.20	
	(5) Landings, ramps other than wheelchair ramps and stairs may project in a side setback area provided:	(a) they provide access to the main floor or lower level of the building;			Stairs to north entry	C	N/C	N/A	N/I
		(b) the area of a landing does not exceed 2.5m ²				N/A			
		(c) the area of any portion of a landing that projects into the side setback area does not exceed 1.8m ²							
		(d) they are not located in a 3.0m side setback area required on a laneless parcel; and				C	N/C	N/A	N/I
		(e) they are not located in a side setback area required to be clear of projections, unless pedestrian access from the front to the rear				C	N/C	N/A	N/I
	(10) Central air conditioning equipment may project a maximum of 1.0m into a side setback area:					N/A			
	(8) Any portion of a building that projects into a side setback area, other than eaves, landings, window wells, ramps and stairs, must not be located closer than 0.9m from the nearest front façade.					N/A			
	(9) Balconies and decks must not project into any side setback area;				NW balcony	C	N/C	N/A	N/I
335 Length of Portions of a Building in Setback Areas (Side)	(1) On each storey, the total combined length of all projections into any setback area must not exceed 40% of the length of the façade <i>(Does not apply to decks, eaves, porches, ramps, and stairs)</i>				PROVIDE LENGTH AND % VALUES	N/A			
	1st st			X 40% =					
	2nd st			X 40% =					
	__st			X 40% =					
	__st			X 40% =		N/I			
	(2) The max. length of an individual projection into any setback area is 3.1m <i>(Includes Window Wells)</i>				North WW X2				
540 Building Setback from Rear Property Line	(1) Unless otherwise referenced in subsection (2) the minimum building setback from a rear property line is 7.5m					N/A			
	(2) On a laned or corner parcel, the minimum building setback from a rear property line is 1.2m				East	Complies			
338 Projections Into Rear Setback Area	(2) Awnings, balconies, bay windows, canopies, chimneys, decks, eaves, fireplaces, fire escapes, landings, porches, and ramps other than wheelchair ramps may project a max of 1.5m into any rear setback area.					N/A			
	(3) A private garage attached to a building may project without limits into a rear setback area provided it:	(a) does not exceed 4.6m in height, measured from the finished floor of the private garage;			Rear attached garage is not within required rear setback area				
		(b) does not exceed 75.0m ² in gross floor area for each Dwelling Unit located on the parcel.							
		(c) has no part that is located closer than 0.60m to the rear property line; and							
		(d) has no eave closer than 0.6m to a side property line							

Page 4				(c) has no eave closer than 0.6m to a side property line.			
	(4) When an attached private garage has a balcony or deck, the balcony or deck must not be located within 6.0 m of a rear property line or 1.2m of a side property line.					Rear	
						Side	
						Side	
347 Contextual Single Detached Dwelling	(1) A contextual Single Detached Dwelling	(b) must not have vehicular access from the lane to an attached private garage					N/A
		(c) must not have windows that are located beyond the rear façade of a main residential building on an adjoining parcel unless:	(i) the window is located below the second storey;				
			(ii) the window is located on the rear façade;				
			(iii) the glass in the window is entirely obscured; or				
			(iv) there is a minimum distance of 1.5m between the finished floor and the bottom of the window sill				
335 Length of Portions of a Building in Setback Areas (Rear)	(1) On each storey, the total combined length of all projections into any setback area must not exceed 40% of the length of the façade <i>(Does not apply to decks, eaves, porches, ramps, and stairs)</i>				PROVIDE LENGTH AND % VALUES		N/A
	1st st			X 40% =			
	2nd st			X 40% =			
	(2) The max. length of an individual projection into any setback area is 3.1m						
339 Decks	(2) The height of a deck in the Developed Area must not exceed:	(a) 1.5m above grade at any point, except where the deck is located on the same façade as the at-grade entrance to a walkout basement; and					N/A
		(b) 0.3m above the main floor level of the closest main residential building on the parcel.					
	(2.1) Unless otherwise referenced in subsection (3), a privacy wall located on a deck:	(a) must not exceed 2.0m in height when measured from the surface of the deck; and					
		(b) must not be located between the foremost front façade of the main residential building and the front property line.					
340 Balconies	(1) Unless otherwise referenced in this Part, an open balcony must not project more than 1.85m from the building façade to which it is attached.						544 applied
	(2) Unless otherwise referenced in this Part, the floor area of a recessed balcony must not exceed 10.0m²						
	(2.1) Unless otherwise referenced in this Part, a privacy wall located on a balcony:	(a) must not exceed 3.0m in height when measured from the surface of the balcony; and					N/A
		(b) must not be located between the foremost front façade of the main residential building and front property line.					
347 Contextual Single Detached Dwelling	(2) Unless otherwise referenced in this Part, a Contextual Single Detached Dwelling:	(a) may have a balcony located on a side façade:	(i) where it forms part of the front façade and is not recessed back more than 4.5m from the front façade; or				N/A
			(ii) where it is on the street side of a corner parcel				
		(b) may have a balcony located on a	(i) it does not form part of the side façade unless the side façade is on the street side of a corner parcel				
			(ii) a privacy wall is provided where the balcony is facing a side property line				

		rear façade where:	shared with a parcel; and							
			(iii) the privacy wall is a minimum of 2.0m in height and a maximum of 3.0m in height							
		(c) must not have a balcony with a height greater than 6.0m, measured vertically at any point from grade to the platform of the balcony								
544 Balconies	(1) Where a balcony is located on the roof of the first or second storey of a main residential building and does not overhang any façade of the storey below, the balcony may have a maximum floor area that equals 50.0 per cent of the horizontal cross section of the storey below.			2nd floor balcony NW corner	Complies					
			Area of Storey Below Balcony (m²)		N/A					
	(2) A balcony attached to a Contextual Single Detached Dwelling, Contextual Semi-detached Dwelling, or Rowhouse Building that is a permitted use:	(a) may be located on a side façade of a building:	(i) where it forms part of the front façade and is not recessed back more than 4.5m from the front façade; or							
			(ii) where it is on the street side of a corner parcel;							
		(b) may be located on a rear façade of a building where:	(i) it does not form part of the side façade unless the side façade is on the street side of a corner parcel;							
			(ii) a privacy wall is provided where the balcony is facing a side property line shared with a contextually adjacent building; and							
			(iii) the privacy wall is a minimum of 2.0m in height and a maximum of 3.0m in height; and	Minimum						
										Maximum
	(c) must not have a balcony on the rear façade with a height greater than 6.0m, when measured vertically at any point from grade to the platform of the balcony.									
	541 Building Height	(1) Unless otherwise referenced in subsections (2), (3) and (4), the maximum building height is 11.0m measured from grade.				Complies				
(2) Where a building setback is required from a property line shared with another parcel designated with a low density residential district, the M-CG District or H-GO District, the max building height:		(a) is the greater of:	(i) the highest geodetic elevation of a main residential building on the adjoining parcel; or	South - CAB RP greater than 7m from grade.	C	N/C	N/A	N/I		
			(ii) 7.0m from grade; measured at the shared property line; and							
(b) increases at a 45 degree angle to a max of 11.0m measured from grade.										
(3) On a corner parcel, the max area of a horizontal cross section through a building at 9.5m above average grade must not be greater than 75.0% of the max area of a horizontal cross section through the building between average grade and 8.6m										
1083.90			1083.90	1093.18						
Prim. Bldg. Cnr 1			Prim. Bldg. Cnr 2	Geo 9.5m Above Avrg Grade						
1083.60			1083.33	1092.28						
Prim. Bldg. Cnr 3			Prim. Bldg. Cnr 4	Geo 8.6m Above Avrg Grade						
286.87		X 75% =	215.15	9.5m falls within roof line	Percentage (%)					
Max. Area		Max. Area allowed at 9.5m above avg. grade		0.67%		-74.33%				
				Area(m²)						
				1.92		-213.23				
(4) Where not located on a corner parcel, the maximum building height is 8.6m for any portion of a main residential building located between the rear property line and 60.0% parcel depth or the contextual building depth average, whichever is greater.			Corner parcel	N/A						

	Height Required Beyond 0.00 m and Rear Property Line			N/A				
	C.A.B. #1	C.A.B. #2	Parcel Depth					
347 Contextual Single Detached Dwelling	(1) A contextual Single Detached Dwelling	(d) must not have a roof slope less than 4:12 within 1.5m of the horizontal plane forming the maximum building height.			C	N/C	N/A	N/I
349 Roof Equipment Projection	(2) Mechanical equipment may project a maximum of 0.3m from the surface of a roof on a building.			N/A				
532 Façade Width	The minimum width of a street facing façade of a unit is 4.2m			Complies				
37 Contextual Building Depth Average	A) Contextual Building Depth Average for 2 Contextual Adjacent Buildings							
	(Adj. building 1		+ Adj. building 2) / 2 + 4.6 = A		0	
	OR B) Contextual Building Depth Average for 1 Contextual Adjacent Building							
	Adjacent Building		0.00	+ 4.6 = B		4.6		
347 Contextual Single Detached Dwelling	OR C) Contextual Building Depth Average with no Contextual Adjacent Buildings							
	65% X			= C		0		
	Parcel Depth							
347 Contextual Single Detached Dwelling	(3) Where a contextual Single Detached Dwelling is located on a parcel with a parcel width less than or equal to 10.0m the maximum building depth is the greater of:		(a) 65.0 per cent of the parcel depth; or		N/A			
	65% x			=				0.0
	Parcel Depth		Max Building Depth					
	(b) the contextual building depth average		Contextual Building Depth Avg. =					4.6
(4) Where a Contextual Single Detached Dwelling is located on a parcel with a parcel width greater than 10.0m the maximum building depth is the contextual building depth average		Contextual Building Depth Average =		4.6				
535 Building Depth and Separation	(1) Unless otherwise referenced in subsections (2) and (3) the maximum building depth is 65.0% of the parcel depth for a building containing a unit.		Depth includes RROW		Percentage (%)			
	65% x		36.98	=	24.00	72.04%	7.04%	
	Parcel Depth		Max Bldg Depth		Building Depth (m)			
					26.64	2.64		
	(2) On a laned parcel, there is no maximum building depth for a main residential building wholly contained to the rear of 40.0% parcel depth where: <i>Note: The Main Residential Building exempt from Building Depth must be WHOLLY contained within rear 60.0%; otherwise see subsection (1).</i>		(a) there is more than one main residential building on the parcel; (b) 50.0% or more of the units on the parcel are contained in main residential buildings located within the first 60.0% of the parcel depth; and		N/A			
		(c) where the minimum separation distance of the main residential buildings on the front portion of the parcel and the main residential buildings contained on the rear portion of the parcel is 6.5m						
(3) For a main residential building that is located on a corner parcel there is no		(a) 50.0 per cent parcel depth; or						
		Parcel Depth						
		(b) the building depth of the main residential						

Page 7	maximum building depth where the minimum building setback from the side property line shared with another parcel is 3.0m for any portion of the building located between the rear property line and:	building on the adjoining parcel;			N/A				
		C.A.B. Building Depth							
		whichever is closer to the rear property line.							
		3.0m Building Side Setback Required beyond							
		0.00	m	and the rear					
		property line							
529 Density	For parcels designated R-CG use this calculation:								
	The maximum density for parcels designated R-CG District is 75 units per hectare.				Units	1	-4		
	75	765.12	(m ²)	5.00					
		0.0765120	(ha)	=	Units	U.P.H	13.07	-61.93	
	U.P.H								
	For multi-residential parcels reverting to low density uses in section 573, use the density maximum for that multi-residential district:								
	Enter UPH of MDR district below: The max density for parcels designated multi-residential is the density requirement of that district.				Units	N/A			
			(m ²)						
	Enter m ² Above	(ha)	=	Units	U.P.H				
365 Exempt Addition	In order for the exemption in section 25(2)(a) to apply to an exterior alteration or addition to an existing Duplex Dwelling, Semi-detached Dwelling or Single Detached Dwelling: (b) the addition may be a maximum of:								
	(i) 40.0m ² in floor area for any portion at a height less than or equal to:	(A) 7.5m measured from grade where the existing building has a walkout basement; or (B) 6.0m measured from grade where the existing building does not have a walkout basement; and				N/A			
	(ii) 10.0m ² in floor area for any portion not exceeding the highest point of the existing roof;								
339.1 Porches (must meet all requirements to be exempt)	In a Developed Area, a porch is exempt from parcel coverage where:	(a) the porch is located between the façade of the main residential building and:	(i) the front property line; or		C	N/C	N/A	N/I	
			(ii) the side property line on the street side of a corner parcel;		C	N/C	N/A	N/I	
		(b) the porch is unenclosed on a minimum of two sides, other than by a railing, balustrade, or privacy walls located on porches between attached units when the porch is at or exceeds the contextual front setback; and			C	N/C	N/A	N/I	
					C	N/C	N/A	N/I	
			(c) there is no enclosed floor area or balcony located directly above the roof of the porch.		C	N/C	N/A	N/I	
		(2) Unless otherwise referenced in subsection (3), the maximum cumulative building coverage over all the parcels subject to a single development permit containing a Contextual Semi-Detached Dwelling, Contextual Single Detached Dwelling, Cottage Housing Cluster, Rowhouse Building, Semi-Detached Dwelling, Single Detached Dwelling or Townhouse is:	(a) 45.0% of the area of the parcels subject to a single development permit for a development with a density of less than 40 units per hectare;	13.07 UPH	Applies	Does Not Apply			
			(b) 50.0% of the area of the parcels subject to a single development permit for a development with a density 40 units per hectare or greater and less than 50 units per hectare;		Applies	Does Not Apply			
(c) 55.0% of the area of the parcels subject to a single development permit for a development with a density of 50 units per hectare or greater and less than 60 units per hectare; or			Applies	Does Not Apply					
(d) 60.0% of the area of the parcels subject to a single development permit for a development with			Applies	Does Not Apply					

534 Parcel Coverage	single development permit for a development with a density of 60 units per hectare or greater.			Applies	Does Not Apply	
	(3) The maximum parcel coverage referenced in subsections (1) and (2), must be reduced by:	(a) 21.0m ² where one motor vehicle parking stall is required on a parcel that is not located in a private garage; and		Applies	Does Not Apply	
		(b) 19.0m ² for each required motor vehicle parking stall that is not located in a private garage where more than one motor vehicle parking stall is required on a parcel.		Applies	Does Not Apply	
	(4) For all other uses, the maximum parcel coverage is 45.0%			Applies	Does Not Apply	
	Determine correct percentage of parcel coverage and input values below			%	%	
	45.0%	<div>1</div> <div>765.12</div> <div>Parcel Area (m²)</div>	<div>Number of Units</div> <div>minus</div> <div>Required Stalls</div> <div>=</div> <div>344.30</div> <div>Max. Coverage</div>	37.49%	-7.51%	
Parcel Coverage Totals				m ²	m ²	
	House	Proj. > 1.0m	Garage(s)	Other	Total	
	286.87				286.87	286.87 -57.43
347 Contextual Single Detached Dwelling	(6) Where a private garage is attached to a Contextual Single-Detached Dwelling the maximum building coverage is the maximum parcel coverage which must be reduced by 21m ² for each required parking stall				m ²	m ²
	<div>Max. Coverage</div> <div>minus</div> <div>Required Stalls</div> <div>X 21m²</div> <div>=</div> <div>0.00</div> <div>Max. Coverage</div>				N/A	
	(5) Where a Contextual Single Detached Dwelling is located on a parcel with a parcel width greater than 10.0m, the maximum area of a horizontal cross section through each storey above the first storey must not exceed the building coverage				N/A	
Accessory Building	If applicable please refer to Accessory Residential Building Form			See Attached	N/A	N/I
542 Landscaping Requirements <i>Applies with 3 or more units</i>	(3) All areas of a parcel, except for those portions specifically required for motor vehicle access, motor vehicle parking stalls, loading stalls, garbage facilities, or any purpose allowed by the Development Authority, must be a landscaped area.			N/A		
	(4) All setback areas adjacent to a street, except for those portions specifically required for motor vehicle access, must be a landscaped area.					
	(5) Amenity space provided outdoors at grade must be included in the calculation of a landscaped area.					
	(6) Any part of the parcel used for motor vehicle access, motor vehicle parking stalls, loading stalls and garbage or recycling facilities must not be included in the calculation of a landscaped area.					
	(7) A minimum of 30.0% of the landscaped area must be covered with soft surfaced landscaping.					
	<div>Landscaped Area (m²)</div>					
	(8) All soft surfaced landscaped area must be irrigated by an underground irrigation system, unless otherwise provided by a low water irrigation system.					
	(9) Mechanical systems or equipment that are located outside of a building must be screened.					
	(4) The requirement for the provision of 1.0 tree is met where:	(a) a deciduous tree has a minimum calliper of 60mm;				
		<div># Provided</div>				
		(b) a coniferous tree has a minimum height of 2.0m				
		<div># Provided</div>				

542.2 Planting Requirements <i>Applies with 3 or more units</i>	(5) The requirement for the provision of 2.0 trees is met where:		(a) a deciduous tree has a minimum calliper of 85mm; <div># Provided</div>		N/A
			(b) a coniferous tree has a minimum height of 4.0m <div># Provided</div>		
	(6) The requirement for the provision of 3.0 trees is met where an existing deciduous tree with a calliper greater than 100mm is preserved. <div># Provided</div>				
	(2) A minimum of 1.0 tree and 3.0 shrubs must be provided for each 110.0m ² of parcel area.				
	<div>0</div>	Required Trees	<div></div>		
	<div>0</div>	Required Shrubs	Parcel Area (m ²)		
	(3) Shrubs must be a minimum height or spread of 0.6m at the time of planting.				
	(7) For landscaped areas with a building below, planting areas must have the following minimum soil depths:	(a) 1.2m for trees;			
		(b) 0.6m for shrubs; and			
		(c) 0.3m for all other planting areas.			
	(8) The soil depths referenced in (7) must cover an area equal to the mature spread of the planting material.				
341 Driveways	(1) A driveway must not have direct access to a major street unless:	(a) there is no practical alternative method of vehicular access to the parcel; and			N/A
		(b) a turning space is provided on the parcel to allow all vehicles exiting to face the major street.			
	(2) A driveway connecting a street to a private garage must:	(a) be a min of 6.0m in length along the intended direction of travel for vehicles measured from:	(i) the back of the public sidewalk to the door of the private garage; or		
			(ii) a curb where there is no public sidewalk to the door of a private garage, and		
		(b) contain a rectangular area measuring 6.0m in length and 3.0m in width.			
	(3) A driveway connecting a lane to a private garage must be a min of 0.60m in length along the intended direction of travel for vehicles, measured from the property line shared with the lane to the door of a private garage.		East - Lane	Complies	
	(5) That portion of a driveway including a motor vehicle parking stall within 6.0m of a public sidewalk, or a curb on a street where there is no public sidewalk, must not exceed a width of:	(a) 6.0m where the parcel width is 9.0m or less; or			N/A
		(b) 7.0m for parcel width > than 9.0m and < than 15.0m			
	(6) In the developed area a driveway accessing a street must not be constructed, altered or replaced except where:	(a) located on a laneless parcel; (b) located on a laned parcel and 50.0% or more parcels on same block face have an existing driveway accessing a street; or (c) legally existing driveway not being relocated or widened.			
		<div>Number of Parcels along Block Face</div>			
	(1) A retaining wall must be less than 1.2m in height when measured from the lowest				

Page 10 342 Retaining Walls	b. grade at any point adjacent to the retaining wall to the highest grade retained by the retaining wall.		not applied to stairs and driveways	C	N/C	N/A	N/I
	(2) A min horizontal separation of 1.0m must be maintained between retaining walls on the same parcel.			C	N/C	N/A	N/I
338.1 Patios	(1) Unless otherwise referenced in subsections (2) and (3), a privacy wall may be located on a patio, provided it does not exceed a height of 2.0m from the surface of the patio.			C	N/C	N/A	N/I
	(2) A privacy wall located on a patio must not exceed 2.0m in height, when measured from grade and when the privacy wall is located within: (a) a side setback area; or (b) 6.0m of a rear property line.			C	N/C	N/A	N/I
	(3) A privacy wall located on a patio must not exceed 1.2m in height when measured from grade when the privacy wall is located between the foremost front façade of the main residential building and the front property line.			C	N/C	N/A	N/I
540.1 Fences <i>Note: Only apply fence rules to proposed fences</i>	The height of a fence above grade at any point along a fence line must not exceed 1.2m for any portion of a fence extending between the foremost front façade of the immediately adjacent main residential building and the front property line.		South PL	C	N/C	N/A	N/I
343 Fences <i>Note: Only apply fence rules to proposed fences</i>	The height of a fence above grade at any point along a fence line must not exceed:	(b) 2.0m in all other cases, and		C	N/C	N/A	N/I
		(c) 2.5m at the highest point of a gate that is not more than 2.5m in length.		C	N/C	N/A	N/I
348 Visibility Setback	Within a corner visibility triangle, buildings, fences, finished grade of a parcel and vegetation must not exceed the lowest elevation of the street by more than 0.75m above lowest elevation of the street.			C	N/C	N/A	N/I
546.3 Waste, Recycling and Organics	For developments of three or more units, garbage, recycling, and organics must be stored in a screened location approved by the Development Authority <i>*Note: Applies when there are 3 or more Units</i>			C	N/C	N/A	N/I
171 Contextual Single Detached Dwelling	(c) requires a minimum of 1.0 motor vehicle parking stalls per Dwelling Unit; and			N/A			
546 Motor Vehicle Parking Stalls	(1) The minimum number of motor vehicle parking stalls is calculated based on the sum of all units and suites at a rate of 1.0 stalls per unit or suite.		<i>*See Communities Tab to Adjust Parking Rate</i> Parking Rate: 0.50 Stall per Unit & Suite				
	(2) Notwithstanding subsection (1), the minimum number of motor vehicle parking stalls is calculated based on the sum of all units and suites at a rate of 0.5 stalls per unit or suite for the area listed in Table 2.1 below.						
	1	Number of Units		2	1		
		Stalls Within a Private Garage	2				
	Stalls provided on Parking Pad	0					
546.1 Mobility Storage	(2) Notwithstanding subsection (1), there is no requirement for mobility storage lockers for parcels with two or less Dwelling Units.			Applies	N/A	N/I	
	The minimum number of mobility storage lockers is calculated based on the sum of all units and suites at a rate of 0.5 lockers per unit or suite where a unit or suite is not provided a motor vehicle parking stall located in a private garage.			0	1		
	-1	Number of Units					
546.2 Bicycle Parking Stalls	(2) Notwithstanding subsection (1), there is no requirement for a bicycle parking stall – class 1 for parcels with two or less Dwelling Units.			Applies	N/A	N/I	
	(1) The minimum number of bicycle parking stalls – class 1 is calculated based on the sum of all units and suites at a rate of 1.0 stall per unit or suite where a unit or suite is not provided a motor vehicle parking stall located in a private garage or mobility						

	storage locker.		0	1		
	-1 Number of Units					
13(90.3) Mobility Storage Locker	(a) has a door with a minimum width of 0.9m that has direct access to grade;		N/A			
	(b) has a minimum length of 2.8m;					
	(c) has a minimum width of 1.2m;					
	(d) has a minimum height of 1.8m					
122 Standards for Motor Vehicle Parking Stalls	(3) The minimum depth of a motor vehicle parking stall is 5.9m where it is required for:		C	N/C	N/A	N/I
	(a) a Contextual Single Detached Dwelling, Duplex Dwelling, Secondary Suite, Semi-detached Dwelling or Single Detached Dwelling					
	(4) The minimum width of a motor vehicle parking stall required for a Dwelling Unit is:		C	N/C	N/A	N/I
	(a) 3.0m where both sides of a stall abut a physical barrier;					
	(b) 2.85m where one side of a stall abuts a physical barrier; and					
	(c) 2.5m in all other					
	(15) Motor vehicle parking stalls for a Backyard Suite, Contextual Semi-detached Dwelling, Contextual Single Detached Dwelling, Duplex Dwelling, Secondary Suite, Semi-detached Dwelling and Single Detached Dwelling must be:		C	N/C	N/A	N/I
	(a) hard surfaced; and					
	(b) located wholly on the subject parcel.					

FILE: DP2024-05405

DATE RECEIVED: July 23, 2024

Bylaw Discrepancies		
Regulation	Standard	Provided
53 Required Setbacks	(1) The Development Authority must not relax the required setbacks referenced in Table 1 below: 14 STREET W. (FROM ROSELAWN CRESCENT N. TO 38 AVENUE S.) 5.182m Required	Plans indicate fences within the public realm setback.
337 Projections Into Side Setback Area	(1.3) Window wells may project a maximum of 0.8m into any side setback area.	Plans do not indicate the size of the window wells.
335 Length of Portions of a Building in Setback Areas (Side)	(2) The max. length of an individual projection into any setback area is 3.1m	
541 Building Height	(2) Where a building setback is required from a property line shared with another parcel designated with a low density residential district, the M-CG District or H-GO District, the max building height: (a) is the greater of: (i) the highest geodetic elevation of a main residential building on the adjoining parcel; (b) increases at a 45 degree angle to a max of 11.0m measured from grade.	Plans indicate the building is within the South height chamfer.
535 Building Depth and Separation	(1) Unless otherwise referenced in subsections (2) and (3) the maximum building depth is 65.0% of the parcel depth for a building containing a unit.	Plans indicate the building depth is 72.04% (+7.04%) or 26.64m (+2.64m).
540.1 Fences	The height of a fence above grade at any point along a fence line must not exceed 1.2m for any portion of a fence extending between the foremost front façade of the immediately adjacent main residential building and the front property line.	Plans indicate a 2.0m (+0.80m) fence between the West property line and the front façade of the building located on the adjacent parcel.

Permitted Contextual Use Rules		
Regulation	Standard	Provided
<i>NOT CHECKED</i>		

From: daniel.bronson@calgary.ca
To: [REDACTED]
Cc: daniel.bronson@calgary.ca
Subject: DP2024-05405 COMPLETE APPLICATION 1425 JOLIET AV SW
Date: Friday, July 26, 2024 9:14:16 AM

logo



Re: DP2024-05405 COMPLETENESS REVIEW - 1425 JOLIET AV SW

I am the file manager who will be reviewing your development permit application. The application has been accepted and is now under review. The review process will take approximately 3-6 weeks depending on the complexity of the application and need for notice posting and circulation.

For more information about the development permit process please visit www.calgary.ca/dpprocess.

Please track your application, using your Job Access Code (JAC) DP2024-05405-75466, at www.calgary.ca/vista.

Should you have any questions or concerns, please contact me at your convenience.

Regards,

DANIEL BRONSON
Senior Planning Technician
daniel.bronson@calgary.ca
403-333-5407
www.calgary.ca/PDMap



ENMAX Power Corporation
141 – 50 Avenue SE
Calgary, AB T2G 4S7
Tel (403) 514-3000
enmax.com

2024-08-01

File No: DP2024-05405

Location: 1425 JOLIET AV SW

ENMAX Power Corporation (EPC) has reviewed the above permit application dated 2024-07-26 and based on the information provided and as of the above noted date the proposed development does not conflict with ENMAX facilities in respect of the requirements set forth in 10-002 Overhead System (Table 7) and 12-002 Underground Systems of the Alberta Electrical Utility Code (AEUC) under the *Safety Codes Act* (Alberta). This non-conflict letter does not reduce or limit responsibility to comply with all laws and regulations regarding utility facilities and all requirements under the *Alberta Occupational Health & Safety Act* (OHS) (including any code or regulations thereunder)(OHS) and the applicant shall observe all such laws and regulations when commencing any work related to the permit application. If a situation arises where there is a discrepancy between ENMAX required setbacks and the AEUC or the OHS, the stricter set of requirements shall govern. Please refer to ENMAX Ground Disturbance Guidelines while working near ENMAX Facilities.

Pursuant to Section 225(1) of Part 17 of the *OHS Code*, anyone working near overhead powerlines must maintain safe limits of approach as provided in Schedule 4, Table 1 of the *OHS Code* or Table 1 in the AEUC. Anyone excavating must contact Utilities Safety Partners for locations of all buried facilities. All contractors, prime or sub (excavating company) must contact hotdigs@enmax.com to obtain a permission letter prior to disturbing the ground within 2 metres of any ENMAX underground facility. As a condition of this no-conflict letter, and despite any existence of a permit, the applicant must contact EPC Lineinspection@enmax.com or call (403) 514-3117 prior to the commencement of any construction where any workers or equipment will be within 7.0m of existing overhead EPC facilities. If EPC is contacted in accordance with the above, no construction work shall be commenced thereafter unless and until EPC determines the minimum safe limit of approach distance in relation to the overhead facilities present at the project site.

****NOTE:** This letter provided by ENMAX Power Corporation is intended for information purposes only and is not in any manner intended to nor shall be construed to derogate from applicant's obligations to follow any applicable law. The provision of this no-conflict letter is not a representation that work will meet any legislative or regulatory obligations. This no-conflict letter is provided as of the date first noted above – the applicant is still required to perform their own due diligence prior to any development activities and resolve any conflicts (new or existing) at the Developer's sole expense. ENMAX expressly disclaims any liability related to applicant's responsibility to comply with such laws and regulations and ENMAX's required setbacks.

If you require any additional information regarding this Development Permit, please contact the Project Administrator at EPC_Permits@enmax.com. **For new services inquiries, please contact ENMAX GetConnected at GetConnected@enmax.com.**

Sincerely,

Marcelo Singson P.Eng
Distribution Engineering

QR Code for ENMAX Ground
Disturbance Guidelines

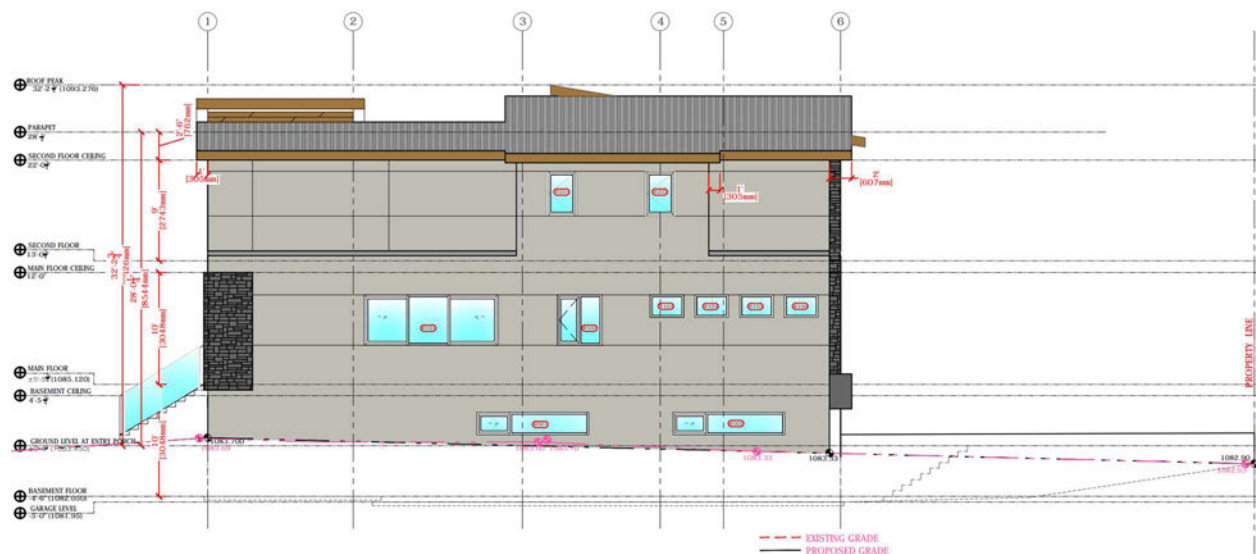


SDAB2024-0080

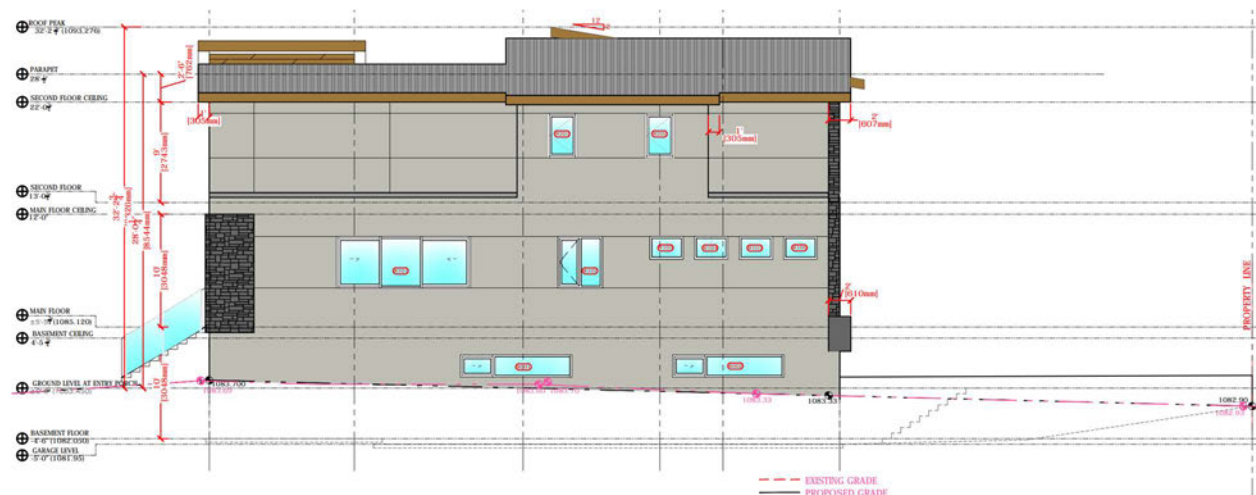
DP2023-01121 DMAP Plans Submitted 2023-04-21 – South Elevation



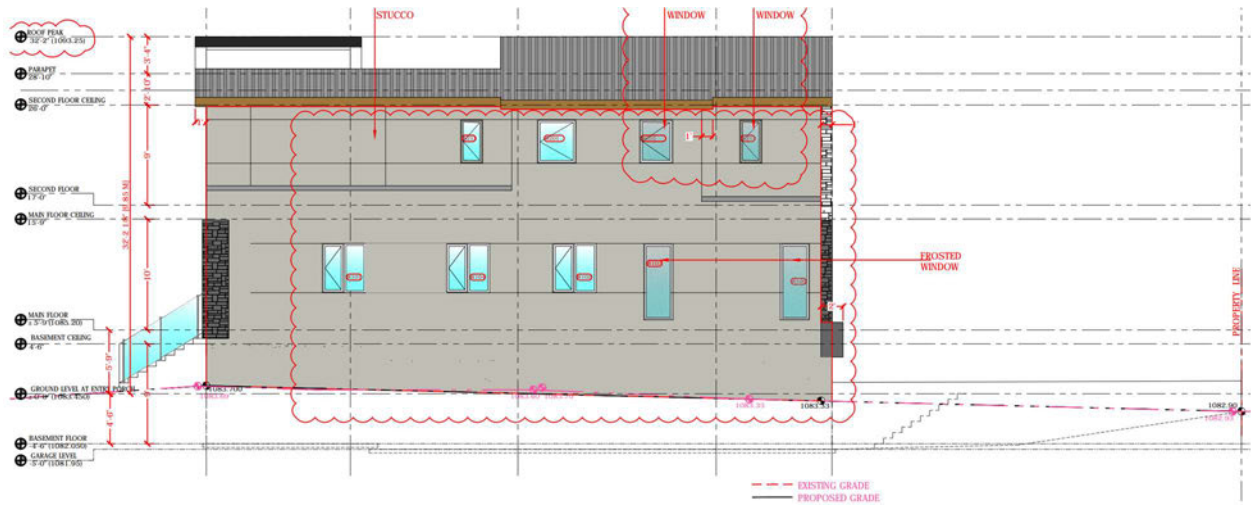
DP2023-01121 DMAP Plans Submitted 2023-06-15 – South Elevation



DP2023-01121 DMAP Plans Amended-2023-07-17 – South Elevation



DP2024-05405 DMAP Plans Submitted 2024-07-23 – South Elevation



3204 plans comments LC 20240815

WINDOWS (S WALL)

Layout of windows and doors outlined in plans submitted 15 months ago have evolved steadily:

- 21 April 2023: 12 windows on South wall, overlooking 3208's home and garden
- 15 June 2023: 10 windows
- 17 July 2023: 10 windows

The last plan was approved by the City.

The Developer's unilateral decision to install nine different, much larger windows, without further consultation and approval, is indicative of the Developer's disregard of prior consultations with the City, the community and neighbours. The Developer's decision will further reduce 3208's privacy and home value. The Developer's plan dated 23 July 2024 to install frosted film is hollow and worthless, as such films can be removed at any time in the future, by anyone.

Recommendation: City to ensure Developers change the building to match approved plans.

SECURITY

Over the last 2-1/2 years, the Developer has routinely and repeatedly damaged the neighbours' home, belongings, privacy and security of neighbours living at 3208 14 St SW. The Developer's workers have repeatedly damaged 3208's North wall and fence, which lie entirely within 3208's property. The Developer's excavations in late 2023 removed all of 3208's survey pegs and crossed 3208's property line to remove ~20-30 cu.m of 3208 land between the house and the back lane. The Developer has left equipment leaning against the fence, broken fence posts, and left equipment, tools and debris in 3208's garden. The Developer's personnel routinely and repeatedly climb over 3208's fence to place and to recover equipment and tools; when challenged they've resorted to intimidation and threats, resulting in Police intervention.

Recommendation: City to ensure Developers who don't respect neighbouring people and property are given less leeway than those who do.

OVERLAND WATER / DRAINAGE

The Development includes impermeable building and paved surfaces that are close to 10 times the size of the pre-existing Development. The risk of overland flooding will increase further by proposed grade changes. Existing issues include underground streams in the area.

In 2022, the Developer asked neighbours for permission to survey existing land and buildings. 3208's permission was contingent upon the Developer promising to share the information, the idea being to ensure the Developer's survey - particularly of grades - matched previous surveys of 3208's property. (This promise was never kept. A dozen other verbal and written promises made by the Developer have also been broken. In short, the Developer's neighbours have learnt not to trust the Developer's promises.)

The Developer's surveyors measured 3208's land on either side of 3208's North fence. They measured the elevation of the fence's base rail and adjacent raised beds, instead of the elevation of the base of the fence boards or the trenched gravel below the fence. The difference - 15-20 cm - is significant for the flow of surface waters.

To the North of 3208's North fence lay a trench filled with sandier soil covered in gravel. The design and grade of the trench was maintained over the last 20 years to ensure surface waters flowed west and east, away from 3208's house and garage towards 14 Street and the back lane. The Developer's decision to remove 3208's trench, soil and gravel from 3208's property in late 2023 was unilateral and arguably can be called theft. The Developer partially-filled the excavation in 2024 with sterile clay, which won't allow surface waters to soak deeper below grade, which increases the neighbours' concerns.

Snow clearance from the back-lane driveway leading to the Developer's underground garage is another unresolved concern.

Recommendation: City to ensure the Developer resurveys pre-existing grades and submits a drainage plan for approval by the City, to ensure neighbouring people and property aren't adversely affected by fresh developments.

GASES, NOISE

The locations of HVAC and cleaning systems, vents and other external components are not clear. Although noxious gases and noise are inevitable, they will be significantly higher than for previous structures.

Recommendation: City to ensure that the placement and operations of HVAC and cleaning systems are placed so as not to adversely affect neighbours, i.e.: located facing 14 Street SW and/or Joliet Avenue SW.

From: [Roy Wright](#)
To: [DP Circ](#)
Cc: [Bronson, Daniel J.](#)
Subject: [External] RE: Electronic Submission for DP2024-05405 - 1425 JOLIET AV SW
Date: Wednesday, August 14, 2024 4:16:49 PM
Attachments: [1425 Joliet Ave SW DP response.pdf](#)

This Message Is From an External Sender

This message came from outside your organization.

ATTENTION: Do not click links or open attachments from external senders unless you are certain it is safe to do so. Please forward suspicious/concerning email to spam@calgary.ca

Hi everyone;

I have attached our MRCA submission regarding the associated DP and have included it on the DMap as well. Many thanks.

From: DP.circ@calgary.ca <DP.circ@calgary.ca>
Sent: Friday, July 26, 2024 11:01 AM
To: DP.circ@calgary.ca
Cc: daniel.bronson@calgary.ca
Subject: Electronic Submission for DP2024-05405 - 1425 JOLIET AV SW

logo



A **Development Permit** application has been submitted for **Revision: Single Detached Dwelling (change to DP2023-01121)** to The City of Calgary.

Councillor's Offices, *please note that this circulation has been provided for your information only.*

For all other circulation referees,

Please review the attached circulation package or view the plans online through the [Development Map](#). We kindly ask that you submit your comments through the Development Map. Comments for DP2024-05405 are **due by August 16, 2024**. If the application is for a Permitted use and you are unable to comment through the Development Map, please send comments to the Circulation Team at DP.circ@calgary.ca.

To better understand how to use our online comment form, we have attached a guide,

Submitting Comments Online.

As a circulation referee, you provide valuable input on the applications in your area. Submitting comments through the Development Map helps streamline the application process and increases our ability to post plans online. The work to update plans on the Development Map means that more residents of the City of Calgary will be able to explore proposed developments.

Sincerely,

The Circulation Team

DP.circ@calgary.ca

NOTICE -

This communication is intended ONLY for the use of the person or entity named above and may contain information that is confidential or legally privileged. If you are not the intended recipient named above or a person responsible for delivering messages or communications to the intended recipient, YOU ARE HEREBY NOTIFIED that any use, distribution, or copying of this communication or any of the information contained in it is strictly prohibited. If you have received this communication in error, please notify us immediately by telephone and then destroy or delete this communication, or return it to us by mail if requested by us. The City of Calgary thanks you for your attention and co-operation.



Virus-free www.avast.com



August 14, 2024

Dear Circulation team;

Re: DP2024-05405 (1412 Joliet Ave SW)

I am writing on behalf of the Mount Royal Community Association Planning and Development Committee (PDC) regarding DP2024-05405 (1425 Joliet Ave SW/3204 14th St. SW). The PDC distributed notices to neighbours advising them of a meeting to be held on August 12 at the community hall to review the new application of the partially built house. The applicant, the owners and four neighbours attended, along with members of the PDC. (One PDC member recused himself and attended as a directly impacted neighbour).

There have been a number of changes to the structure that have already been introduced that differ from the original approved DP2023-01121. Some changes, such as a slightly reduced height did not cause any concern, while others such as the south elevation window changes did indeed run counter to what was originally approved.

The south elevation window changes were particularly troublesome. Those windows were originally the subject of multiple meetings and emails with the owners and neighbours, and all agreed with the final decisions. (Figure 1) However, the changes, already installed as of August 12, run counter to that agreement and the original approval. The windows have increased to six full size windows (with four frosted), while the original contained four transom windows on the main floor plus two larger windows on the second floor further to the west. The present overview situation is unacceptable (Figure 2), especially given the “frosted” windows are presently clear glass with the promise they would be covered with a plastic covering to make them appear frosted. The PDC strongly recommends the original size, location and types of windows originally approved, and also negotiated as neighbours be incorporated as the final south elevation design.

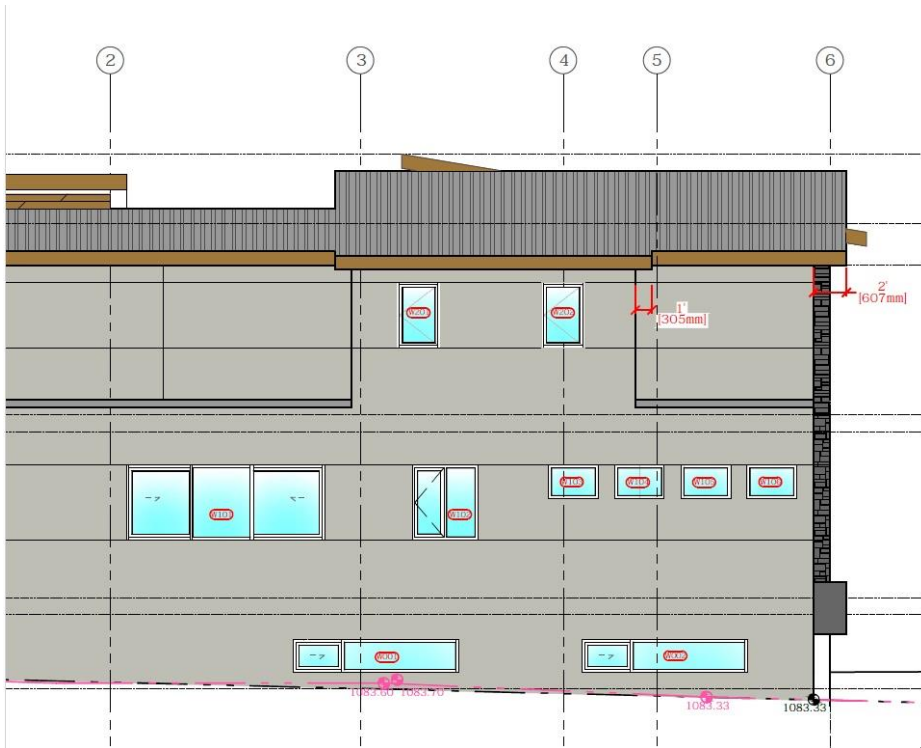


Figure 1- original south elevation



Figure 2- August 12, 2024 view of south facing windows from neighbour property

The second issue, which was raised in our original PDC letter of 2023 dealt with water management and overland drainage, especially as it applies to the narrow setback to the house to the immediate south. There does not appear to be any plans, nor any were offered up at the meeting to address this issue. The PDC recommends the Approving Authority specify how that issue, including materials, gutter direction and other tactics to minimize overland flow from the now increased parcel coverage become a condition of approval

The third issue addresses fencing/property edge. There are plans to create a 1.2 m fence along the 14th St. edge of the property, which was acceptable to all. There was some question as to whether that fence would continue around the corner to Joliet. The owner indicated he may not build it at present, but it was pointed out it was indeed part of the development permit and needed to be completed before a development completion certificate could be issued. Given the owner has switched the entry to the house to Joliet, it is even more important in the minds of the PDC that a public sidewalk be constructed from the existing sidewalk on 14th St. The owner was of the belief it is the City responsibility, but the PDC is of the view it needs to be built and that the City and the owner can determine who is responsible. Once again, that issue should be part of the prior to approval conditions.

Lot coverage has increased with enclosing the patio on the west elevation and the addition of a roof over the front entry with a post to the entry landing. (Figure 3) I also think there is a potential issue with the projection of this roof over the required side yard being more than 600mm. Below is an image from the original DP. The corner balcony, circled in green was enclosed and was not that noticeable. As it is being finished now, it is completely open with what I assume will be a glass railing. The green rectangle area below, which was originally shown as a raised patio/deck is now fully enclosed with proposed garage doors on the 14th street elevation. This will not be an attractive feature for the street frontage.

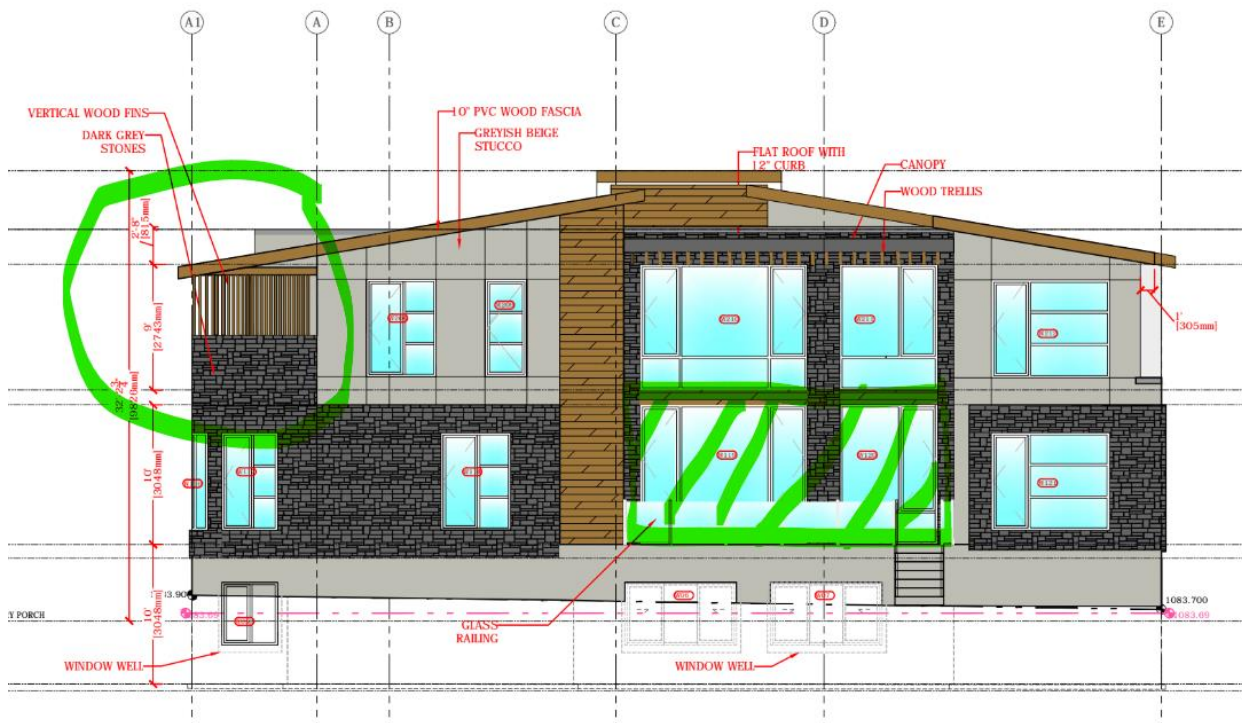


Figure 3- Lot coverage areas presently not included in calculations

Lastly, the present drawings included as part of the circulation package appeared to be missing information such as clarity of property lines, general notes including lot coverage (to be updated with patio information) and the survey line along the eastern boundary by the lane that has changed. The applicant indicated he would update the drawings and we presume re-submit them to form part of the official package.

In closing, the PDC, appreciates the Approving Authority considering our comments for the above noted application.

Yours truly

Roy Wright RPP, MCIP

Co-Chair- PDC

Cc: PDC, President MRCA, CA Ward 8



NOTICE

Mount Royal Community Association Development Review Committee (DRC)

The following matter will be reviewed by the
MRCA Development Review Committee.

3204 14th Street SW DP# 2023-01121

Reason: New Single Detached Dwelling, Secondary Suite (basement)

As an adjacent, possibly affected neighbour of the proposed development you are invited to view and comment on the application. The purpose of this notice is to facilitate understanding and communication between neighbours and the applicants. We are hosting a Zoom meeting where neighbours and the applicant will be invited. Please register for the meeting or to obtain the electronic drawings by contacting Bryan Clarke at clarkebryan@me.com The virtual meeting is scheduled for March 15 starting at 7:00 pm. You can also respond directly to the City and comments should be submitted by March 20, 2023.

If you have questions concerning the proposal or our review process please do not hesitate to contact Roy Wright: (403) 607-8486 roywright@shaw.ca

Note: The neighbourhood was developed with restrictive covenants affecting the lots, typically per block. A restrictive covenant is a private contract between landowners that is registered on title to each property affected. The CPR RC included prohibitions related to the properties in the neighbourhood, such that they were only to be used for residential use with single family homes and 25-foot setbacks. Each property owner should consult their title and neighbouring titles if they wish to enforce the restrictive covenant. The City is not responsible for the CPR RC and only parties to the CPR RC can enforce it. As an owner, you should seek legal advice if you are interested or have concerns. The Mount Royal Community Association is not providing legal advice, and is not party to the CPR RC.

Development Review Committee Mount Royal Community Association

*Roy Wright, John Hripko, Robert Pashuk, Gillian Lawrence, Bryan Clarke,
Steve Kelly and Matti Lemmens*



August 14, 2024

Dear Circulation team;

Re: DP2024-05405 (1412 Joliet Ave SW)

I am writing on behalf of the Mount Royal Community Association Planning and Development Committee (PDC) regarding DP2024-05405 (1425 Joliet Ave SW/3204 14th St. SW). The PDC distributed notices to neighbours advising them of a meeting to be held on August 12 at the community hall to review the new application of the partially built house. The applicant, the owners and four neighbours attended, along with members of the PDC. (One PDC member recused himself and attended as a directly impacted neighbour).

There have been a number of changes to the structure that have already been introduced that differ from the original approved DP2023-01121. Some changes, such as a slightly reduced height did not cause any concern, while others such as the south elevation window changes did indeed run counter to what was originally approved.

The south elevation window changes were particularly troublesome. Those windows were originally the subject of multiple meetings and emails with the owners and neighbours, and all agreed with the final decisions. (Figure 1) However, the changes, already installed as of August 12, run counter to that agreement and the original approval. The windows have increased to six full size windows (with four frosted), while the original contained four transom windows on the main floor plus two larger windows on the second floor further to the west. The present overview situation is unacceptable (Figure 2), especially given the “frosted” windows are presently clear glass with the promise they would be covered with a plastic covering to make them appear frosted. The PDC strongly recommends the original size, location and types of windows originally approved, and also negotiated as neighbours be incorporated as the final south elevation design.

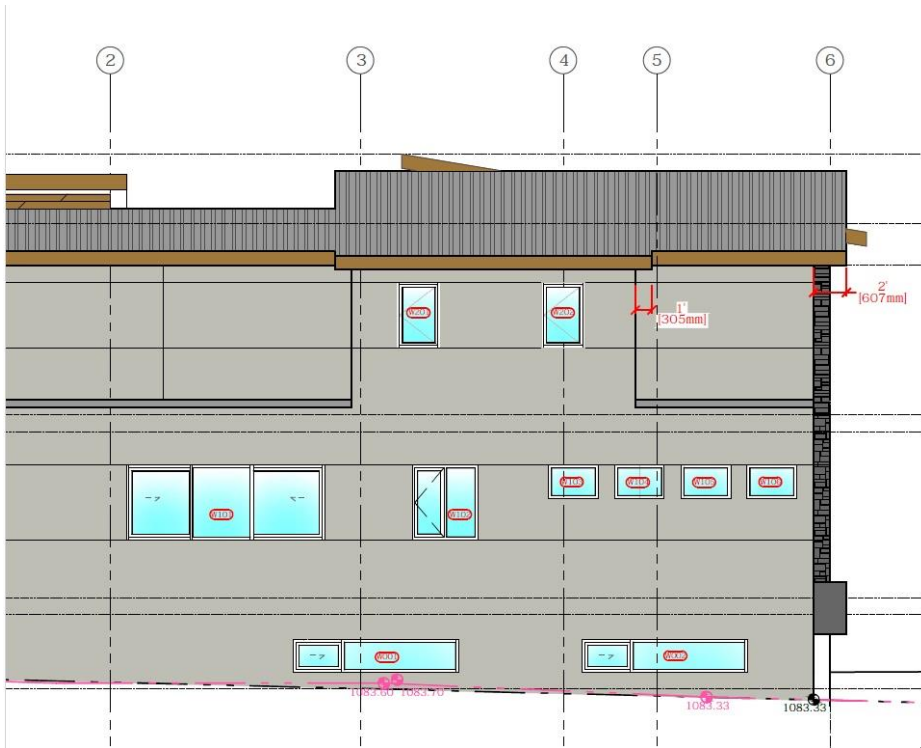


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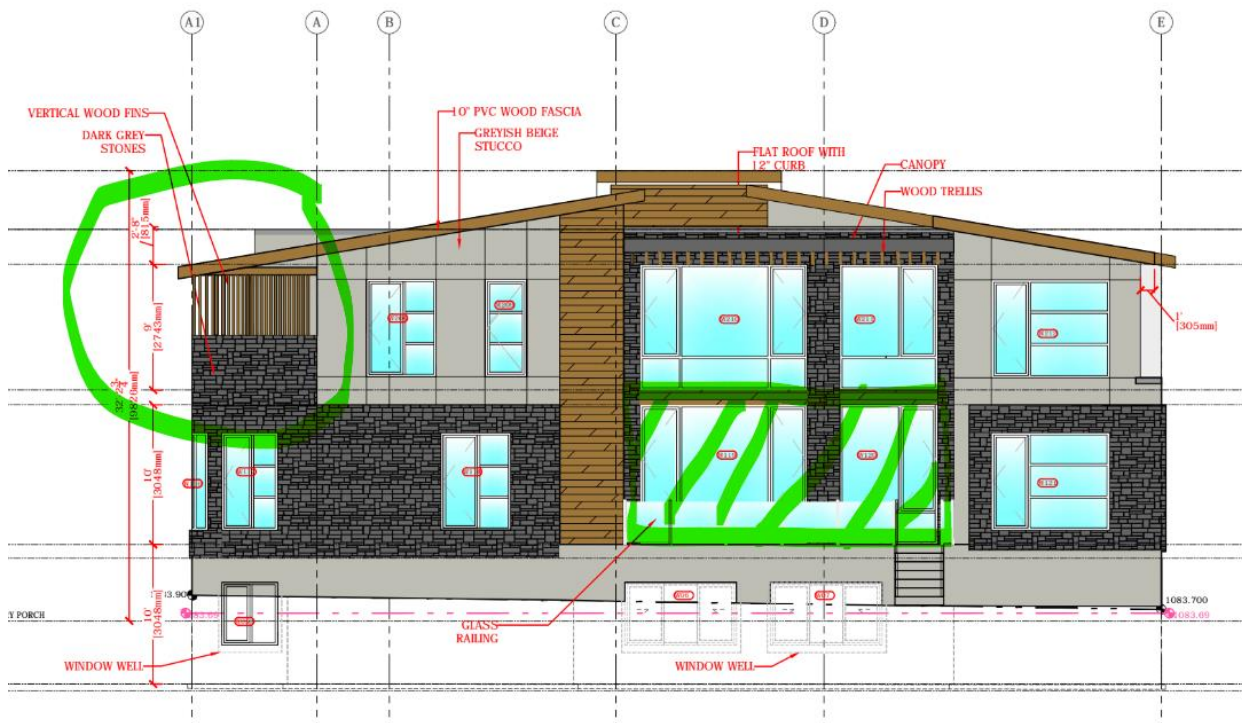


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In closing, the PDC, appreciates the Approving Authority considering our comments for the above noted application.

Yours truly

Roy Wright RPP, MCIP

Co-Chair- PDC

Cc: PDC, President MRCA, CA Ward 8

Comment Summary



Permit #: DP2024-05405
 Address: 1425 JOLIET AV SW
 Job Description: Revision: Single Detached Dwelling (change to DP2023-01121)

Name:	Sandra Paire	Created Date:	August 2, 2024
Phone:	[REDACTED]	Circulation Referee:	N
Email:	[REDACTED].ca	Number:	524923867
Address:	3208 14 st SW		
Overall:	In opposition of this application		

Area of Concern

Building (massing, façade, height, shadowing, etc.)
 Landscaping plans
 Environmental preservation
 Privacy considerations

Strengths / Challenges

The applicant and us went through this process when the applicant first applied for a DP permit (DP 2023-01121). we had extensive consultation, feedback was provided and a set of plan was approved.
 The applicant THEN decided to breach the understanding and build according to a different set of plans. The City inspectors obviously not enforcing the need to build as per approved plans, preferring to focus on "compliance with building code" instead. This is unacceptable to me as adjacent neighbor. The approved plans were already negatively impacting my property value and my privacy and my quality of life, but we accepted them. I do not accept any new plan to be approved so the developer, prime contractor and owner of the parcel next door can blatantly ignore the original approved plan and be granted new plans now that the building constructions is advanced.
 The building should comply with the plans approved under DP 2023-01121. Period.

Property Impact

The new proposed plans have windows, LARGE windows directly overlooking by back yard, infringing on my privacy. The building is taller than the approved plans allowed infringing my quality of life.
 Since July 2023, we have been asking for assurance that the grading of the ground between our 2 properties to be done properly, and that a rain / snow melt water management plan ensure that the water runs AWAY from our property; we never heard back! There is no assurance that this will be dealt with properly

Community Impact

this project does NOT match any of these community goals, especially:
 It is not a good urban design (it does not align with any architectural aspect in the neighborhood)
 It is not aim at a compact city: it is a sprawling structure.
 It does not align with a green city: most of the material use are of poor quality and there is no evidence that there will be any good landscape for water management, greenery, green energy....
 it does not contribute to a great community: the owner / prime contractor managed to alienate the neighborhood by breaking rules and norms every chance he gets during the construction project, and is completely dismissive of any conversation about boundaries, accountability and collaboration.

Surrounding Impact

This construction does not align with the look and feel of the community around it. The height and depth of the building decreased my property value, and my quality of life (invasion of my privacy, blocking sun light and view)

General Comment

The construction management has been challenging at best, breaking many safety rules most of the time. therefore there is NO TRUST that the prime contractor will abide by rules and rules are not imposed on them.
 see attached documents that explain what our position was then and now

Attachments

[SUPPORTING DOCUMENT - CIRCULATION COMMENTS - 3204 14th street SW - DP2023-01121 - Letter of appeal - v1.pdf](#)
[SUPPORTING DOCUMENT - CIRCULATION COMMENTS - 3204 14th street SW - DP2023-01121 - email to Cllr walcott.pdf](#)

Name:	John Coutts	Created Date:	August 12, 2024
Phone:		Circulation Referee:	N

July 28, 2023

Attn: File Manager

Development Permit DP2023-01121

3204 14 ST SW

UPPER MOUNT ROYAL

KTRAN DESIGN & DRAFTING

In Advertising

I live on 14 Street SW with my family, next-door to the parcel that's the subject of this Development Permit (**DP2023-01121**). As the neighbor most affected by this Development, we are appealing the decision to grant the permit based on the 4th version of DMAP plans submitted to date, which do not address our main concerns:

1. Height and depth of the proposed building which severely affect our privacy, access to natural light, quality of life and view.
2. Water drainage plan (not submitted or shared with us)

This outlined 2-storey Development breaches our neighbourhood's **contextual** balance between building, parking, drive and garden.

There is little "contextual" approach in this proposed plan as the architecture does not fit with the rest of the properties, the size of the house leaves very little green space for natural drainage of rain water and snow melt. We have shared our concerns with the owner of the proposed development (1), the community association (2) and the Senior Planning Technician (3).

The owner has reduced somewhat the size of the building to at least comply with the technicalities of the Area development plan. It took 3 attempt to just get to that point. The owners admit to wanting a large house, much larger than the one proposed – I would argue that perhaps a larger lot that can accommodate such large house should have been chosen, instead of a corner lot with utilities right of way restrictions which make building anything more than a bungalow or small 2-storey very difficult.

The community Association has understood our concerns, especially the water drainage issue, and has provided feedback to that effect. The agree that the building is not "contextual" with the surrounding, and snow/rain water drainage will be an issue, not just for our property but for 2 other properties down on Joliett Avenue.

The Senior Planning Technician has acknowledged receipt of our concerns but never kept us informed of further development on the file, decision made or whether or not our concerns have been addressed. We never received any information on the water drainage plan for example.

1. Height and depth of the proposed building which severely affect our privacy, access to natural light, quality of life and view.

The proposed building is much larger than all the other properties on the block. I understand that 14th street is one of the 24 "Main Streets" under consideration by City Council's Planning and Urban Design Committee for mixed-use development, including residential, commercial and retail development. Increased density along the Main Street corridors is something that needs to be considered. The proposed building is a massive single dwelling, going against an effort for higher densification along the main corridor.

The height of the proposed building is technically within acceptable limits. Our concerns is that the building is much deeper than the other properties along 14th street and does not respect the rear setback line of other buildings (see Figure 1).

Other houses on the block all align at the rear, ensuring access to natural light, and view for all to enjoy. The proposed building will block both for us and our other neighbours.

Our property will have a full 2+ Storey high wall along our north facing property line, almost twice as long as the width of our house. The proposed wall will have minimum 8 windows of various sizes directly overlooking into our garden, seriously infringing on our privacy (see Figure 2 and 3).

The height of this wall will block natural light on our garden as well as view, ensuring that we are "boxed-in" and the value of our property will decrease significantly as the use of the garden and quality of life will be affected.



Figure 1- 3204 rear alignment not respected



Figure 2 - current view north

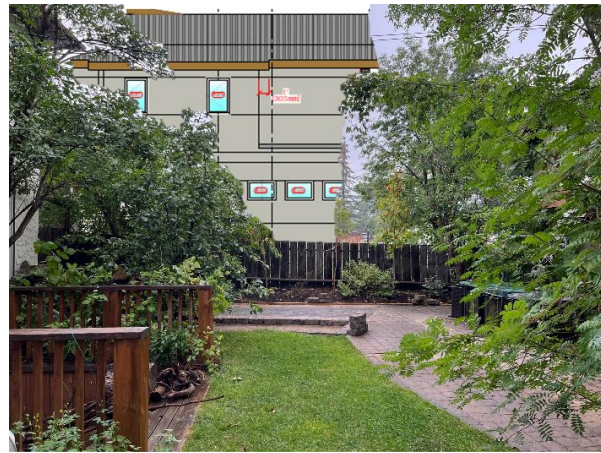


Figure 3 - view with proposed building.

2. Water drainage plan (not submitted or shared with us)

From the first proposed plan, we have raised the issue of water drainage that the proposed building will create. We have asked for assurance that this will be looked into and properly manage. After the review of the 3rd plan, we (the community association and us) have requested a water drainage plan. If such plan have been submitted, I have not been informed. I have not been informed that such a plan has been reviewed and will be effective.

The first issue is that the proposed building will be on slightly raised ground, forcing surface water that was previously either absorbed into the soil or running north to now run south directly into our property (see Figure 4- or drawing labelled “West Elevation” in the proposed plan v4.).



Figure 4 - proposed raised grade level

The second issue is that while rain water and snowmelt water are currently vastly absorbed by the soil on the ground throughout the parcel, the sheer size of the proposed building will seriously reduce the amount of water that the remaining grounds can absorb (see Blue area in Figure 5 & 6).

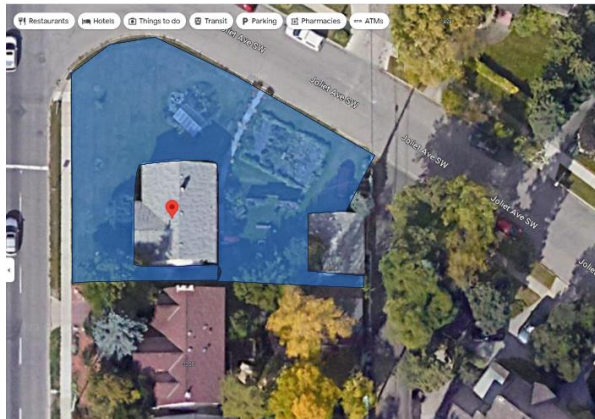


Figure 6 – Blue area absorbs water through ground.

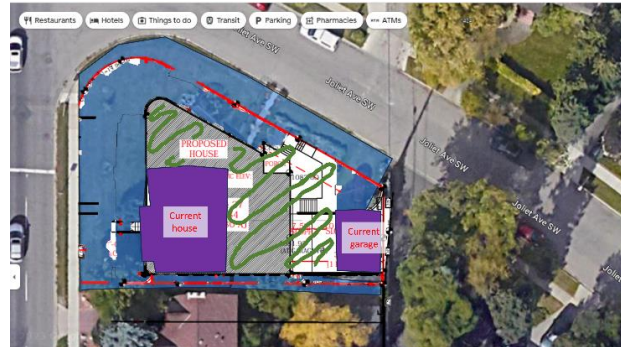


Figure 5 - The size of the proposed building reduces the area for water absorption. Green area = additional water to drain away current ground absorbing surface water (blue area)

Since less water will be absorbed through the soil, more water will accumulate on the roof and other covered areas and will need to be drained. The water will therefore follow the easiest path which will be south toward our property.

If the water is indeed captured and redirected through eavestrough toward 14th street, it will only accumulate at the corner of 14th street SW and Joliet Avenue. This currently happens after heavy rains and mostly in the spring when the snow melts and ice packs form over the storm drain at that corner. In the same fashion, if redirected toward Joliet Avenue, it will accumulate by the back alley and cause issues with the other houses.

Currently, if the neighbours do not clear their eavestroughs, a heavy rainstorm / hail storm like the one we had mid July 2023 creates surface flooding. We have installed sump pumps in order to mitigate the impact on our property. These are not designed to absorb the increased water that the new house is likely to generate. Furthermore, constant water infiltration due to poor water drainage management will likely damage our foundations. Since we have raised the issue several times PRIOR to construction; should we suffer from any flooding or damages due to poor water drainage management from 3204 parcel, we will take all actions necessary to have our property repaired and will seek compensation.

We are not opposed to a new construction. We only request that the development of a new Contextual Single Detached dwelling adhere to the set of rules that are restricted in size and placement based on the neighboring properties and cannot propose any relaxations of the Land Use Bylaw.

I believe the current property designation is R-C1, C standing for contextual.

According to the Land use Bylaw IP2007, "**contextual adjacent buildings**" means the two closest buildings to a parcel: (a) located on the same block face not separated by a street; (b) in the case of low density residential district where the building is on a parcel designated as a residential district; (c) and where the building is not an Accessory Residential Building. I understand that "Contextual" here relates to the new building **in the context of the existing building** adjacent to the parcel of land where it is located.

The building does not align with the current architectural look and feel of the block;

The buildings will extend far into long-established rear setbacks, blocking view and natural light.

Landscaping will affect sidewalks and utilities rights of way, although there is currently no mention of any landscaping plan for the much reduced green space left on the parcel.

There is (to our knowledge) no water drainage plan which is likely to have structural impact on our property

This will adversely affect the value of our family home, reducing it to land-value only. Our new neighbour will profit from our personal loss.

Please help us to ensure that this application is **amended to match pre-existing contextual balances** that have guided all previous developments to date along 14 Street SW.

Sincerely,

Sandra Paire

From: Sandra Paire <[REDACTED]>
Sent: Sunday, July 7, 2024 3:41 PM
To: Walcott, Courtney <Courtney.Walcott@calgary.ca>; EAWARD8 - Erin McCaffrey <EAWARD8@calgary.ca>
Cc: Schevenius, Madison <Madison.Schevenius@calgary.ca>
Subject: [External] Ward 8 constituent complaints re DP 2023-01121. serious concerns.
 Dear Councillor Walcott,

I hope this email finds you well.

I reach out to you as a constituent of Ward 8 with a serious issue regarding the development / building permit on the parcel adjacent to mine, and the lack of professionalism from the City building unit.

I live on 3208 14th street SW.

The parcel next to us (formerly 3204 14th st SW, now known as 1425 Joliett) is under construction for a single residential unit.

The development plan (DP 2023-01121) were discussed with the neighbour (permit applicant and prime contractor), the urban planning committee of the community and us, and verbally approved with the applicant. Yet, the construction that we see emerging is very different and a few serious issues were raised with the planning office. These issues are impacting not only our privacy, our quality of life but also the value of our property. These issues are listed below.

In May, I asked some simple questions to the City permit unit:

1. which exactly are the final approved plans?
 1. the ones the city gave me access to on May 15, and dated July 13, 2023? or the ones dates December 4, 2023 that were never shared with us or with the MRCA urban planning committee until recently?

The answers I received were dismissive and borderline unprofessional. In the meantime, the contractor is proceeding with a construction that does not comply with the approved development permit drawing.

Since the start of the demolition / construction process, our requests and complaints to the city through 311 or the development permit unit have been either ignored (not reply), dismissed (when an answer came, it was made clear to us by City administration employee that they will not provide information)

The developer is being allowed to build something that does NOT comply with the approved development plans. He is also being allowed to breach various construction requirements, something we flagged through 311 (no posting of building permit number, site not secured, parking infringement)

I regret to have to approach you with this issue but I feel that I have no where to turn.

Would you be able to help me get simple answers to the question above? I would also ask

1. why is a developer allowed to build when it is clear and blatant that he does not comply with the development permit?
2. why would a building permit deviate so much from the approved development permit, especially on issues that were flagged as having serious negative impact on the adjacent property?
3. why is a developer in your ward allowed to proceed with construction when the project manager is incapable of complying with basic administrative requirement (no building permit number posted properly on site) and safety requirement (electrical cable not secured, fence not secured...)

As FYI: see below the list of issues we have been trying to address and got very little feedback or resolution (today, the site is yet again unsecured, with a few homeless people taking shelter from the heat. last night, there was a fight by people on the site. I stopped calling 311 for this as I know I will yet be ignored.

1. On the South wall, the windows that are directly overlooking my property, my yard and the inside of my house, are much larger than what was discussed and approved with the prime contractor. This impact our privacy and is unacceptable. This was discussed at length with the prime contractor who agreed in July 2023 to install smaller windows. Yet, he proceeded differently.
2. The south elevation is also different in plans dated December 2023 from the plans which your office told me were the approved plans of July 2023. If the building and the grounds are set at a higher level than originally planned, our property will be impacted with all the ground water (rain, melting snow) running into our property and risking flooding our house. This is unacceptable. Should our property be impacted that way, I will be forced to look at legal action against the prime contractor and owner of 1425 Joliet, and against the City of Calgary for approving plans and constructions that put the adjacent property at risk of flooding, despite concerns having been raised MANY times ahead of the start of the constructions.
3. The height of the building seems to again be different from the plans of July 2023, which again would be unacceptable.

In addition, and to put some context around my requests above, I wanted to inform you of the following:

1. During the demolition of the bungalow that was originally on that parcel, our house has been damaged, items of value inside our house have been damaged (our house was repeatedly shaken).
2. Our fence is now broken due to the excavation work done during the building process. Soil from our property line have been removed endangering the structural integrity of our house and the required grading of the ground that we maintain carefully to prevent water infiltration into our house.
3. A crack appeared on our North wall (junction of the chimney and the wall).

4. Our safety (let alone privacy) has been compromised with people entering our property without our consent (surveyors came in unannounced and uninvited),
5. Objects have flown into our yard during the windy days of springs,
6. A child fell in the back alley because of the wet mud that is covering the tarmac,
7. Homeless people have been camping in the construction site, actively looking into our yard from over the fence,
8. People have been stopping in the back alley (blocking it) in order to use the porter potty, this made possible because the site is not secure.
9. Cars have had near misses when fences are not closed properly and encroach onto the back alley,
10. Neighbors driving through the back alley have had nails in their tires.
11. On May 15, we found a framing hammer laying next to a freshly killed bird on our patio. This is intimidating to say the least.

I am no architect so I can only trust that the City monitors this construction, and enforces the need for the building to comply with the set of approved plans which I understand to be the plans dated July 2023; The Planning and Development unit supervisor assured me they were the final plans. Anything different and impacting my property negatively is unacceptable.

Thank you for your consideration and I look forward to hearing from your office soon

Best regards

Sandra Paire

Email: [REDACTED]
 Address: 3203 Alfege Street SW
 Overall: Neither in support nor in opposition of this application

Number: 526895682

Area of Concern

Building (massing, façade, height, shadowing, etc.)
 Privacy considerations

General Comment

Dear City File Manager,

I am writing to express a number of concerns and questions about the plans for 3204 14 Street SW.

1. Concerns about the windows on the south side of the house. Specifically, the two frosted windows on the main floor at the east side of the south side of the house. These two windows should be removed and should be switched to the originally approved plan of having a thin horizontal window at the top of the main floor. The applicant/owner unilaterally deviated from the originally approved plan with the horizontal window and installed the two vertical windows instead. This change has caused significant distress to the neighbours directly to the south of the applicant/owner. The neighbours directly to the south stand to lose privacy if the two vertical windows are allowed to stay as they are currently installed. Considering the applicant/owner has already shown they are prepared to deviate from the approved plans, there is evidence that frosting the two vertical windows will not occur, or that the frosting will be removed after inspection. The owner/applicant should be forced to go back to the original plans from June/July/August 2023 where there was a horizontal window on the south side.
2. The house looks to be very tall. Is it possible to confirm the height is within the maximum height?
3. Could the city also please confirm that the lot coverage is within the maximum? The coverage with the covered patios looks like it might be over the allowable 45%.
4. Will the city be installing a sidewalk on the Joliet side of this property? Currently the sidewalk ends on 14th street and does not continue to the Joliet side. This means pedestrians must walk on the road and it is not safe - especially for kids. I believe the city should invest in installing a sidewalk on the north side of the applicant's property.

Thank you for listening to my concerns.

John Coutts

Attachments

Name:	Judy Galbraith	Created Date:	August 13, 2024
Phone:	[REDACTED]	Circulation Referee:	N
Email:	[REDACTED]	Number:	527174664
Address:	3214 14th ST.SW Calgary, AB T2T3V9		
Overall:	In opposition of this application		

Area of Concern

Privacy considerations

General Comment

Among many concerns with the construction of this house , the most significant to me is the addition of several larger

clear glass windows that allow a view of the back yards of several properties, mine included. And I live three house down! These windows were not part of the original approved plan we discussed with new owners last July/23. Last night, Aug 12/24, at a meeting with them, the owners refused to alter these unapproved additions, suggesting only that they would paste film over the windows. These windows are in violation of the development permit and their unsanctioned installation shows a complete disregard for our privacy.

Attachments

Name:	Roy Wright Mount Royal Community Association	Created Date:	August 14, 2024
Phone:	[REDACTED] 6	Circulation Referee:	Y
Email:	[REDACTED]	Number:	527622831
Address:	Circulation Referee No Address		
Overall:	Neither in support nor in opposition of this application		

Area of Concern

Other

General Comment

Plse see attached PDF

Attachments

[SUPPORTING DOCUMENT - CIRCULATION COMMENTS - 1425 Joliet Ave SW DP response.pdf](#)

Name:	Les Corper	Created Date:	August 15, 2024
Phone:	[REDACTED]	Circulation Referee:	N
Email:	[REDACTED]	Number:	527961801
Address:	3208 14 st SW		
Overall:	In opposition of this application		

Area of Concern

Building (massing, façade, height, shadowing, etc.)

Landscaping plans

Environmental preservation

Privacy considerations

General Comment

This process has started in 2023 and it is the second DP associated with this owner of the parcel.

I am in opposition of this new DP on several issues which are detailed in DOCUMENT ATTACHED, which I can only hope will be reviewed and taken into account more seriously than any complaints and reports we have made to the city to date.

Mainly:

Number and size of windows on the south wall

Overland water / drainage

Furnace exhaust, kitchen fan exhaust, noise

I also believe that a development permit is a contractual agreement; the contractor has decided to repeatedly break this contract by changing plans and is now asking for a new DP only because we, the neighbours, are only trying to make him comply with the original plans. I would like to understand WHY a new DP is required when one was already approved.

In addition to the DP issues, we have witnessed and been impacted by many safety issues during the demolition / construction process carried out by the various work crews on the site, from inconvenience of having trucks parked in front of our garage (and refusing to move) to garbage, dead bird and hammer thrown into our backyard, and the latest

being a couple of workers trespassing and refusing to leave my property to the point my wife felt threatened and called the police (case number available upon request). We have seen no building permit signed EVER posted at the site (despite having reported this to the city a few times, the demolition process was started with no safety fence around the site (they appeared only after we reported it, the fence has never been secured, wires are dangling, blowing in the wind, the electric box is wide open, with some kind of a wood frame loosely hanging around it, its door flapping in the wind. Homeless people have sheltered on the site, dogs have been loose on the site, chasing neighborhood kids on bicycle (not aggressively, but scaring the kids). I also had a construction worker coming to my door at end of shift, asking me to report the site to OHS for safety concerns; this is now in progress.

I understand that these construction issues will not be taken seriously in this process although I believe they speak to the carelessness and disregard of the rules by the prime contractor of this DP.

Attachments

[SUPPORTING DOCUMENT - CIRCULATION COMMENTS - 3204 14th street SW - DP2024-05405 - objection by Les Corper.pdf](#)

[SUPPORTING DOCUMENT - CIRCULATION COMMENTS - DP2024-05405 - 1412 Joliet Ave SW - plans x4.pdf](#)

Name:	Sandra Paire	Created Date:	August 16, 2024
Phone:	[REDACTED]	Circulation Referee:	N
Email:	[REDACTED]	Number:	527962857
Address:	3208 14 st SW		
Overall:	In opposition of this application		

Area of Concern

Building (massing, façade, height, shadowing, etc.)

Landscaping plans

Environmental preservation

Privacy considerations

Site layout

Other

General Comment

In addition to my first submission of August 2, I would like to submit the following:

As per the City of Calgary Development Permit process, if a development permit is approved, applicant may proceed with the next steps of applying for a building permit & construction of the project in accordance with the approved plans and permit conditions. The City of Calgary may conduct inspections during the construction process to ensure compliance with the approved development permit.

I understand that "The City is responsible for ensuring the safety and health of all Calgarians, as well as determining and implementing the rules and regulations that help to create meaningful and highly valued spaces in our city. The City's Planning and Development department focuses on making certain that new developments align with the rules and regulations"

The fact that the latest construction plans and the actual building differ from the approved development permit suggest that the construction is not complying with the approved plans and permit conditions if any. A new development permit that reflects the changes made unilaterally by the prime contractor, without any basic, ethical and courteous consultation of the local urban planning committee or the adjacent neighbour is an obvious attempt by the applicant to bypass the process and dismiss the need to comply with the rules in place, therefore dismissing the role and responsibilities of the Planning and Development department.

I respectfully request that the applicant request for a new permit is declined and that the original permit DP 2023-01121 be maintained, and the applicant is made to comply with the original permit.

Attachments

Name:	ENMAX	Created Date:	August 16, 2024
Phone:		Circulation Referee:	N

Email: epc_permits@enmax.com

Number: 528132307

Address: 8820 52 St SE

Overall: Neither in support nor in opposition of this application

Area of Concern

Other

General Comment

No conflict with the nearby ENMAX facilities

Attachments

[SUPPORTING DOCUMENT - CIRCULATION COMMENTS - DP2024-05405-Reply Letter-2024-08-01.pdf](#)



The City of Calgary
Planning & Development Services

Development Authority Appeal Response

Appeal Number: SDAB2024-0080

Development Permit Number: DP2024-05405

Address: 1425 JOLIET AV SW

Description: Revision: Single Detached Dwelling (change to DP2023-01121)

Land Use: Residential – Grade-Oriented Infill (R-CG) District

Community: Upper Mount Royal

Identified Appeal Body:

Subdivision and Development Appeal Board (SDAB)

Development Authority Attendance: No

Use: Discretionary

Notice Posted: Completed as per Bylaw

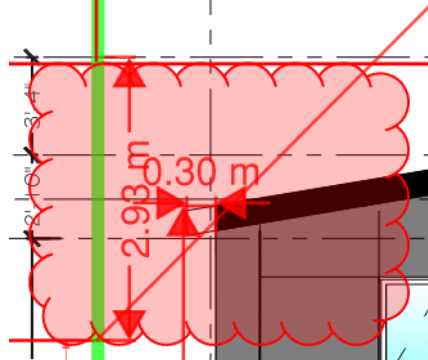
Public Response(s) Received? Yes, responses included in the Board Report

Applicable Planning Policies:

- Municipal Development Plan (MDP)
- Upper Mount Royal Area Redevelopment Plan
- The Low Density Residential Guidelines for Established Communities (Infill Guidelines)

Bylaw Relaxations:

The development requires the following Land Use Bylaw relaxations:

Regulation	Standard	Provided
53 Required Setbacks	(1) The Development Authority must not relax the required setbacks referenced in Table 1 below: 14 STREET W. (FROM ROSELAWN CRESCENT N. TO 38 AVENUE S.) 5.182m Required	Plans indicate fences within the public realm setback.
337 Projections Into Side Setback Area	(1.3) Window wells may project a maximum of 0.8m into any side setback area.	Plans do not indicate the size of the window wells.
335 Length of Portions of a Building in Setback Areas (Side)	(2) The max. length of an individual projection into any setback area is 3.1m	
541 Building Height	(2) Where a building setback is required from a property line shared with another parcel designated with a low density residential district, the M-CG District or H-GO District, the max building height: (a) is the greater of: (i) the highest geodetic elevation of a main residential building on the adjoining parcel; (b) increases at a 45 degree angle to a max of 11.0m measured from grade.	Plans indicate the building is within the South height chamfer. 
535 Building Depth and Separation	(1) Unless otherwise referenced in subsections (2) and (3) the maximum building depth is 65.0%	Plans indicate the building depth is 72.04% (+7.04%) or 26.64m (+2.64m).

	of the parcel depth for a building containing a unit.	
540.1 Fences	The height of a fence above grade at any point along a fence line must not exceed 1.2m for any portion of a fence extending between the foremost front façade of the immediately adjacent main residential building and the front property line.	Plans indicate a 2.0m (+0.80m) fence between the West property line and the front façade of the building located on the adjacent parcel.

Additional Factors, Considerations, and/or Rationale:

1. Please see the Reasons for Approval.
2. In response to the notice of appeal:
 - a. Comments from the Community Association were received but not reflected within the Reasons for Approval. Please note the following additional information:
 - i. Community Association – Comments provided:
 - Objects to new windows on side
 - Concerned about drainage
 - Objects to increase to covered area on building (balconies)
 - ii. The above comments were addressed by the following:
 - The potential for overlooking is prevented by the use of obscured (frosted) windows.
 - Drainage concerns were addressed by Utility Engineering and resolved on amended plans.
 - Building mass (covered areas, including balconies) is very similar to original approval and does not create negative impacts to the neighbours or community.
3. The Development Authority may provide additional materials prior to the merits hearing.

From: [Rajesh Khatri](#)
To: [Calgary SDAB Info](#)
Cc: [Kevin Tran](#); rvkhatri@gmail.com
Subject: [External] FW: Notice of Hearing: SDAB2024-0080 (1425 Joliet Av SW, DP2024-05405)
Date: Tuesday, December 10, 2024 8:30:57 AM

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Hello SADB team,

I would like to confirm that myself (Rajesh Khatri, Applicant) and Kevin Tran will attend Dec 19 hearing to discuss, to support any argument if required, understand submission deadlines and future hearing dates.

We will not have our full written submissions to file yet as the SDAB report is not yet available online. However, we should be able to draft a preliminary response to the points highlighted by the appellant .

We will need time to review all materials and argument of the appellants before any written submissions can be prepared and to be a fair hearing.

Thank you.

Rajesh

403-870-6082

From: Calgary SDAB Info
[<Info@calgarysdab.ca>](mailto:Info@calgarysdab.ca)
Date: December 5, 2024 at
 12:57:23 PM MST
To: Calgary SDAB Info
[<Info@calgarysdab.ca>](mailto:Info@calgarysdab.ca)
Subject: Notice of Hearing:
SDAB2024-0080 (1425 Joliet Av
SW, DP2024-05405)

Hello,

Please see the attached documents pertaining to the upcoming Procedural & Jurisdictional hearing for

SDAB2024-0080.

If you wish to participate in the hearing, you may do so by visiting our website at

www.calgarysdab.ca
[\[calgarysdab.ca\]](http://www.calgarysdab.ca).

The video conference link, phone in number and access code are located at the bottom of our homepage and are also available on the Upcoming Meetings page.

Thank you,

SDAB Admin

Municipal Boards & Governance

Office: 4th Flr, 1212 31 Avenue NE

Mail: PO Box 2100, Station M, MC

#8110 | Calgary, AB T2P 2M5

General Phone Line: 403.268.5312 |

calgarysdab.ca

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From: [Sandra Paire](#)
To: [Calgary SDAB Info](#)
Subject: [External] Appeal number SDAB2024-0080
Date: Tuesday, December 10, 2024 5:44:38 PM

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As owner of the adjacent property, I will be participating in this appeal.

My name. Sandra Paire

My address. 3208 14 street sw. T2T3V9

My email. pairendra@yahoo.ca.

My tel# 4032448086

Note

The notice of hearing is dated Dec. 5.

I received the notice of hearing today (Dec. 10) end of day.

I wish to submit material but submission deadline was today 4 pm, after I received the notice. Please extend deadline and confirm new deadline so I can prepare and submit evidence and written argument within a reasonable timeframe.

Best regards,
Sandra Paire

Sent from my iPad

AMENDED DRAWINGS

DP No

DP2024-05405

Date Received

NOV 07 2024

THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

CUSTOM HOME RESIDENCE
3204 14TH STREET SW CALGARY
RE-ISSUED FOR BUILDING PERMIT



PROJECT

CUSTOM HOME RESIDENCE

STAMP

ISSUED:

NO.	ISSUE	DATE
1.	ISSUED FOR DP	07-13-2023
2.	ISSUED FOR BP	09-22-2023
3.	RE ISSUED ELEVATIONS FOR BP	05-24-2024
4.	RE ISSUE FOR DP	09-07-2024
5.	RE ISSUE FOR BP	08-24-2024
6.	RE ISSUE FOR BP	09-08-2024
7.	RE ISSUE FOR BP	11-05-2024

CONCEPT & BUILDER:



DRAWING LISTS:

ARCHITECTURAL

A.00	COVER PAGE
A.01	GENERAL NOTES
A.01A	BUILDING COVERAGE
A.02	EXISTING SITE PLAN
A.03	PROPOSED SITE PLAN
A.04	SITE ELEVATIONS
A.05	BASEMENT PLAN
A.06	MAIN FLOOR PLAN
A.07	SECOND FLOOR PLAN
A.08	ROOF PLAN
A.09	NORTH ELEVATION
A.10	SOUTH ELEVATION
A.11	WEST ELEVATION
A.12	EAST ELEVATION
A.13	SECTION 01
A.14	SECTION 02
A.14A	SECTION 03
A.15	WINDOW SCHEDULE
A.16	WINDOW SCHEDULE AND ELEVATIONS
A.17	DOOR SCHEDULE
A.18	DOOR SCHEDULE AND ELEVATIONS
A.19	DETAILS

STRUCTURAL

S.01	FOUNDATION PLAN
S.02	MAIN FLOOR FRAMING PLAN
S.03	SECOND FLOOR FRAMING PLAN
S.04	ROOF FRAMING PLAN

ELECTRICAL

E.01	BASEMENT ELECTRICAL PLAN
E.02	MAIN FLOOR ELECTRICAL PLAN
E.03	SECOND FLOOR ELECTRICAL PLAN

DRAWING INFORMATION:

CLIENT:
ADDRESS: 3204 14th STREET SW
LOCATION: CALGARY
DRAWN BY: KT
LEGAL PLAN: PLAN 7080 AJ , BLOCK 84,
LOTS 26 & 27

DRAWING NO: 00
DRAWING TITLE: COVERPAGE
SHEET: A.00
SCALE: NTS
REV. 0

AMENDED DRAWINGS

DP No: DP2024-08405
Date Received: NOV 07 2024

THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

THE FOLLOWING NOTES ARE APPLICABLE TO ALL DRAWINGS AND PERTAIN WITHIN THE SCOPE OF WORK DOCUMENTATION

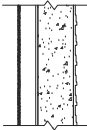
1. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ELECTRICAL AND MECHANICAL ENGINEERING DRAWINGS AND SPECIFICATIONS. IT IS THE FULL RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CONTACT THE DESIGNER IN THE EVENT OF A DISCREPANCY BETWEEN THE CONSULTANTS DOCUMENTATION AND THAT OF THE DESIGNER FOR RESOLUTION PRIOR TO CONSTRUCTION / INSTALLATION. THE DESIGN DRAWINGS SHALL TAKE PRECEDENCE OVER THE ELECTRICAL AND MECHANICAL DRAWINGS.
3. ALTHOUGH PRESUMED TO BE ACCURATE, THESE DRAWINGS ARE NOT TO BE SCALED. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE. THE CONTRACTOR SHALL VERIFY, COORDINATE AND BE RESPONSIBLE FOR ALL DIMENSIONS ON THE JOB SITE. DIMENSIONS REQUIRING SITE MEASUREMENT SHALL BE CONFIRMED PRIOR TO PROCEEDING WITH WORK.
4. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS AND INSPECTIONS REQUIRED BY CALGARY AND THE PROVINCE OF ALBERTA
5. ALL WORK TO BE IN COMPLIANCE WITH THE LATEST EDITION OF THE ALBERTA BUILDING CODE 2019
6. THE GENERAL CONTRACTOR SHALL EXAMINE THE SITE PRIOR TO SUBMITTING TENDERS AND INCLUDE FOR ALL WORK NECESSARY FOR A COMPLETE INSTALLATION AS REQUIRED BY THESE THE CONTRACT DOCUMENTS. ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND THE SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER IMMEDIATELY. FAILURE TO NOTE SITE CONDITIONS AND MAKE SUITABLE ALLOWANCES FOR SAME IN TENDER WILL IN NO WAY JUSTIFY A CLAIM FOR ADDITIONAL CHARGES OR COMPENSATION.
7. THESE CONTRACT DOCUMENTS ARE DIAGRAMMATIC IN NATURE AND ARE FURNISHED TO ESTABLISH SCOPE, MATERIAL, QUANTITIES, AND DESIGN INTENT. THE DOCUMENTS ARE NOT DETAILED INSTALLATION DRAWINGS. MINOR DETAILS USUALLY NOT SHOWN OR SPECIFIED AND ANY INCIDENTAL ACCESSORIES REQUIRED FOR PROPER INSTALLATION OF THE DESIGN ARE TO BE INCLUDED IN THE WORK AND ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND THEIR SUB-TRADES.
8. ALL CONSTRUCTION AND MATERIALS SHALL BE OF THE HIGHEST QUALITY AND CONFORM TO ACCEPTED INDUSTRY/TRADE STANDARDS FOR BEST QUALITY DESIGN AND CONSTRUCTION. ALL MATERIALS SHALL BE INSTALLED TO MANUFACTURER'S SPECIFICATIONS. ANY MATERIALS NOT SPECIFIED SHALL BE THE MOST SUITABLE FOR THE INTENDED PURPOSE.
9. THE GENERAL CONTRACTOR TO PROVIDE TO THE OWNER/TENANT WRITTEN MAINTENANCE INSTRUCTIONS FOR ALL NEW MATERIALS AND EQUIPMENT SUPPLIED.
10. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT THE DELIVERY TIME OF THE SPECIFIED MATERIALS DO NOT CAUSE A DELAY IN THE SCHEDULED COMPLETION OF THE PROJECT.
11. ANY WORK THAT CAN BE DEEMED DISRUPTIVE OR NOISY TO OTHER TENANTS, SHALL BE UNDERTAKEN AFTER HOURS. COORDINATE WITH LANDLORD AND/OR TENANT FOR SPECIFIC HOURS. ALLOWANCE FOR ALL AFTER HOURS WORK OR SCHEDULING TO BE INCLUDED IN BASE BID.
12. PROVIDE A SLIP JOINT AT THE TOP OF FULL HEIGHT WALLS WHICH MEET THE FLOOR SLAB ABOVE, TO ALLOW FOR 1" SLAB DEFLECTION.
13. SUPPLY AND INSTALL SOLID WOOD INTERNAL BLOCKING IN ALL WALLS TO RECEIVE WALL MOUNTED MILLWORK, EQUIPMENT AND OTHER OBJECTS FASTENED TO THE WALL.
14. THE CONTRACTOR IS TO REPAIR ALL DAMAGE TO WALL, FLOOR OR CEILING CAUSED BY THE CONSTRUCTION OR BUILD OUT OF THIS SPACE.
15. THE GENERAL CONTRACTOR IS TO ENSURE THAT PROPER AIR BALANCING TAKES PLACE PRIOR TO OCCUPANCY.
16. ALL MILLWORK SHALL CONFORM WITH THE LATEST VERSION OF THE A.W.M.A.C. (ARCHITECTURAL WOODWORK MANUFACTURERS ASSOCIATION OF CANADA) STANDARDS GUIDE.
17. THE GENERAL CONTRACTOR IS TO KEEP ONE SET OF RECORD DRAWINGS ON SITE AT ALL TIMES.
18. THIS INDICATES FOR COMMERCIAL PROJECTS ONLY.
19. THE ROOF TRUSSES ARE TO BE DESIGNED BY A PROFESSIONAL ENGINEER AND FABRICATED BY A TRUSS SUPPLIER. SUPPLIER TO DO DRAWINGS FOR THE TOTAL ROOF AND VERIFY ALL DETAILS SHOWN ON THE DESIGNER'S DRAWINGS THE ROOF APPEARANCE MAY VARY.
20. ALL NAILING AND CONNECTIONS AS PER THE ALBERTA BUILDING CODE 2019.
21. INSTALL EAVESTROUGHING , DOWNSPROUTS AND EXTENSIONS, AS REQUIRED
22. ELECTRICAL, PLUMBING AND HEATING SYSTEM DESIGNED BY OTHERS
23. FACTORY-FIREPLACES ARE TO BE SUPERIOR CF3860 OR EQUIVALENT AND SHALL BE INSTALLED TO CONFORM TO ULC56100, ABC AND MANUFACTURER'S SPECIFICATIONS.
24. GRADES SHOWN MAY VARY ON SITE AND MAY ALTER THE APPEARANCE OF THE BUILDING
25. ANY ENGINEERING REQUIRED ON THESE DRAWINGS IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR/OWNER
26. SOIL BEARING IS ASSUMED TO BE MINIMUM OF 2,500 p.s.f. SOIL BEARING TO BE CHECKED BY THE GENERAL CONTRACTOR. CONSULT WITH A PROFESSIONAL ENGINEER IF THE SOIL BEARING IS LESS THAN 2,500 p.s.f. AND ALSO IF A PROBLEM SOIL EXISTS. THE FOUNDATION DESIGN MAY HAVE TO BE REVISE BY AN ENGINEER.

100

LOT INFORMATION:	BUILDING SITE COVERAGE:
MUNICIPAL ADDRESS: 1425 JOLIET AVE SW, CALGARY	LOT 26 & 27 : 8245.16 SQ.FT. = 766 SQ.M BUILDING AREA: 3,173 SQ.FT = 295 SQ.M
LEGAL PLAN: PLAN 7080 AJ, BLOCK 84, LOTS 26 #27	TOTAL COVERAGE: 38.5 %
PROPOSED USE: RESIDENTIAL - CONTEXTUAL ONE DWELLING	
LAND USE DISTRICT: R-C I	
SITE INFORMATION:	SQUARE FOOTAGE SUMMARY
SITE AREA(EXISTING) 8245.16 SQ.FT = 766 SQ.M	
MINIMUM SETBACK REQUIREMENT:	
FRONT YARD SETBACK: 3m	LIVABLE BASEMENT : 1,807 SQ.FT. = 168 SQ.M.
SIDE YARD SETBACK: 1.2m	LIVABLE FIRST FLOOR: 2,708 SQ.FT. = 252 SQ.M
REAR YARD SETBACK: 7.5m	LIVABLE SECOND FLOOR: 2,334 SQ.FT. = 217 SQ.M

MAXIMUM BUILDING HEIGHT
AVERAGE OF ROOF PEAKS = 1091.09
HIGHEST GEODETIC POINT AT THE CORNER = 1083.80
7.29
+1.50
8.79
1084.62
1093.41

MAXIMUM HEIGHT
HIGHSET AVERAGE BUILDING REFERENCE POINT + 1m
MAXIMUM HEIGHT PLANE 1084.62
1093.41



- WALL TYPE 1 (FOUNDATION WALL)
- PARGING
 - WATERPROOF MEMBRANE
 - 8" CONCRETE WALL
 - 1/2" AIRSPACE
 - 2X4 WOOD WITH
 - R12 BATT INSULATION
 - VAPOUR BARRIER
 - 1/2" GYPSUM BOARD



- WALL TYPE 2 (EXTERIOR WALL)
- BRICK OR STUCCO
 - WATER RESISTANT BARRIER & BUILDING MEMBRANE
 - 5/8" OSB PLYWOOD SHEATHING
 - 2X6 WOOD STUD @ 16" O/C
 - R-20 BATT INSULATION
 - GML POLY VAPOR BARRIER
 - 1/2" GYPSUM BOARD



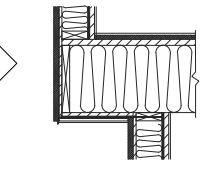
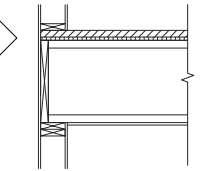
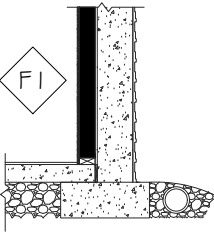
- WALL TYPE 3 (INTERIOR PARTITIONS)
- 1/2" GYPSUM BOARD
 - 2x4 WOOD STUD @ 16" o/c
 - 1/2" GYPSUM BOARD



- WALL TYPE 3 (INTERIOR PARTITIONS)
- 1/2" GYPSUM BOARD
 - 2x6 WOOD STUD @ 16" o/c
 - 1/2" GYPSUM BOARD

PERFORMANCE REQUIREMENTS NAFS
PROVINCE = ALBERTA CITY = CALGARY PRODUCT HEIGHT = 8.596M TERRAIN TYPE = OPEN
MIN. PERFORMANCE GRADE = 25 PG MIN. POSITIVE DESIGN PRESSURE = 1200 PA MIN. NEGATIVE DESIGN PRESSURE = 1200 PA MIN. WATER PENETRATION RESISTANCE TEST PRESSURE = 220 PA MIN. CANADA AIR INFILTRATION/ EXFILTRATION = A2

calculations based on AAMA/WDMA/CSA 1011.5, 21A440-06 (NAFS-08) AND
CSA A44051-09 WITH UPDATE NO. 1 (CANADIAN SUPPLEMENT TO NAFS-08)



- FLOOR TYPE 1 (BASEMENT FLOOR)
- UNFINISHED FLOOR AS SPEC UNDERLAY
 - MIN. 4" CONCRETE
 - 5-7% AIR ENTRAINMENT
 - MIN. 6" COMPACTED GRAVEL (MAX.2" DIAMETER ROCK)

- FLOOR TYPE 2(UPPER FLOOR)
- FINISHED FLOOR UNDERLAY
 - 5/8" T&G SUBFLOOR
 - 2X 12 WOOD JOIST @ 16" O/C
 - CEILING FINISH

- FLOOR TYPE 3 (CANTILEVERED EXPOSED FLOOR AND FLOOR RIM JOIST)
- FINISHED FLOOR UNDERLAY
 - 5/8" T&G SUBFLOOR
 - 2x12 COMPOSITE WOOD JOIST @ 16" O/C
 - 6" 2lb MEDIUM DENSITY SPRAY FOAM

- FLOOR TYPE 4(EXPOSED FLOORS ABOVE GARAGE)
- FINISHED FLOOR UNDERLAY
 - 5/8" T&G SUBFLOOR
 - 2x12 WOOD JOIST @ 16" O/C
 - R-31 BATT INSULATION (ALONG PERIMETER)
 - 1/2" GYPSUM BOARD



- ROOF TYPE 1 (GABLE ROOF)
- METAL ROOF
 - 1" X 4" WOOD STRAPPING @ 24" O.C.
 - BUILDING PAPER
 - 3/8" SHEATHING @24" O/C TO INTERIOR FACE # SIDE
 - R-40 BATT INSULATION
 - Gml POLY VAPOR BARRIER
 - 1/2" GYPSUM BOARD



- ROOF TYPE 2 (FLAT ROOF)
- ROOF SHEATHING
 - 10" POLYISO SLOPE INSULATION R5.7 PER 1" AT 2% SLOPE (5.5" TO 0") RVALUE 5.7 PER INCH
 - 2x16 19.2" o.c. COMPOSITE WOOD JOIST



- ROOF TYPE 2 (CATHERDAL ROOF)
- ROOF SHEATHING
 - R40 BATT INSULATION AT 2% SLOPE (5.5" TO 0") RVALUE 5.7 PER INCH
 - TRUSSES 2x17.75 IN FLAT TRUSS 24" o.c.



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6.	RE ISSUE FOR BP	09-08-2024
7.	RE ISSUE FOR BP	11-05-2024

CONCEPT & BUILDER:



DRAWING INFORMATION:

CLIENT:

ADDRESS: 3204 14th STREET SW

LOCATION: CALGARY

DRAWN BY: KT

LEGAL PLAN: PLAN 7080 AJ , BLOCK 84,
LOTS 26 # 27

DRAWING NO: 01

DRAWING TITLE: GENERAL NOTES

SHEET: A.01

SCALE: NTS

REV. 0

1 GENERAL NOTES
A.01

SDAB2024-0080

AMENDED DRAWINGS

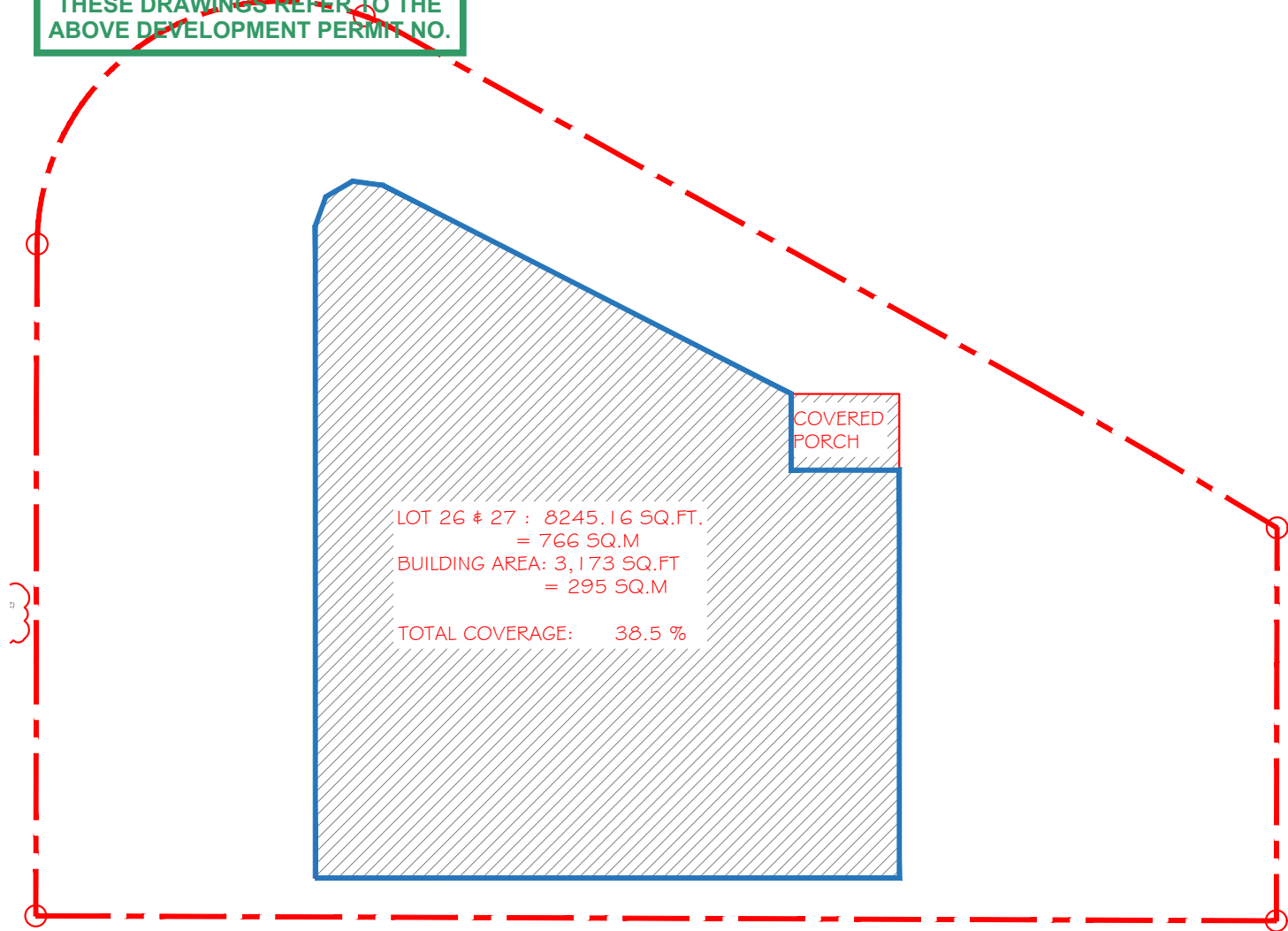
DP No

Date Received

DP2024-05405

NOV 07 2024

THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.



1 BUILDING COVERAGE
A.01A



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CONCEPT & BUILDER:



DRAWING INFORMATION:

CLIENT:
ADDRESS: 3204 14th STREET SW
LOCATION: CALGARY
DRAWN BY: KT
LEGAL PLAN: PLAN 7080 AJ , BLOCK 84,
LOTS 26 & 27

DRAWING NO: 01
DRAWING TITLE: BUILDING COVERAGE
SHEET: A.01A
SCALE: NTS
REV. 0

LIMITING DISTANCE

WEST ELEVATION

LIMITING DISTANCE

TOTAL ALLOWED

TOTAL ACTUAL

LIMITING DISTANCE

TOTAL ALLOWED

TOTAL ACTUAL

LIMITING DISTANCE

TOTAL ALLOWED

TOTAL ACTUAL

WEST ELEVATION

LIMITING DISTANCE

TOTAL ALLOWED

TOTAL ACTUAL

EAST ELEVATION

LIMITING DISTANCE

TOTAL ALLOWED

TOTAL ACTUAL

NORTH ELEVATION

LIMITING DISTANCE

TOTAL ALLOWED

TOTAL ACTUAL

LIMITING DISTANCE

TOTAL ALLOWED

TOTAL ACTUAL

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DP2024-05405 NOV 07 2024

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7.	RE ISSUE FOR BP	11-05-2024

CONCEPT & BUILDER:



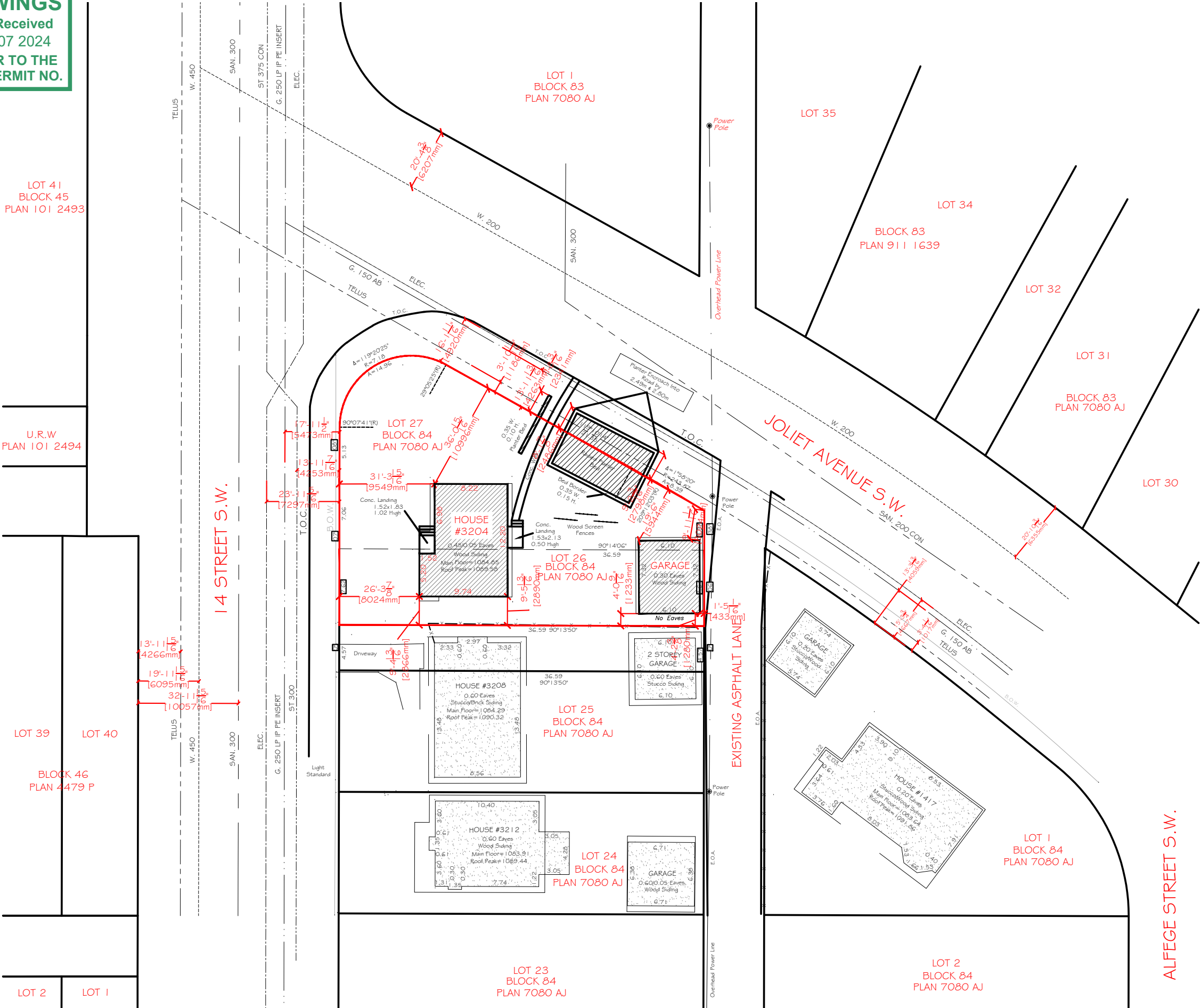
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CLIENT:
ADDRESS: 3204 14th STREET SW
LOCATION: CALGARY
DRAWN BY: KT
LEGAL PLAN: PLAN 7080 AJ , BLOCK 84,
LOTS 26 & 27

DRAWING NO: 02
DRAWING TITLE: EXISTING SITE PLAN
SHEET: A.02
SCALE: 1/32"= 1'0"
REV. 0

1
A.02
EXISTING
SITE PLAN

SDAB2024-0080



AMENDED DRAWINGS

DP No Date Received
DP2024-05405 NOV 07 2024

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7.	RE ISSUE FOR BP	11-05-2024

CONCEPT & BUILDER:



DRAWING INFORMATION:

CLIENT:
ADDRESS: 3204 14th STREET SW
LOCATION: CALGARY
DRAWN BY: KT
LEGAL PLAN: PLAN 7080 AJ , BLOCK 84, LOTS 26 & 27

DRAWING NO: 03
DRAWING TITLE: PROPOSED SITE PLAN
SHEET: A.03
SCALE: 1/32"= 1'0"
REV. 0

LOT 41
BLOCK 45
PLAN 101 2493

U.R.W
PLAN 101 2494

LOT 39 LOT 40

BLOCK 46
PLAN 4479 P

LOT 2 LOT 1

LOT 1
BLOCK 83
PLAN 7080 AJ

LOT 35

BLOCK 83
PLAN 911 1639

LOT 34

LOT 32

LOT 31

BLOCK 83
PLAN 7080 AJ

LOT 30

LOT 1
BLOCK 84
PLAN 7080 AJ

LOT 2
BLOCK 84
PLAN 7080 AJ

LOT 25
BLOCK 84
PLAN 7080 AJ

LOT 24
BLOCK 84
PLAN 7080 AJ

LOT 23
BLOCK 84
PLAN 7080 AJ

14 STREET S.W.

ALFEGE STREET S.W.

1
A.03
PROPOSED
SITE PLAN

SDAB2024-0080

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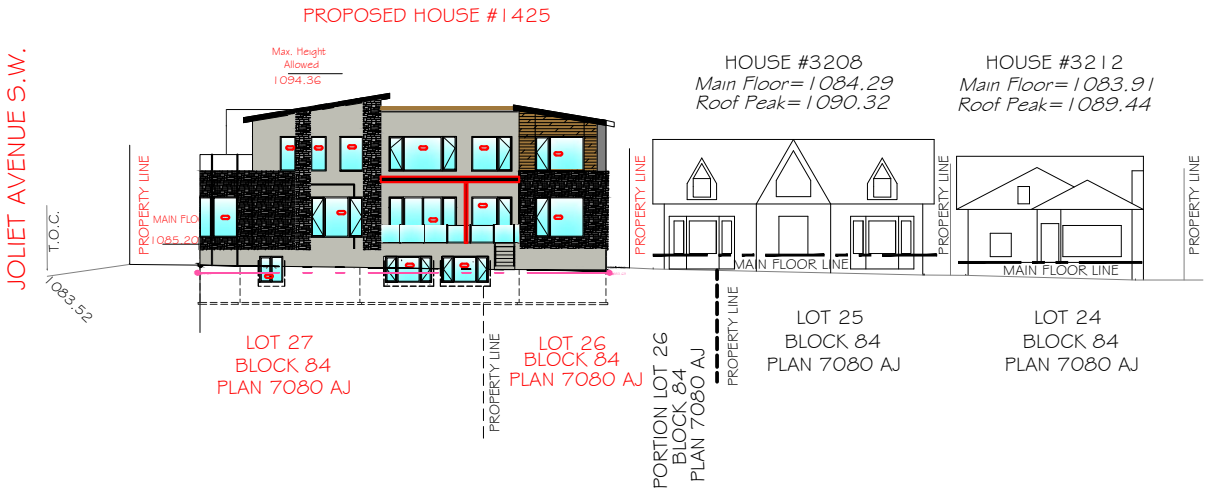
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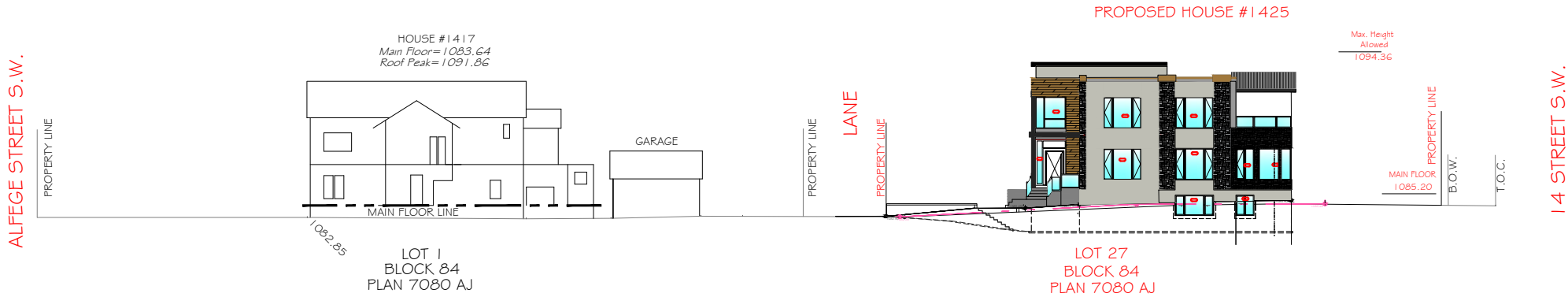
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CLIENT:
ADDRESS: 3204 14th STREET SW
LOCATION: CALGARY
DRAWN BY: KT
LEGAL PLAN: PLAN 7080 AJ , BLOCK 84, LOTS 26 & 27

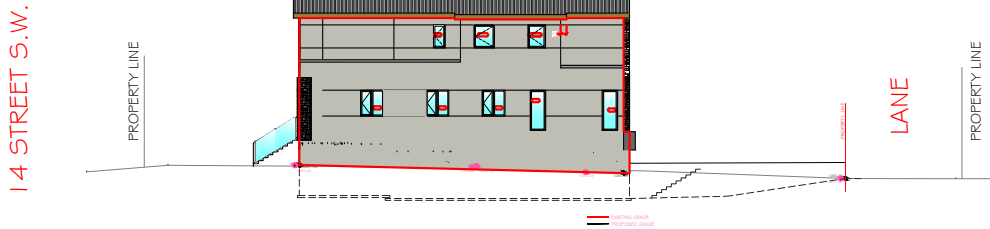
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DRAWING TITLE: SITE ELEVATIONS
SHEET: A.04
SCALE: 1/32"= 1'0"
REV. 0



STREETSCAPE ALONG 14 STREET S.W.



STREETSCAPE ALONG JOLIET AVENUE S.W.



LOOKING FROM SOUTH (LOT 25)

AMENDED DRAWINGS

DP No
DP2024-05405

Date Received
NOV 07 2024

THESE DRAWINGS REFER TO THE
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FLOOR AREA: 1 938.47 SQFT
(EXCLUDING MECHANICAL RM & GARAGE)

GARAGE FLOOR AREA: 898.18 SQFT



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CONCEPT & BUILDER:



DRAWING INFORMATION:

CLIENT:

ADDRESS: 3204 14th STREET SW

LOCATION: CALGARY

DRAWN BY: KT

LEGAL PLAN: PLAN 7080 AJ , BLOCK 84,
LOTS 26 & 27

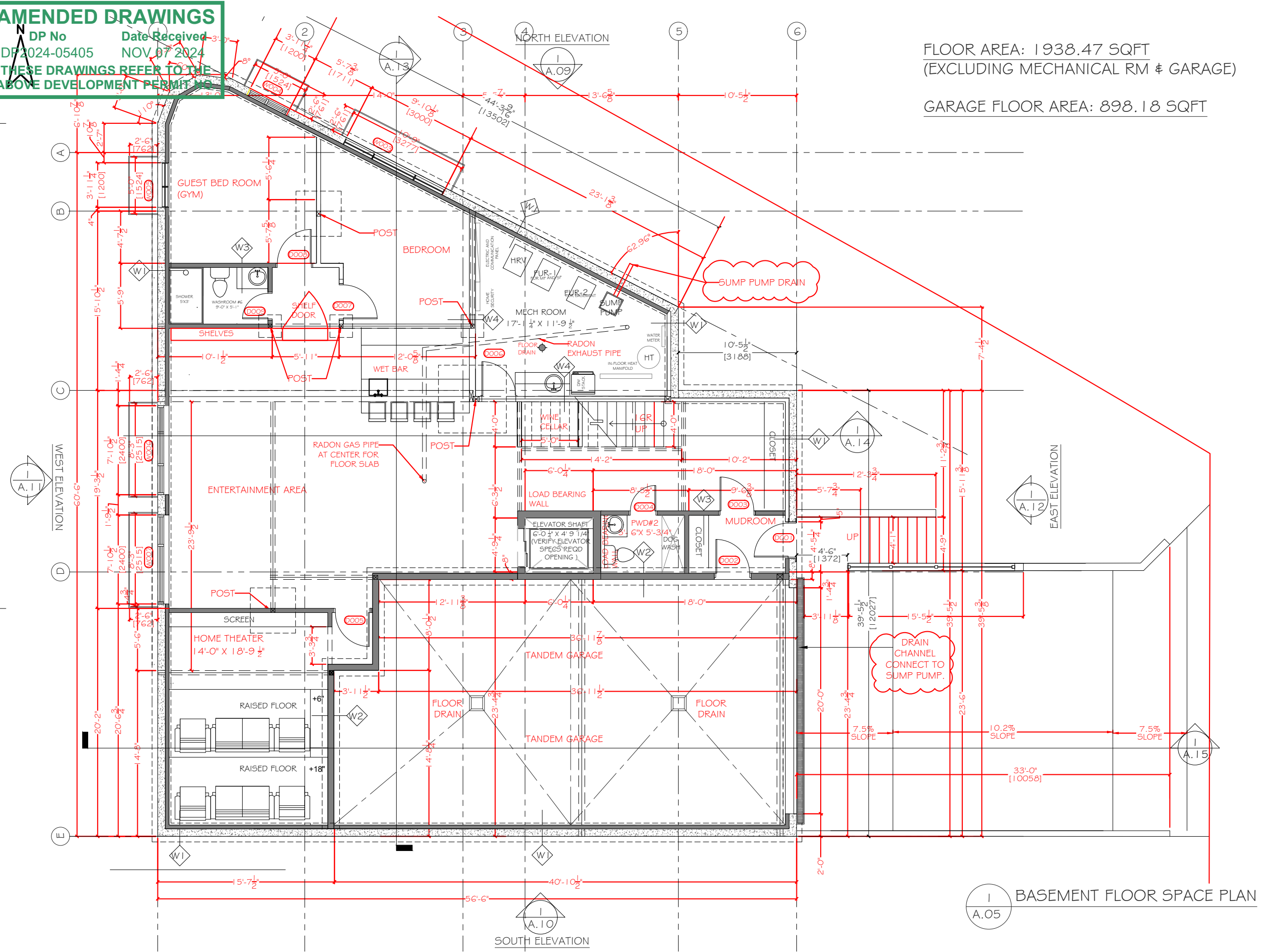
DRAWING NO: 05

DRAWING TITLE: BASEMENT SPACE PLAN

SHEET: A.05

SCALE: 1/8"= 1'0"

REV. 0



1 BASEMENT FLOOR SPACE PLAN
A.05

AMENDED DRAWINGS

DP No
DF 2024-05405

Date Received
NOV 07 2024

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FLOOR AREA: 2,850360 SQFT



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7.	RE ISSUE FOR BP	11-05-2024

CONCEPT & BUILDER:

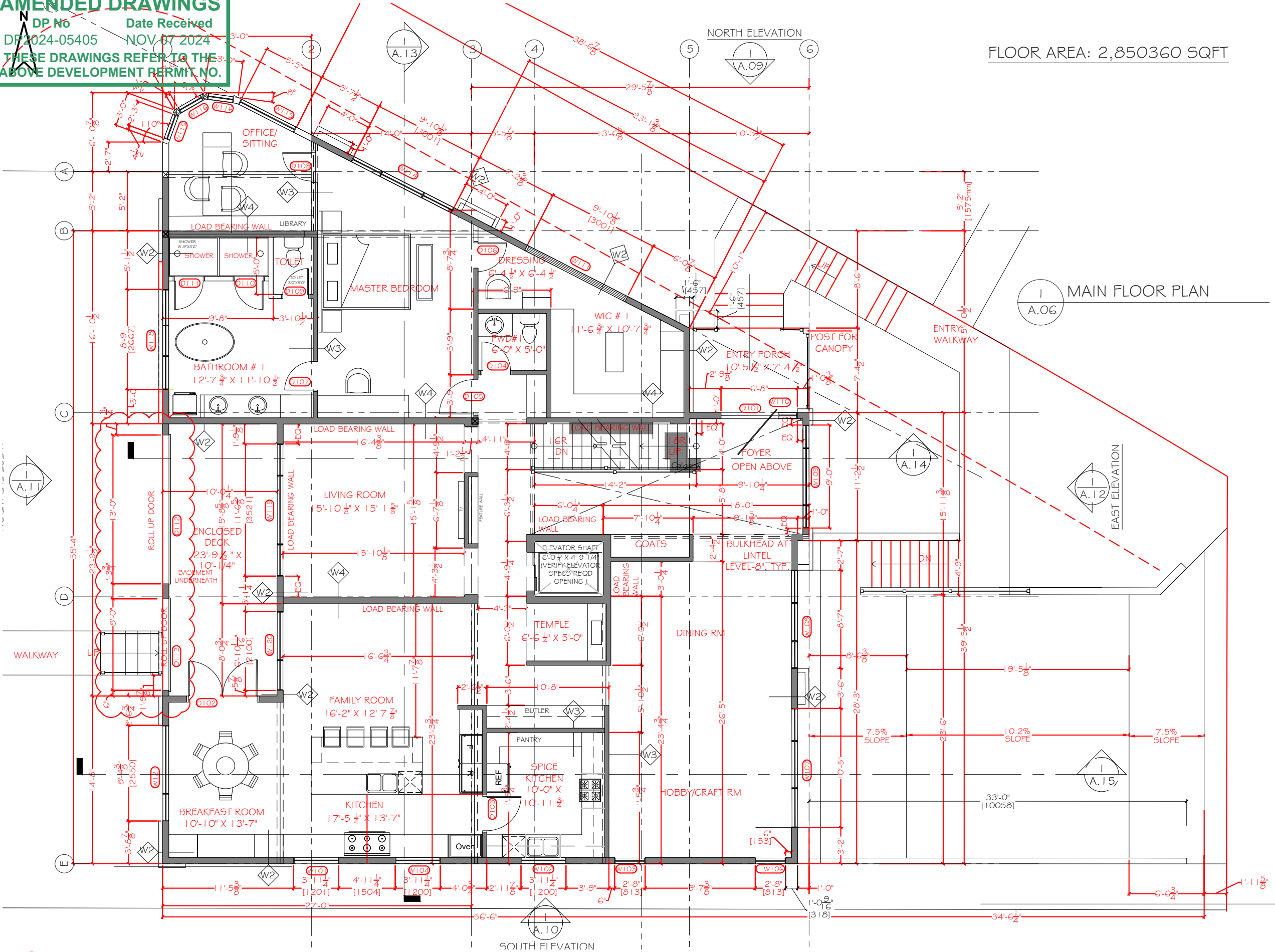


DHADUK HOMES
A RPMI COMPANY

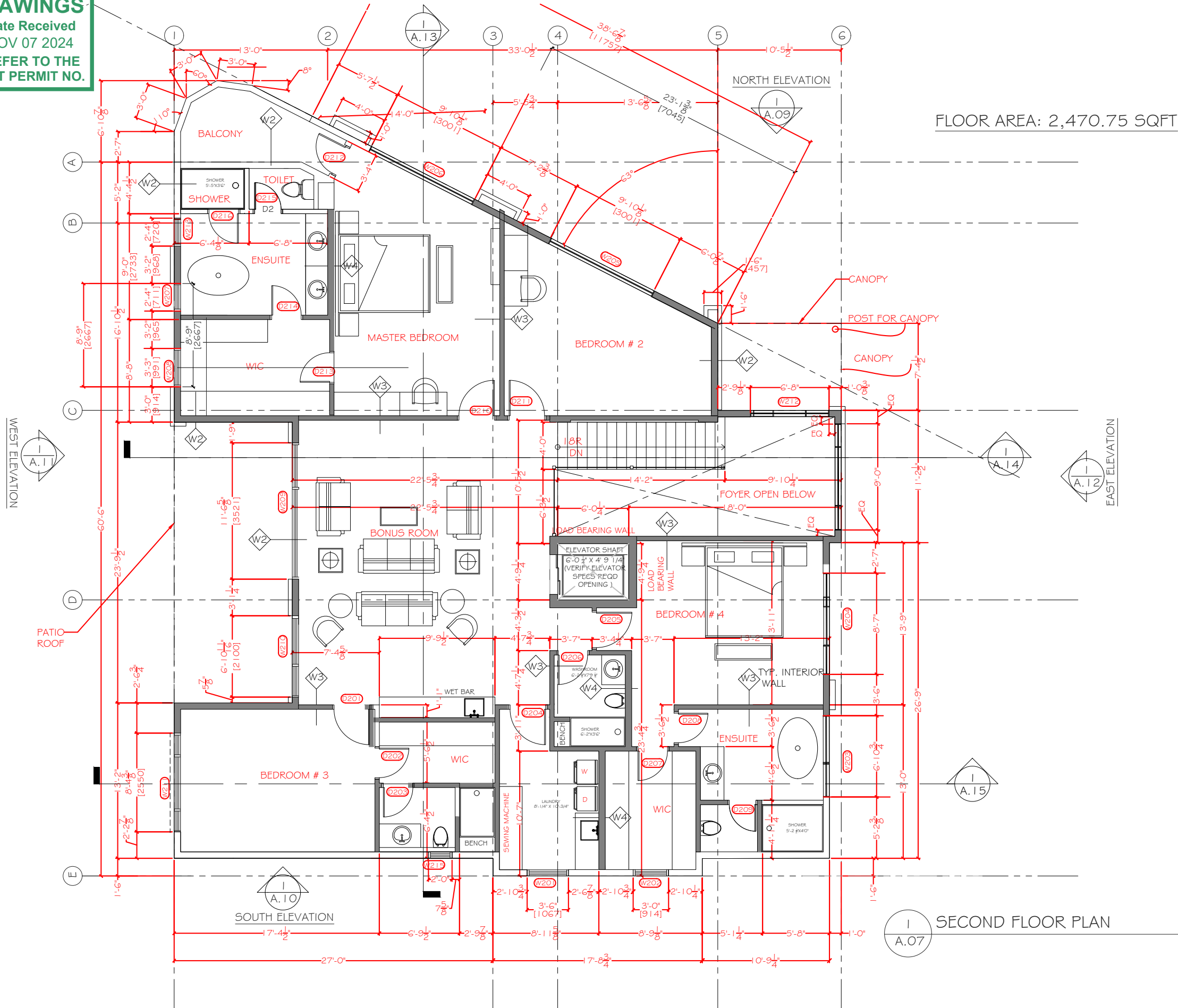
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CLIENT:
ADDRESS: 3204 14th STREET SW
LOCATION: CALGARY
DRAWN BY: KT
LEGAL PLAN: PLAN 7080 AJ , BLOCK 84,
LOTS 26 & 27

DRAWING NO: 06
DRAWING TITLE: MAIN FLOOR PLAN
SHEET: A.06
SCALE: 1/8"= 1'0"
REV. 0



AMENDED DRAWINGS
DP NO. DP2024-05405
Date Received NOV 07 2024
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7.	RE ISSUE FOR BP	11-05-2024

CONCEPT & BUILDER:



DRAWING INFORMATION:

CLIENT:
ADDRESS: 3204 14th STREET SW
LOCATION: CALGARY
DRAWN BY: KT
LEGAL PLAN: PLAN 7080 AJ , BLOCK 84,
LOTS 26 & 27

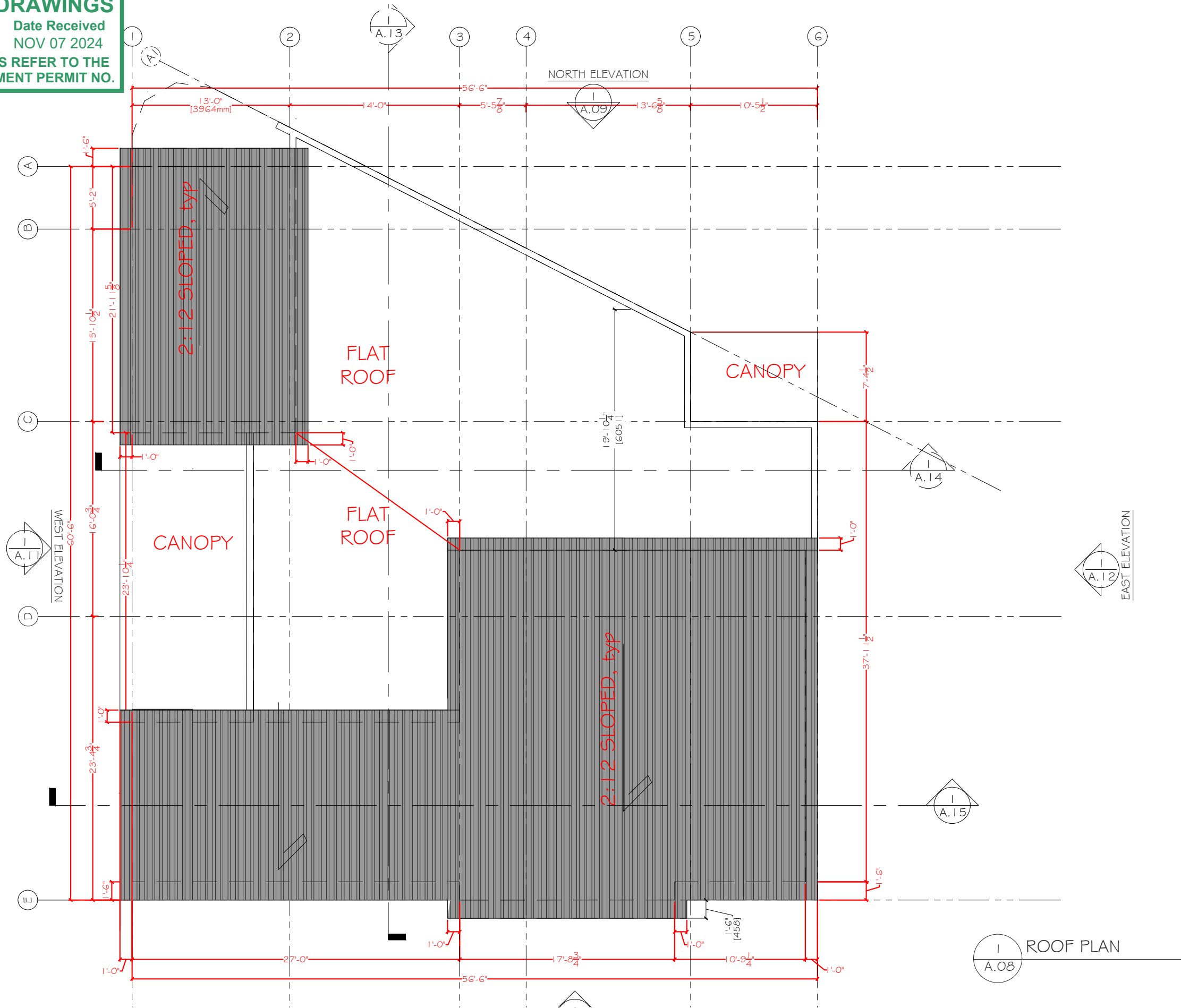
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DRAWING TITLE: SECOND FLOOR SPACE PLAN
SHEET: A.07
SCALE: 1/8" = 1'0"
REV: 0

AMENDED DRAWINGS

DR No
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6.	RE ISSUE FOR BP	09-08-2024
7.	RE ISSUE FOR BP	11-05-2024

CONCEPT & BUILDER:

DHADUK HOMES
A RPMI COMPANY

DRAWING INFORMATION:

CLIENT:

ADDRESS: 3204 14th STREET SW

LOCATION: CALGARY

DRAWN BY: KT

LEGAL PLAN: PLAN 7080 AJ , BLOCK 84,
LOTS 26 & 27

DRAWING NO: 09

DRAWING TITLE: ROOF PLAN

SHEET: A.08

SCALE: 1/8"= 1'0"

REV. 0

AMENDED DRAWINGS

DP No Date Received

DP2024-05405 NOV 07 2024

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7.	RE ISSUE FOR BP	11-05-2024

CONCEPT # BUILDER:



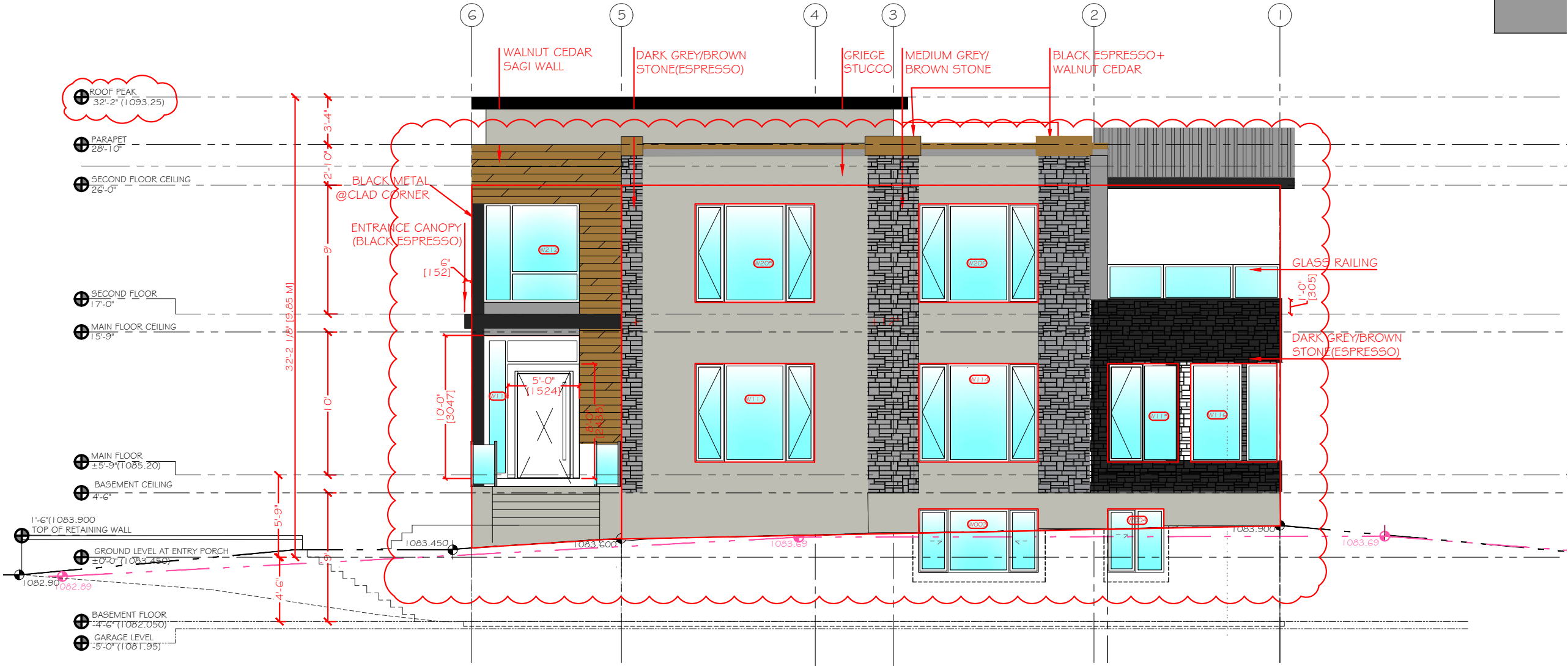
DRAWING INFORMATION:

CLIENT:
ADDRESS: 3204 14th STREET SW
LOCATION: CALGARY
DRAWN BY: KT
LEGAL PLAN: PLAN 7080 AJ , BLOCK 84,
LOTS 26 & 27

DRAWING NO: 10
DRAWING TITLE: NORTH ELEVATION
SHEET: A.09
SCALE: 1/8"= 1'0"
REV: 0

NOTE:
1-EGRESS WINDOW MUST PROVIDE AN UNOBSTRUCTED OPENING WITH A MINIMUM AREA OF 3.77 FT2 (0.35 M2), AND WITH NO DIMENSION LESS THAN 15"(380MM)
2- WINDOW IN A BASEMENT BEDROOM HAS A WINDOW-WELL, THEN THE WINDOW OPENING INTO THE WINDOW-WELL MUST BE AT LEAST 30" IN FRONT OF THE DESIGNATED EGRESS WINDOW.

NOTE : ROOF TO BE NONVENTED AND WILL CONFORM WITH STANDATA 19-BCV-022.



NORTH ELEVATION
LIMITING DISTANCE FROM CENTER OF ROAD: 17m
TOTAL ACTUAL WALL AREA: 261sq.ft (20sm)
ALLOWED OPENING (100% MAX)
TOTAL ACTUAL OPENING AREA: 112.63sq.ft (10.46sm) (43.15%)

LIMITING DISTANCE FROM CENTER OF ROAD: 13m
TOTAL ACTUAL WALL AREA: 111.8sq.ft (103.6sm)
ALLOWED OPENING (55% MAX)
TOTAL ACTUAL OPENING AREA: 324.7sq.ft (30.16sm)(29%)

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7.	RE ISSUE FOR BP	11-05-2024

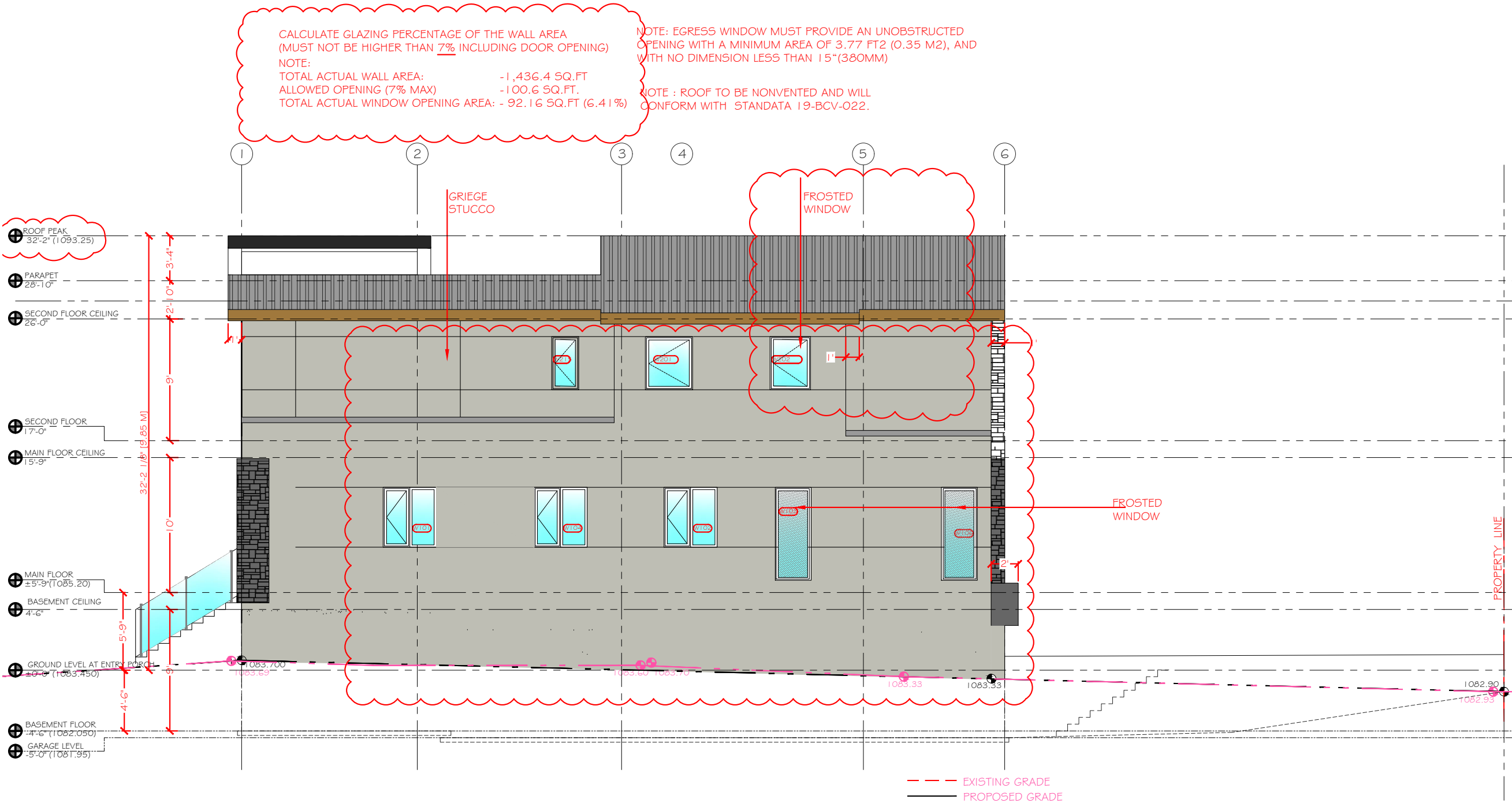
CONCEPT & BUILDER:



DRAWING INFORMATION:

CLIENT:
ADDRESS: 3204 14th STREET SW
LOCATION: CALGARY
DRAWN BY: KT
LEGAL PLAN: PLAN 7080 AJ , BLOCK 84, LOTS 26 & 27

DRAWING NO: 11
DRAWING TITLE: SOUTH ELEVATION
SHEET: A.10
SCALE: 1/8"= 1'0"
REV: 0



SOUTH ELEVATION
LIMITING DISTANCE FROM PROPERTY LINE: 1.2m (FROM NEAREST BLDG. FACE TO PROPERTY LINE)
TOTAL ACTUAL WALL AREA: 1,436.4 sq.ft (133.4sm)
ALLOWED OPENING (7% MAX)
TOTAL ACTUAL WINDOW OPENING AREA: 100.03 sq.ft (9.29sm) (6.96%)

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7.	RE ISSUE FOR BP	11-05-2022



DHADUK HOMES
A RPMI COMPANY

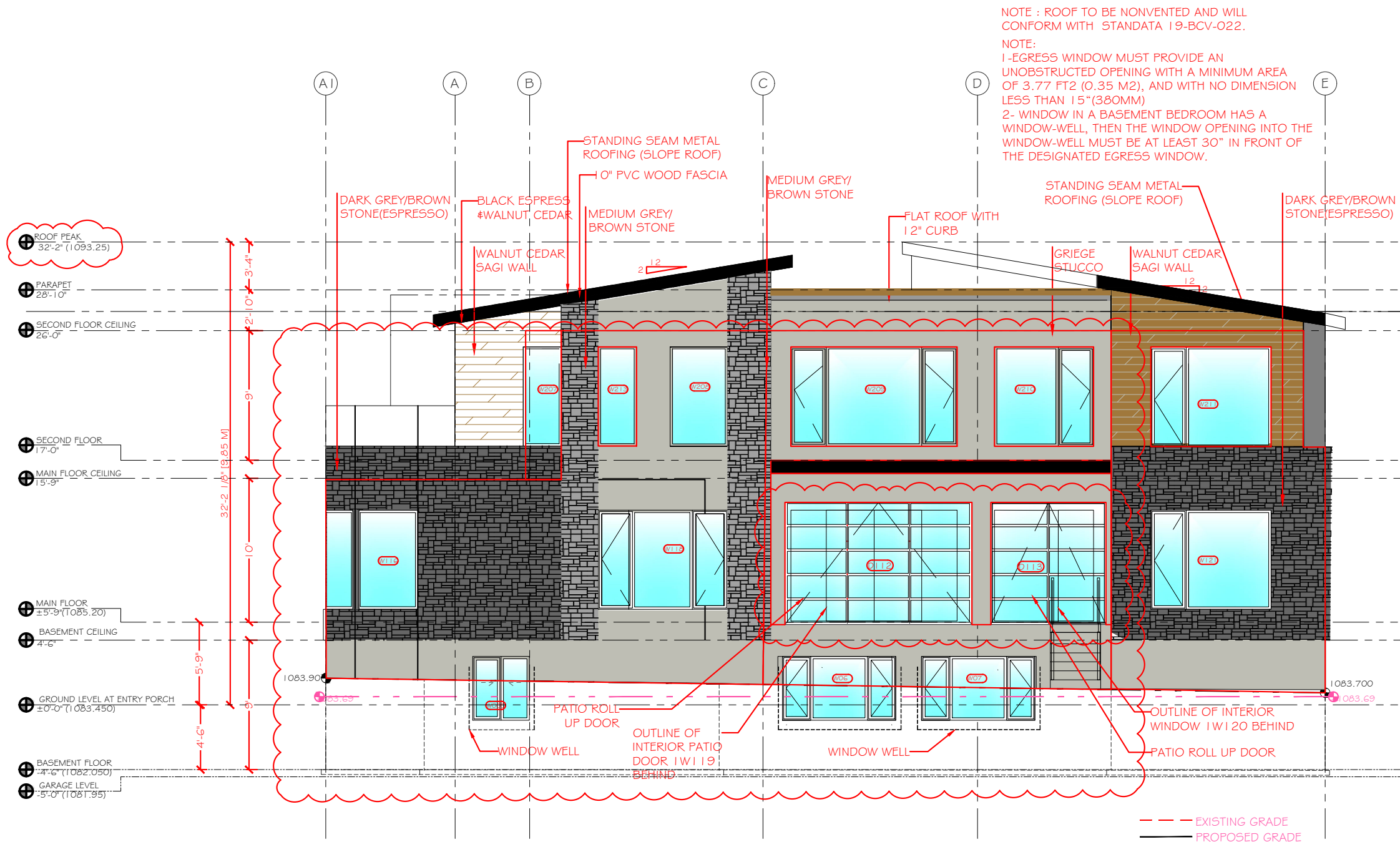
CLIENT:

ADDRESS: 3204 14th STREET SW

LOCATION: CALGARY

DRAWN BY: KT

LEGAL PLAN: PLAN 7080 AJ , BLOCK 84,
LOTS 26 & 27

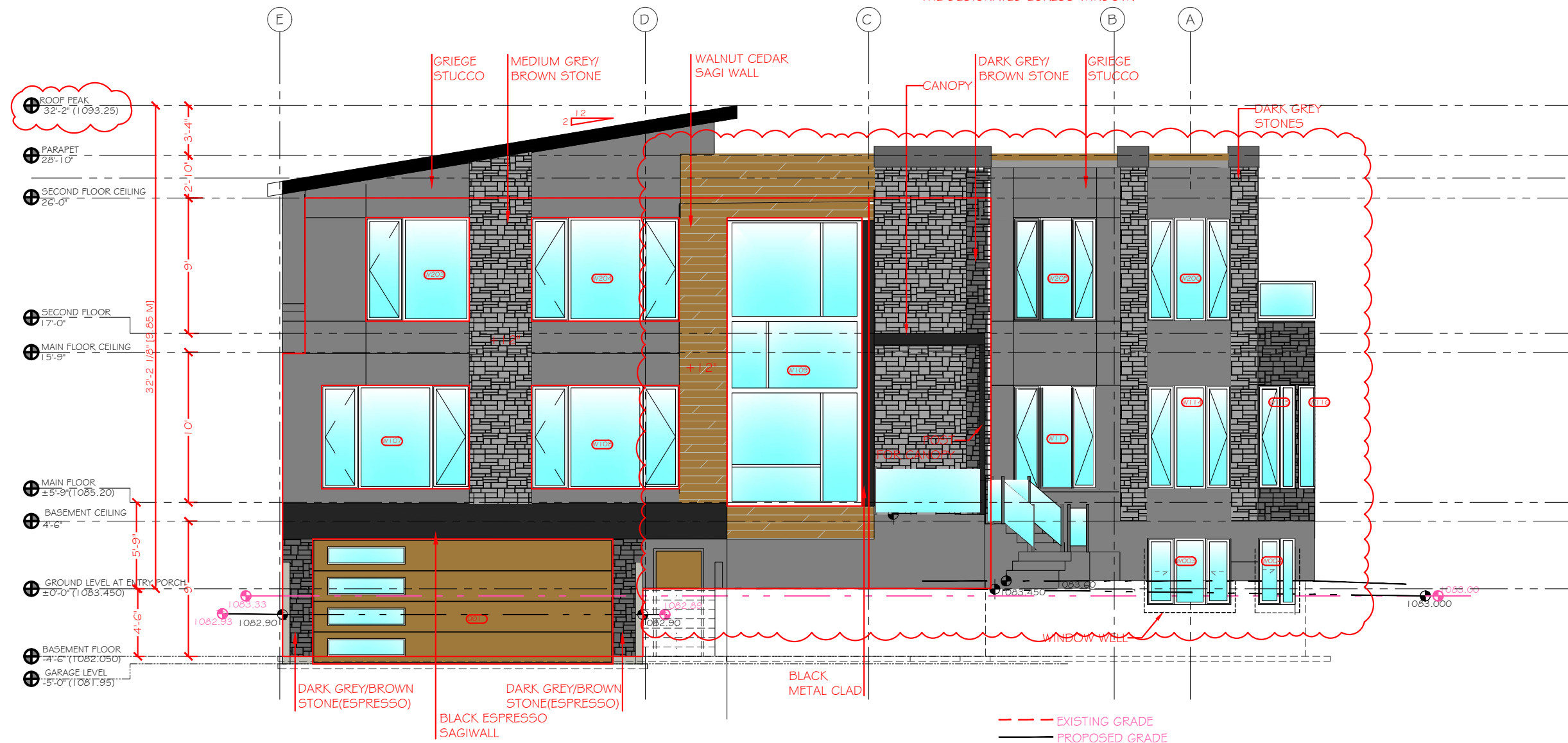


<u>LIMITING DISTANCE</u>	
WEST ELEVATION	
LIMITING DISTANCE FROM CENTER OF ROAD:	18m
TOTAL ACTUAL WALL AREA:	574sq.ft (53sm)
ALLOWED OPENING:	(100% MAX)
TOTAL ACTUAL OPENING AREA:	155.63sq.ft (14.45sm) (28.4%)
LIMITING DISTANCE FROM CENTER OF ROAD:	21m
TOTAL ACTUAL WALL AREA:	596sq.ft (55sm)
ALLOWED OPENING	100% MAX
TOTAL ACTUAL OPENING AREA:	338.8sq.ft (31.47sm) (56.8%)
LIMITING DISTANCE FROM CENTER OF ROAD:	18m
TOTAL ACTUAL WALL AREA:	360sq.ft (33.4sm)
ALLOWED OPENING :	100% MAX
TOTAL ACTUAL OPENING AREA:	116sq.ft (10.8sm)(32.2%)

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NOTE:
1-EGRESS WINDOW MUST PROVIDE AN UNOBSTRUCTED OPENING WITH A MINIMUM AREA OF 3.77 FT² (0.35 M²), AND WITH NO DIMENSION LESS THAN 15"(380MM)
2- WINDOW IN A BASEMENT BEDROOM HAS A WINDOW-WELL, THEN THE WINDOW OPENING INTO THE WINDOW-WELL MUST BE AT LEAST 30" IN FRONT OF THE DESIGNATED EGRESS WINDOW.



EAST ELEVATION

LIMITING DISTANCE FROM CENTER OF ROAD:	13m
TOTAL ACTUAL WALL AREA:	1235sq.ft (114sm)
ALLOWED OPENING	(55% MAX)
TOTAL ACTUAL OPENING AREA:	598.7sq.ft (55.62sm)(48.47%)

AMENDED DRAWINGS

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6.	RE ISSUE FOR BP	09-08-2024
7.	RE ISSUE FOR BP	11-05-2024

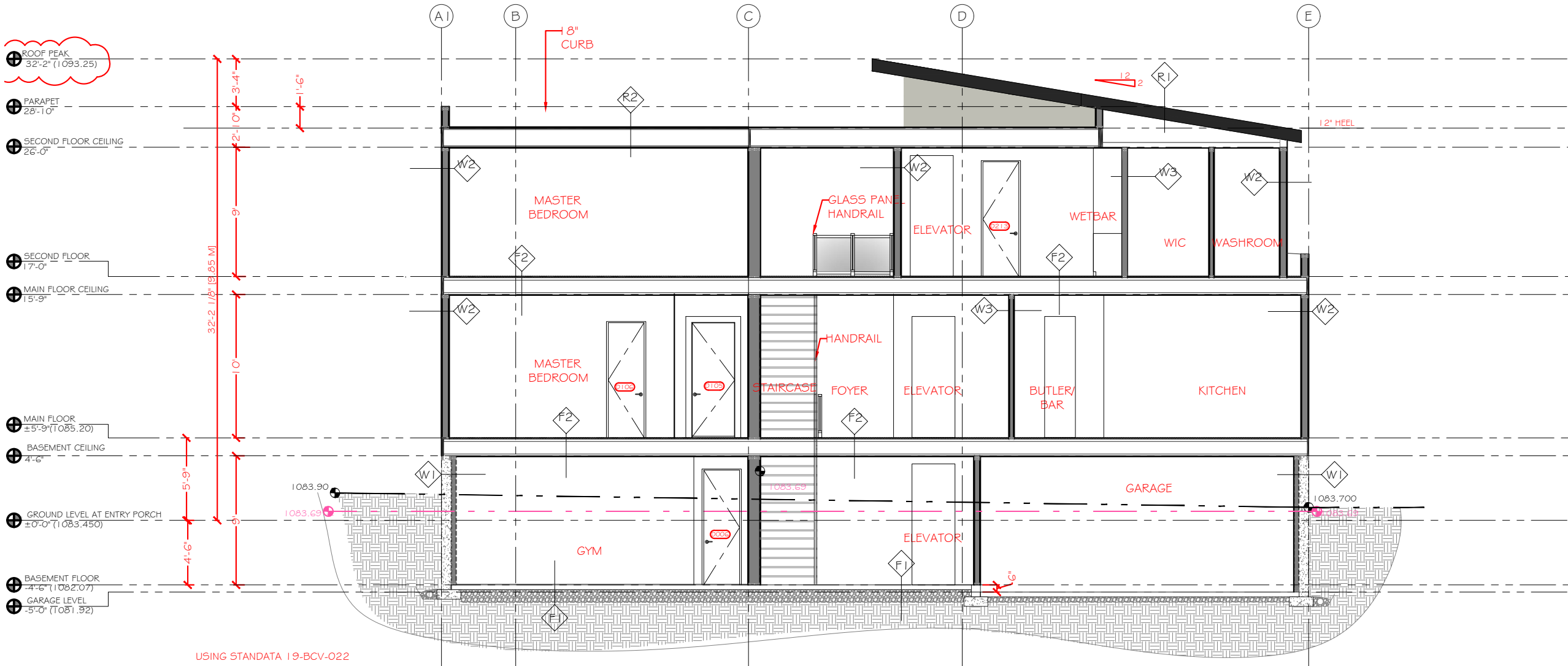
CONCEPT & BUILDER:



DRAWING INFORMATION:

CLIENT:
ADDRESS: 3204 14th STREET SW
LOCATION: CALGARY
DRAWN BY: KT
LEGAL PLAN: PLAN 7080 AJ , BLOCK 84, LOTS 26 & 27

DRAWING NO: 14
DRAWING TITLE: SECTION 1
SHEET: A.13
SCALE: 1/8"= 1'0"
REV. 0



USING STANDATA 19-BCV-022

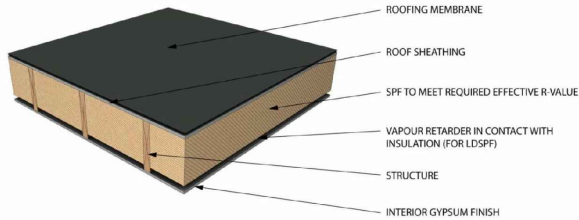


Figure 7 : SPF insulated flat roof

A combination of exterior insulation against the exterior of the sheathing (Option 1), and MDSPF installed directly to the interior of the sheathing (Option 2) with a combined effective R-value sufficient to meet the code, with minimized thermal bridging of the structure through the assembly (Figure 8). Substituting LDSPF for MDSPF may require a

AMENDED DRAWINGS

DP No Date Received

DP2024-05405 NOV 07 2024

THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.



PROJECT

CUSTOM HOME RESIDENCE

STAMP

ISSUED:

NO.	ISSUE	DATE
1.	ISSUED FOR DP	07-13-2023
2.	ISSUED FOR BP	09-22-2023
3.	RE ISSUED ELEVATIONS FOR BP	05-24-2024
4.	RE ISSUE FOR DP	09-07-2024
5.	RE ISSUE FOR BP	08-24-2024
6.	RE ISSUE FOR BP	09-08-2024
7.	RE ISSUE FOR BP	11-05-2024

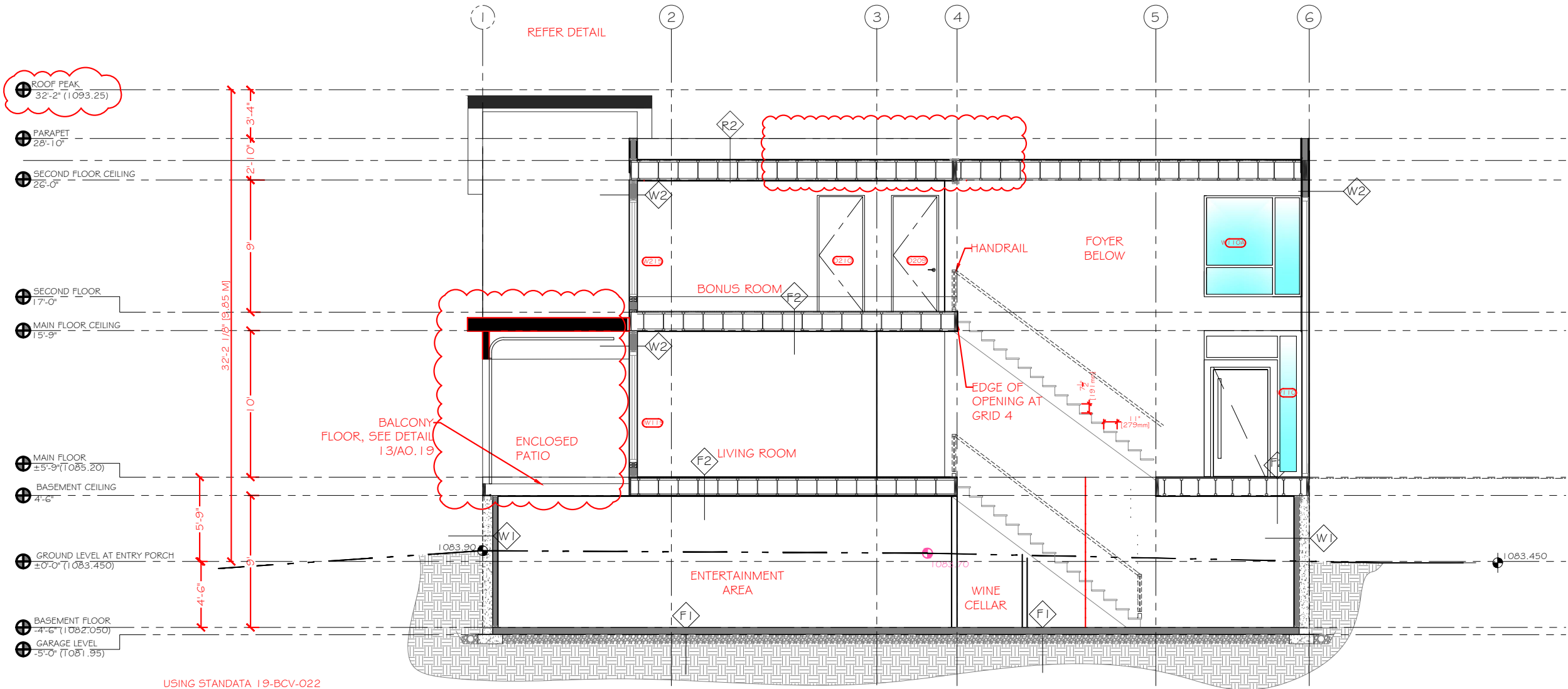
CONCEPT & BUILDER:



DRAWING INFORMATION:

CLIENT:
ADDRESS: 3204 14th STREET SW
LOCATION: CALGARY
DRAWN BY: KT
LEGAL PLAN: PLAN 7080 AJ , BLOCK 84, LOTS 26 & 27

DRAWING NO: 15
DRAWING TITLE: SECTION 2
SHEET: A.14
SCALE: 1/8"=1'0"
REV. 0



USING STANDATA 19-BCV-022

Figure 7 : SPF insulated flat roof

A combination of exterior insulation against the exterior of the sheathing (Option 1), and MDSPF installed directly to the interior of the sheathing (Option 2) with a combined effective R-value sufficient to meet the code, with minimized thermal bridging of the structure through the assembly (Figure 8). Substituting LDSPF for MDSPF may require a

M-25608.000 RDH Building Science Laboratories Page 9

AMENDED DRAWINGS

DP No
DP2024-05405

Date Received
NOV 07 2024

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ABOVE DEVELOPMENT PERMIT NO.



PROJECT

CUSTOM HOME RESIDENCE

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ISSUED:

NO.	ISSUE	DATE
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3.	RE ISSUED ELEVATIONS FOR BP	05-24-2024
4.	RE ISSUE FOR DP	09-07-2024
5.	RE ISSUE FOR BP	08-24-2024
6.	RE ISSUE FOR BP	09-08-2024
7.	RE ISSUE FOR BP	11-05-2024

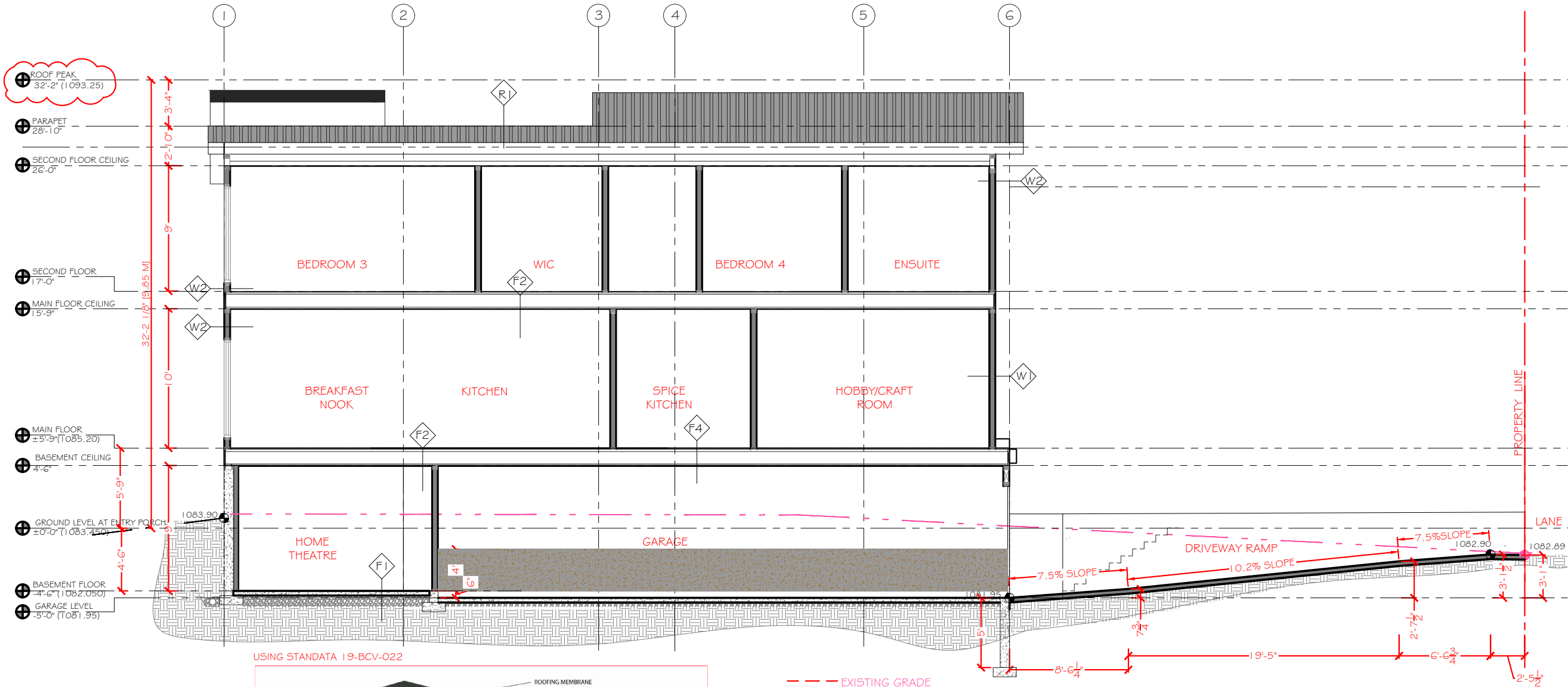
CONCEPT & BUILDER:



DRAWING INFORMATION:

CLIENT:
ADDRESS: 3204 14th STREET SW
LOCATION: CALGARY
DRAWN BY: KT
LEGAL PLAN: PLAN 7080 AJ , BLOCK 84,
LOTS 26 & 27

DRAWING NO: 15
DRAWING TITLE: SECTION 3
SHEET: A.14A
SCALE: 1/8"= 1'0"
REV. 0



USING STANDATA 19-BCV-022

Figure 7 : SPF insulated flat roof

A combination of exterior insulation against the exterior of the sheathing (Option 1), and MDSPF installed directly to the interior of the sheathing (Option 2) with a combined effective R-value sufficient to meet the code, with minimized thermal bridging of the structure through the assembly (Figure 8). Substituting LDSPF for MDSPF may require a

M-25608.000 RDH Building Science Laboratories Page 9

--- EXISTING GRADE
--- PROPOSED GRADE

AMENDED DRAWINGS

DP No. DP-2024-05405
Date Received NOV 07 2024

BASEMENT FLOOR WINDOW SCHEDULE

THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

WINDOW NO.	ROOM NAME	WIN. WIDTH	WIN. HEIGHT	R.O. WIDTH	R.O. HEIGHT	WINDOW A.F.F	TYPE	WIN. MATERIAL	FRAME FINISH	COMMENTS
WO03	BEDROOM	11 5/8"	53 1/8"	119 1/8"	54 1/8"	3' 5 3/8"	TYPE B	VINYL	DARK GREY	SLIDING WINDOW
WO04	GUEST BEDROOM	47 1/4"	53 1/8"	48 1/4"	54 1/8"	3' 5 3/8"	TYPE C	VINYL	DARK GREY	SLIDING WINDOW
WO05	GUEST BEDROOM	47 1/4"	53 1/8"	48 1/4"	54 1/8"	3' 5 3/8"	TYPE C	VINYL	DARK GREY	SLIDING WINDOW
WO06	ENTERTAINMENT AREA	94 1/2"	53 1/8"	95 1/2"	54 1/8"	3' 5 3/8"	TYPE D	VINYL	DARK GREY	SLIDING WINDOW
WO07	ENTERTAINMENT AREA	94 1/2"	53 1/8"	95 1/2"	54 1/8"	3' 5 3/8"	TYPE D	VINYL	DARK GREY	SLIDING WINDOW

MAIN FLOOR WINDOW SCHEDULE									
WINDOW NO.	ROOM NAME	WIN. WIDTH	WIN. HEIGHT	R.O. WIDTH	R.O. HEIGHT	WINDOW A.F.F	TYPE	MATERIAL	FRAME FINISH
W101	KITCHEN	47 1/4"	53 1/8"	48 1/4"	54 1/8"	3' 5 3/8"	TYPE F	VINYL	DARK GREY
W102	SPICE KITCHEN	47 1/4"	53 1/8"	48 1/4"	54 1/8"	3' 5 3/8"	TYPE F.a	VINYL	DARK GREY/FROSTED
W103	HOBBY/CRAFT ROOM	32"	82 1 1/16"	33"	83 1 1/16"	11 1 3/16"	TYPE G	VINYL	DARK GREY
W104	KITCHEN	47 1/4"	53 1/8"	48 1/4"	54 1/8"	3' 5 3/8"	TYPE F	VINYL	DARK GREY
W106	HOBBY/CRAFT ROOM	32"	82 1 1/16"	33"	83 1 1/16"	11 1 3/16"	TYPE G.a	VINYL	DARK GREY/FROSTED
W107	HOBBY/CRAFT ROOM	125"	82 1 1/16"	126"	83 1 1/16"	11 1 3/16"	TYPE T	VINYL	DARK GREY
W108	DINING ROOM	103"	82 1 1/16"	104"	83 1 1/16"	11 1 3/16"	TYPE T.a	VINYL	DARK GREY
W109	FOYER	9' 0"	19' 2 3/8"	9' 1"	19' 3 3/8"	0' 0"	TYPE N	VINYL	DARK GREY
W110	FOYER	6' 8"	10' 0"	6' 9"	10' 1"	0' 0"	TYPE M	VINYL	DARK GREY
W111	WIC	118 1/8"	82 1 1/16"	119 1/8"	83 1 1/16"	11 1 3/16"	TYPE H	VINYL	DARK GREY
W114	MASTER BEDROOM	118 1/8"	82 1 1/16"	119 1/8"	83 1 1/16"	11 1 3/16"	TYPE H	VINYL	DARK GREY
W115	OFFICE/SITTING	65"	82 1 1/16"	66"	83 1 1/16"	11 1 3/16"	TYPE J	VINYL	DARK GREY
W116	OFFICE (3 BAY WINDOW)	2' 3" EACH	82 1 1/16"	2' 4"	83 1 1/16"	11 1 3/16"	TYPE K	VINYL	DARK GREY
W118	ENSUITE	8' 9"	82 1 1/16"	8' 10"	83 1 1/16"	11 1 3/16"	TYPE U	VINYL	DARK GREY
IW119	LIVING - PATIO DOOR	138 5/8"	94 1/2"	139 5/8"	95 1/2"	0' 0"	TYPE O	VINYL	DARK GREY
IW120	INTERIOR WINDOW FAMILY ROOM	82 1 1/16"	94 1/2"	83 1 1/16"	95 1/2"	0' 0"	TYPE P	VINYL	DARK GREY
W121	BREAKFAST NOOK	100 3/8"	82 1 1/16"	101 3/8"	83 1 1/16"	11 1 3/16"	TYPE Q	VINYL	DARK GREY

SECOND FLOOR WINDOW SCHEDULE									
WINDOW NO.	ROOM NAME	WIN. WIDTH	WIN. HEIGHT	R.O. WIDTH	R.O. HEIGHT	WIN. A.F.F	TYPE	MATERIAL	FRAME FINISH
W201	STORE ROOM	42"	47 1/4"	43"	48 1/4"	3' 11 1/4"	TYPE R	VINYL	DARK GREY
W202	WIC	36"	47 1/4"	37"	48 1/4"	3' 11 1/4"	TYPE R.a	VINYL	DARK GREY/FROSTED
W203	ENSUITE	82 1 1/16"	82 1 1/16"	83 1 1/16"	83 1 1/16"	11 1 3/16"	TYPE S	VINYL	DARK GREY
W204	BEDROOM 4	103"	82 1 1/16"	104"	83 1 1/16"	11 1 3/16"	TYPE T.a	VINYL	DARK GREY
W205	BEDROOM 2	118 1/8"	82 1 1/16"	119 1/8"	83 1 1/16"	11 1 3/16"	TYPE H	VINYL	DARK GREY
W206	MASTER BEDROOM	118 1/8"	82 1 1/16"	119 1/8"	83 1 1/16"	11 1 3/16"	TYPE H	VINYL	DARK GREY
W207	WASHROOM	28"	82 1 1/16"	29"	83 1 1/16"	11 1 3/16"	TYPE L	VINYL	DARK GREY
W208	WIC	39"	82 1 1/16"	40"	83 1 1/16"	11 1 3/16"	TYPE I	VINYL	DARK GREY
W209	BONUS ROOM	138 5/8"	82 1 1/16"	139 5/8"	83 1 1/16"	11 1 3/16"	TYPE Oa	VINYL	DARK GREY
W210	BONUS ROOM	82 1 1/16"	82 1 1/16"	83 1 1/16"	83 1 1/16"	11 1 3/16"	TYPE Pa	VINYL	DARK GREY
W211	BEDROOM 3	100 3/8"	82 1 1/16"	101 3/8"	83 1 1/16"	11 1 3/16"	TYPE Q	VINYL	DARK GREY
W212	FOYER	6' 8"	82 1 1/16"	6' 9"	83 1 1/16"	11 1 3/16"	TYPE M	VINYL	DARK GREY
W213	WASHROOM	28"	82 1 1/16"	29"	83 1 1/16"	11 1 3/16"	TYPE L	VINYL	DARK GREY
W214	NOT USED								
W215	WASHROOM	24"	47 1/4"	25"	48 1/4"	3' 11 1/4"	TYPE R.b2	VINYL	DARK GREY



PROJECT

CUSTOM HOME RESIDENCE

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ISSUED:

NO.	ISSUE	DATE
1.	ISSUED FOR DP	07-13-2023
2.	ISSUED FOR BP	08-22-2023
3.	RE ISSUED ELEVATIONS FOR BP	05-24-2024
4.	RE ISSUE FOR DP	09-07-2024
5.	RE ISSUE FOR BP	08-24-2024
6.	RE ISSUE FOR BP	09-08-2024
7.	RE ISSUE FOR BP	11-05-2024

CONCEPT & BUILDER:



- NOTES:
- 1) WINDOW TYPE: METAL CLAD/VINYL, DOUBLE GLAZED w/ LOW-3 ARGON
- 2) DOOR TYPE: FIBREGLASS
- 3) ALL DOOR AND WINDOW SIZE TO BE CONFIRMED WITH CONTRACTOR AND WINDOW / DOOR SUPPLIER AS EACH WINDOW TYPE ARE DIFFERENT PROFILE.

DRAWING INFORMATION:

CLIENT:

ADDRESS: 3204 14th STREET SW

LOCATION: CALGARY

DRAWN BY: KT

LEGAL PLAN: PLAN 7080 AJ , BLOCK 84, LOTS 26 & 27

DRAWING NO: 16

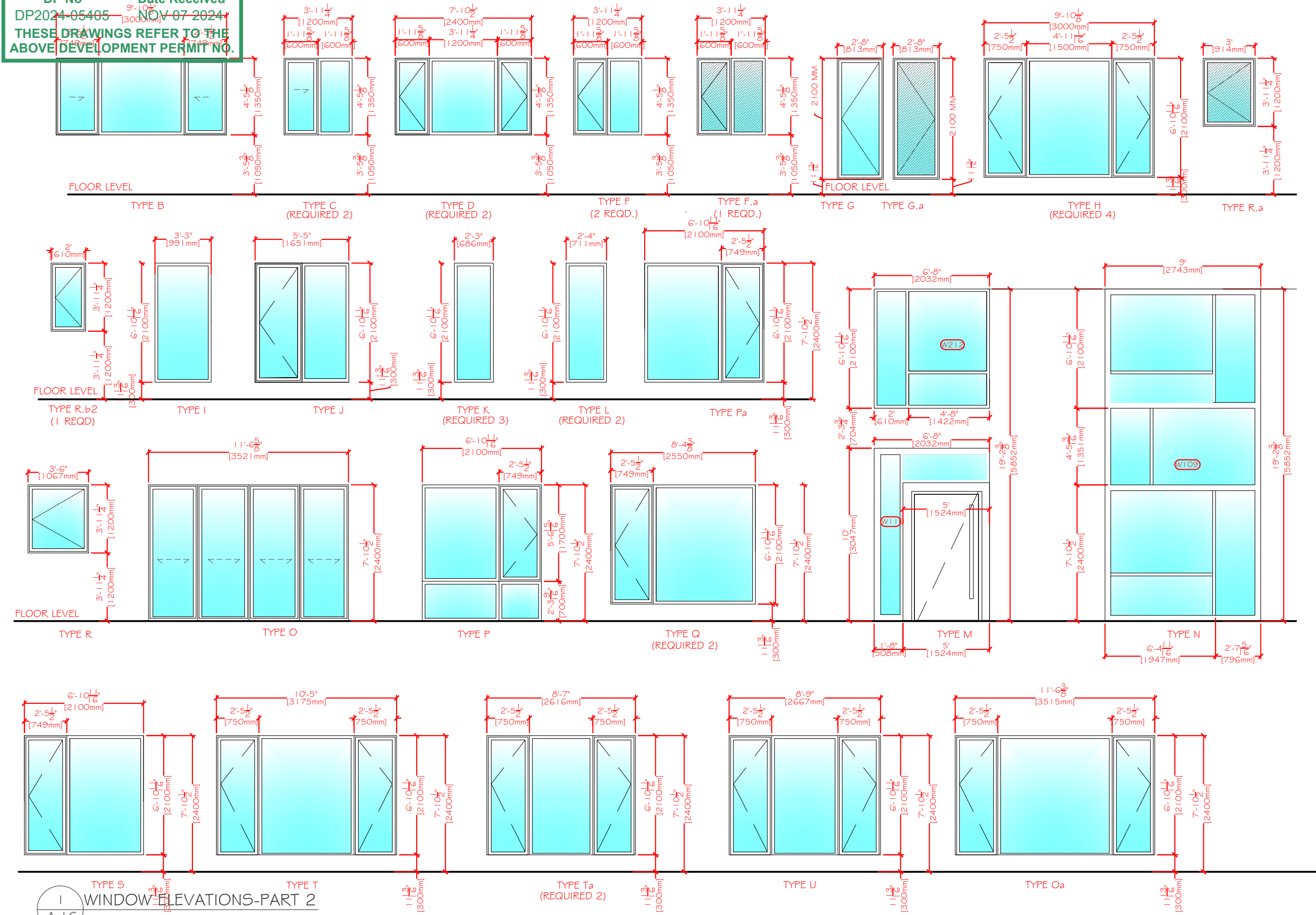
DRAWING TITLE: WINDOW SCHEDULE

SHEET: A.15

SCALE: 3/16"= 1'0"

REV. 0

AMENDED DRAWINGS
DP No DP2024-05405 Date Received NOV 07 2024
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.



PROJECT
CUSTOM HOME RESIDENCE
STAMP

ISSUED:

NO.	ISSUE	DATE
1.	ISSUED FOR DP	07-13-2023
2.	ISSUED FOR BP	09-22-2023
3.	RE ISSUED ELEVATIONS FOR BP	05-24-2024
4.	RE ISSUE FOR DP	08-07-2024
5.	RE ISSUE FOR BP	08-24-2024
6.	RE ISSUE FOR BP	09-08-2024
7.	RE ISSUE FOR BP	11-05-2024

CONCEPT & BUILDER:

NOTES:
1) WINDOW TYPE: METAL CLAD/VINYL, DOUBLE GLAZED W/ LOW-3 ARGON

2) DOOR TYPE: POREDOOR
A RPMI COMPANY

3) ALL DOOR AND WINDOW SIZE TO BE CONFIRMED WITH CONTRACTOR AND WINDOW / DOOR SUPPLIER AS EACH WINDOW TYPE ARE DIFFERENT PROFILE.

DRAWING INFORMATION:

CLIENT:
ADDRESS: 3204 14th STREET SW
LOCATION: CALGARY
DRAWN BY: KT
LEGAL PLAN: PLAN 7080 AJ , BLOCK 84, LOTS 26 & 27

DRAWING NO: 17
DRAWING TITLE: WINDOW SCHEDULE
SHEET: A.16
SCALE: 3/16"=1'0"
REV. 0

AMENDED DRAWINGS

DP No Date Received

DP2024-05405 NOV 07 2024

THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

BASEMENT FLOOR DOOR SCHEDULE										
DOOR NO.	ROOM NAME	DOOR WIDTH	DOOR HEIGHT	FRAME WIDTH	FRAME HEIGHT	R.O. WIDTH	R.O. HEIGHT	DOOR TYPE	DOOR MATERIAL	FRAME FINISH
				37 3⁄8"	98 3⁄16"	38 3⁄8"	98 1⁄16"	TYPE C.a	SOLID CORE	WOOD
D002	GARAGE TO HOUSE			37 3⁄8"	98 3⁄16"	38 3⁄8"	98 1⁄16"	TYPE C	SOLID CORE	WOOD
D003	MUD ROOM	3' 0"	8' 0"	3' 3"	8' 1 1⁄2"	3' 4"	8' 2"	TYPE C	SOLID CORE	WOOD
D004	POWDER ROOM	2' 6"	8' 0"	2' 9"	8' 1 1⁄2"	2' 10"	8' 2"	TYPE F	SOLID CORE	WOOD
D005	HOME THEATER	3' 0"	8' 0"	3' 3"	8' 1 1⁄2"	3' 4"	8' 2"	TYPE D	SOLID CORE	WOOD
D006	MECHANICAL ROOM	3' 0"	8' 0"	3' 3"	8' 1 1⁄2"	3' 4"	8' 2"	TYPE D	SOLID CORE	WOOD
D007	BEDROOM	3' 0"	8' 0"	3' 3"	8' 1 1⁄2"	3' 4"	8' 2"	TYPE D	SOLID CORE	WOOD
D008	GUEST BEDROOM	3' 0"	8' 0"	3' 3"	8' 1 1⁄2"	3' 4"	8' 2"	TYPE D	SOLID CORE	WOOD
D009	WASHROOM	2' 6"	8' 0"	2' 9"	8' 1 1⁄2"	2' 10"	8' 2"	TYPE F	SOLID CORE	WOOD
D010	GARAGE	20' 0"	8' 0"	20' 3"	8' 1 1⁄2"	20' 4"	8' 2"	TYPE G	SOLID CORE	WOOD

MAIN FLOOR DOOR SCHEDULE										
DOOR NO.	ROOM NAME	DOOR WIDTH	DOOR HEIGHT	FRAME WIDTH	FRAME HEIGHT	R.O. WIDTH	R.O. HEIGHT	DOOR TYPE	DOOR MATERIAL	FRAME FINISH
D101	FOYER	5' 0"	8' 0"	5' 1"	8' 1 1⁄2"	5' 4"	8' 2"	TYPE A	WOOD	WOOD
D102	BREAKFAST NOOK			74"	97 5⁄16"	74 15⁄16"	97 13⁄16"	TYPE B	OBSCURE GLASS	WOOD
D103	SPICE KITCHEN	3' 0"	8' 0"	3' 3"	8' 1 1⁄2"	3' 4"	8' 2"	TYPE B	SOLID CORE	WOOD
D104	POWDER ROOM	2' 6"	8' 0"	2' 9"	8' 1 1⁄2"	3' 0"	8' 2"	TYPE E	SOLID CORE	WOOD
D105	MASTER BEDROOM	3' 0"	8' 0"	3' 3"	8' 1 1⁄2"	3' 4"	8' 2"	TYPE D	SOLID CORE	WOOD
D106	DRESSING RM/ W.I.C	2' 6"	8' 0"	2' 9"	8' 1 1⁄2"	3' 0"	8' 2"	TYPE F	OBSCURE GLASS	WOOD
D107	MASTER BATHROOM	2' 6"	8' 0"	2' 9"	8' 1 1⁄2"	3' 0"	8' 2"	TYPE F	OBSCURE GLASS	WOOD
D108	OFFICE/SITTING	2' 6"	8' 0"	2' 9"	8' 1 1⁄2"	3' 0"	8' 2"	TYPE F	OBSCURE GLASS	WOOD
D109	TOILET	2' 6"	8' 0"	2' 9"	8' 1 1⁄2"	3' 0"	8' 2"	TYPE F	OBSCURE GLASS	
D110	SHOWER	2' 6"	8' 0"	2' 9"	8' 1 1⁄2"	3' 0"	8' 2"	TYPE F	OBSCURE GLASS	
D111	SHOWER	2' 6"	8' 0"	2' 9"	8' 1 1⁄2"	3' 0"	8' 2"	TYPE F	OBSCURE GLASS	
D112	ROLL UP DOOR	13' 2 3⁄8"	8' 6 1⁄2"			13' 0"	8' 6"	TYPE H	GLASS	
D113	ROLL UP DOOR	8' 1 1⁄2"	8' 6 1⁄2"			8' 0"	8' 6"	TYPE I	GLASS	

SECOND FLOOR DOOR SCHEDULE										
DOOR NO.	ROOM NAME	DOOR WIDTH	DOOR HEIGHT	FRAME WIDTH	FRAME HEIGHT	R.O. WIDTH	R.O. HEIGHT	DOOR TYPE	DOOR MATERIAL	FRAME FINISH
D201	BEDROOM 3	3' 0"	8' 0"	3' 3"	8' 1 1⁄2"	3' 4"	8' 2"	TYPE D	SOLID CORE	WOOD
D202	W.I.C	2' 6"	8' 0"	2' 9"	8' 1 1⁄2"	3' 0"	8' 2"	TYPE F	OBSCURE GLASS	WOOD
D203	BATHROOM	2' 6"	8' 0"	2' 9"	8' 1 1⁄2"	3' 0"	8' 2"	TYPE F	OBSCURE GLASS	WOOD
D204	LAUNDRY ROOM	3' 0"	8' 0"	3' 3"	8' 1 1⁄2"	3' 4"	8' 2"	TYPE D	SOLID CORE	WOOD
D205	BEDROOM 4	3' 0"	8' 0"	3' 3"	8' 1 1⁄2"	3' 4"	8' 2"	TYPE D	SOLID CORE	WOOD
D206	BATHROOM	2' 6"	8' 0"	2' 9"	8' 1 1⁄2"	3' 0"	8' 2"	TYPE E	SOLID CORE	WOOD
D207	W.I.C	2' 6"	8' 0"	2' 9"	8' 1 1⁄2"	3' 0"	8' 2"	TYPE F	OBSCURE GLASS	WOOD
D208	ENSUITE	2' 6"	8' 0"	2' 9"	8' 1 1⁄2"	3' 0"	8' 2"	TYPE F	OBSCURE GLASS	WOOD
D209	TOILET	2' 6"	8' 0"	2' 9"	8' 1 1⁄2"	3' 0"	8' 2"	TYPE F	OBSCURE GLASS	WOOD
D210	MASTER BEDROOM	3' 0"	8' 0"	3' 3"	8' 1 1⁄2"	3' 4"	8' 2"	TYPE D	SOLID CORE	WOOD
D211	BEDROOM 2	3' 0"	8' 0"	3' 3"	8' 1 1⁄2"	3' 4"	8' 2"	TYPE D	SOLID CORE	WOOD
D212	PATIO	3' 0"	8' 0"	37 3⁄8"	97 5⁄16"	38 3⁄8"	97 13⁄16"	TYPE D	SOLID CORE	WOOD
D213	ENSUITE	2' 6"	8' 0"	2' 9"	8' 1 1⁄2"	3' 0"	8' 2"	TYPE F	OBSCURE GLASS	WOOD
D214	TOILET	2' 6"	8' 0"	2' 9"	8' 1 1⁄2"	3' 0"	8' 2"	TYPE F	OBSCURE GLASS	WOOD
D215	SHOWER	2' 6"	8' 0"	2' 9"	8' 1 1⁄2"	3' 0"	8' 2"	TYPE F	OBSCURE GLASS	
D216	SHOWER	2' 6"	8' 0"	2' 9"	8' 1 1⁄2"	3' 0"	8' 2"	TYPE F	OBSCURE GLASS	



PROJECT

CUSTOM HOME RESIDENCE

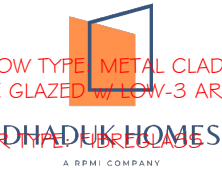
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ISSUED:

NO.	ISSUE	DATE
1.	ISSUED FOR DP	07-13-2023
2.	ISSUED FOR BP	09-22-2023
3.	RE ISSUED ELEVATIONS FOR BP	05-24-2024
4.	RE ISSUE FOR DP	09-07-2024
5.	RE ISSUE FOR BP	08-24-2024
6.	RE ISSUE FOR BP	09-08-2024
7.	RE ISSUE FOR BP	11-05-2024

CONCEPT & BUILDER:

NOTES:
1) WINDOW TYPE: METAL CLAD/VINYL,
DOUBLE GLAZED w/ LOW-3 ARGON



2) DOOR TYPE: FIBERGLASS
3) ALL DOOR AND WINDOW SIZE TO BE
CONFIRMED WITH CONTRACTOR AND
WINDOW / DOOR SUPPLIER AS EACH
WINDOW TYPE ARE DIFFERENT PROFILE.

DRAWING INFORMATION:

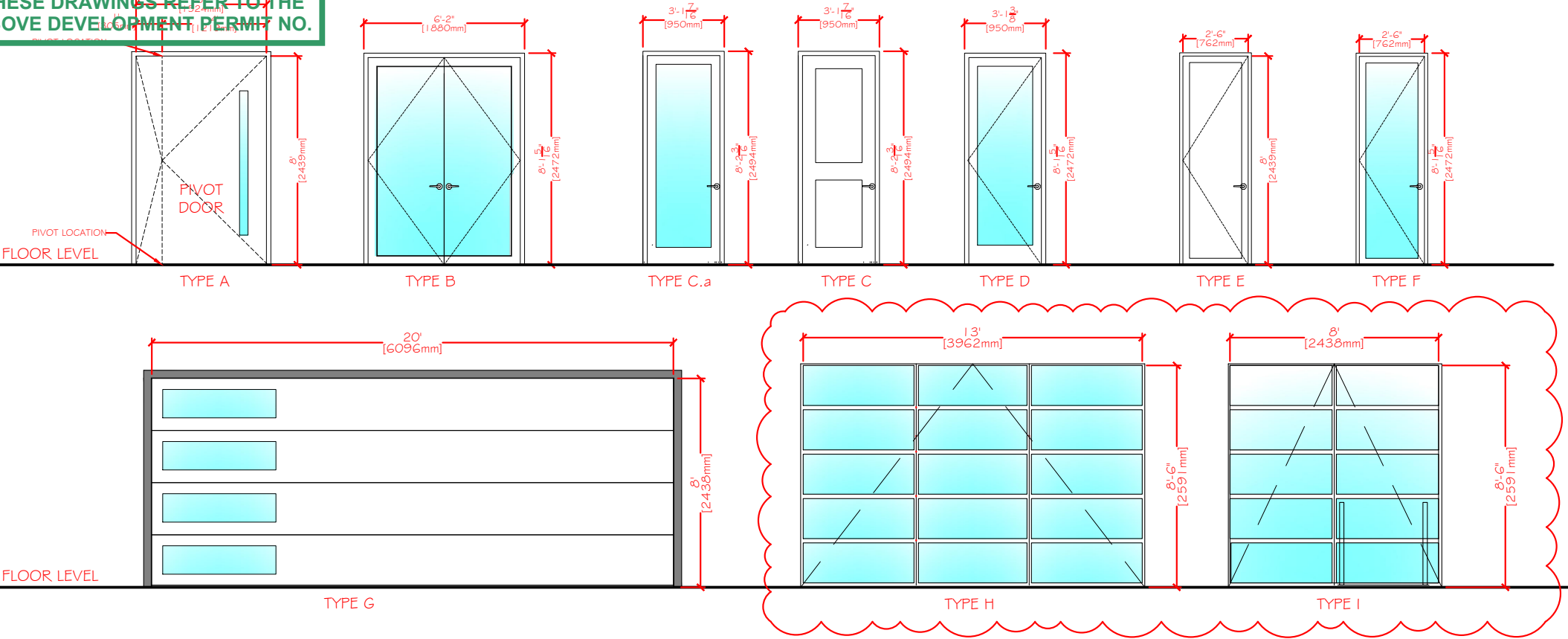
CLIENT:
ADDRESS: 3204 14th STREET SW
LOCATION: CALGARY
DRAWN BY: KT
LEGAL PLAN: PLAN 7080 AJ , BLOCK 84,
LOTS 26 & 27

DRAWING NO: 18
DRAWING TITLE: DOOR SCHEDULE
SHEET: A.17
SCALE: 3/16"= 1'0"
REV. 0

AMENDED DRAWINGS

DP No Date Received
DP2024-05405 NOV 07 2024

THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.



NOTE :
ALL DOOR AND WINDOW SIZE TO BE CONFIRMED
WITH CONTRACTOR AND WINDOW / DOOR
SUPPLIER AS EACH WINDOW TYPE ARE DIFFERENT
PROFILE.

1 DOOR SCHEDULE - PART 2
A.18



PROJECT

CUSTOM HOME RESIDENCE

STAMP

ISSUED:

NO.	ISSUE	DATE
1.	ISSUED FOR DP	07-13-2023
2.	ISSUED FOR BP	09-22-2023
3.	RE ISSUED ELEVATIONS FOR BP	05-24-2024
4.	RE ISSUE FOR DP	09-07-2024
5.	RE ISSUE FOR BP	08-24-2024
6.	RE ISSUE FOR BP	09-08-2024
7.	RE ISSUE FOR BP	11-05-2024

CONCEPT & BUILDER:

NOTES:
1) WINDOW TYPE: METAL CLAD/VINYL,
DOUBLE GLAZED w/ LOW-3 ARGON

2) DOOR TYPE: FIBERGLASS

3) ALL DOOR AND WINDOW SIZE TO BE
CONFIRMED WITH CONTRACTOR AND
WINDOW / DOOR SUPPLIER AS EACH
WINDOW TYPE ARE DIFFERENT PROFILE.

DRAWING INFORMATION:

CLIENT:

ADDRESS: 3204 14th STREET SW

LOCATION: CALGARY

DRAWN BY: KT

LEGAL PLAN: PLAN 7080 AJ , BLOCK 84,
LOTS 26 & 27

DRAWING NO: 19

DRAWING TITLE: DOOR SCHEDULE

SHEET: A.18

SCALE: 3/16"= 1'0"

REV. 0

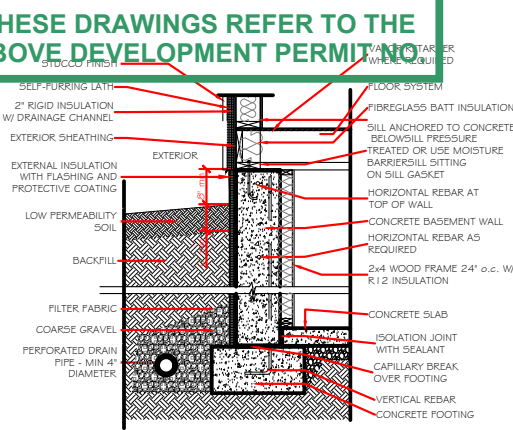
AMENDED DRAWINGS
DP No Date Received
DP2024-05405 NOV 07 2024
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.



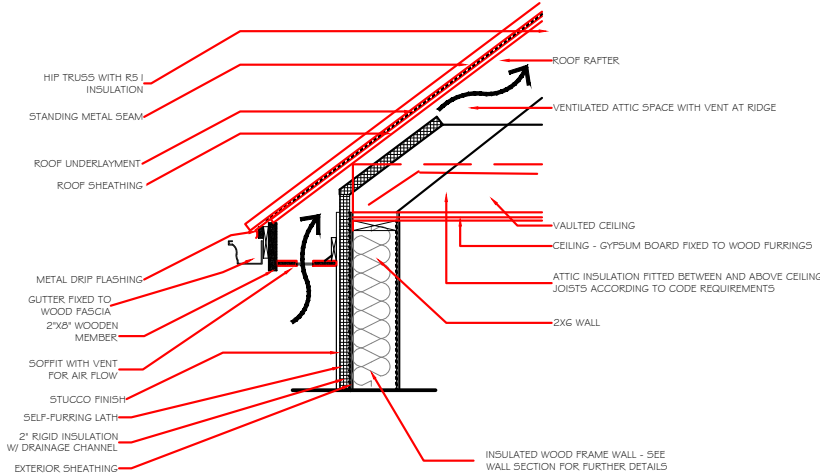
PROJECT

CUSTOM HOME RESIDENCE

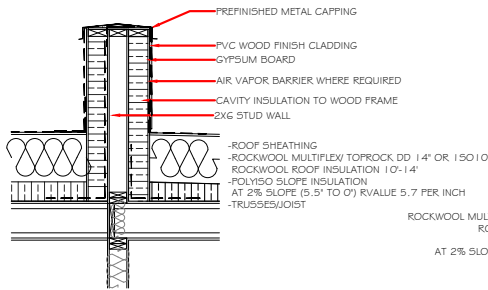
STAMP



1 ALUMINUM LAP SIDING JUNCTION WITH FLOOR/FOUNDATION
A.19 SCALE:NTS

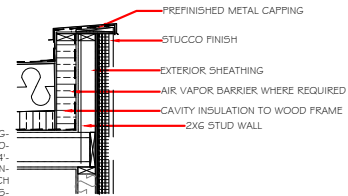


2 SLOPED ROOF
A.19 SCALE:NTS

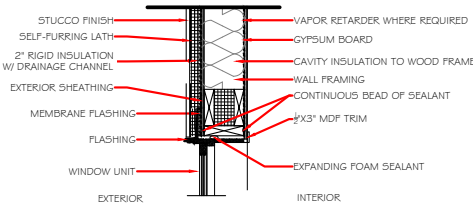


PARAPET DETAIL

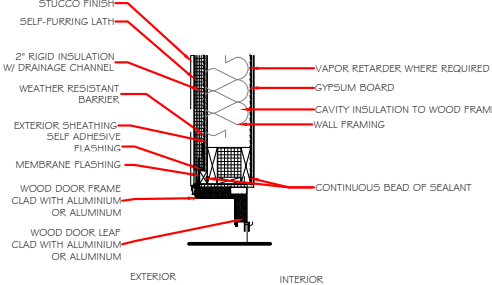
3 PARAPET DETAILS
A.19 SCALE:NTS



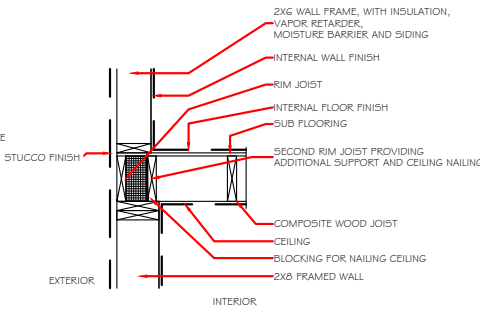
TYPICAL PARAPET DETAIL



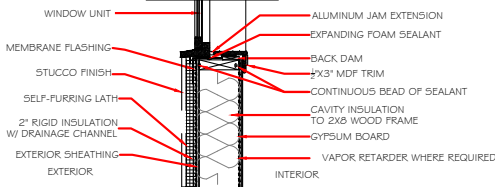
4 ALUMINUM LAP SIDING WINDOW HEAD
A.19 SCALE:NTS



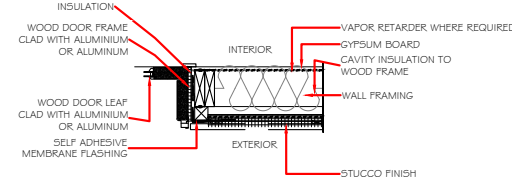
5 GENERAL OPENINGS DOOR HEAD JAMB
A.19 SCALE:NTS



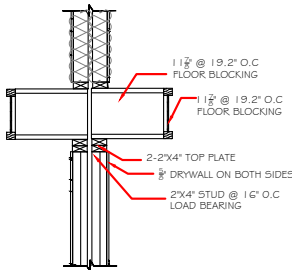
6 JOISTS AT EXTERIOR WALL
DOUBLE RIM JOISTS PARALLEL TO WALL
A.19 SCALE:NTS



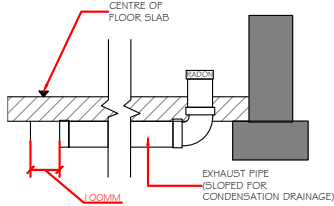
7 ALUMINUM LAP SIDING
WINDOW SILL
A.19 SCALE:NTS



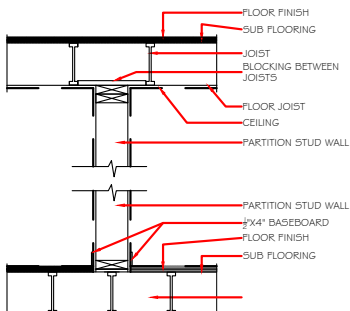
8 GENERAL OPENINGS DOOR SIDE JAMB - PLAN
A.19 SCALE:NTS



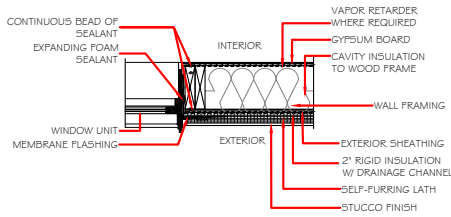
9 PARTY WALL DETAILS
A.19 SCALE:NTS



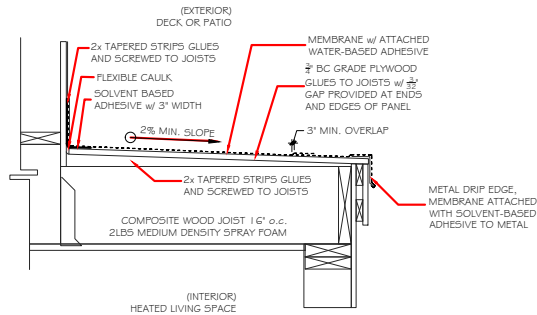
10 RADON ROUGH IN DETAIL
A.19 SCALE:NTS



11 JOISTS AT PARTITION WALL
JOISTS PARALLEL TO WALL
A.19 SCALE:NTS



12 ALUMINUM LAP SIDING
WINDOW JAMB - PLAN
A.19 SCALE:NTS



13 DECK ABOVE HEATED SPACE
A.19 SCALE:NTS

ISSUED:

NO.	ISSUE	DATE
1.	ISSUED FOR DP	07-13-2023
2.	ISSUED FOR BP	09-22-2023
3.	RE ISSUED ELEVATIONS FOR BP	05-24-2024
4.	RE ISSUE FOR DP	09-07-2024
5.	RE ISSUE FOR BP	08-24-2024
6.	RE ISSUE FOR BP	09-08-2024
7.	RE ISSUE FOR BP	11-05-2024

CONCEPT # BUILDER:



DHADUK HOMES
A BPMI COMPANY

DRAWING INFORMATION:

CLIENT:
ADDRESS: 3204 14th STREET SW
LOCATION: CALGARY
DRAWN BY: KT
LEGAL PLAN: PLAN 7080 AJ , BLOCK 84,
LOTS 26 & 27

DRAWING NO: 19
DRAWING TITLE: DETAILS
SHEET: A.19
SCALE: NTS
REV. 0



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ISSUED:

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1.	ISSUED FOR DP	07-13-2023
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5.	RE ISSUE FOR BP	08-24-2024
6.	RE ISSUE FOR BP	09-08-2024
7.	RE ISSUE FOR BP	11-05-2024

CONCEPT & BUILDER:



DHADUK HOMES
A RPMI COMPANY

DRAWING INFORMATION:

CLIENT:

ADDRESS: 3204 14th STREET SW

LOCATION: CALGARY

DRAWN BY: KT

LEGAL PLAN: PLAN 7080 AJ , BLOCK 84,
LOTS 26 & 27

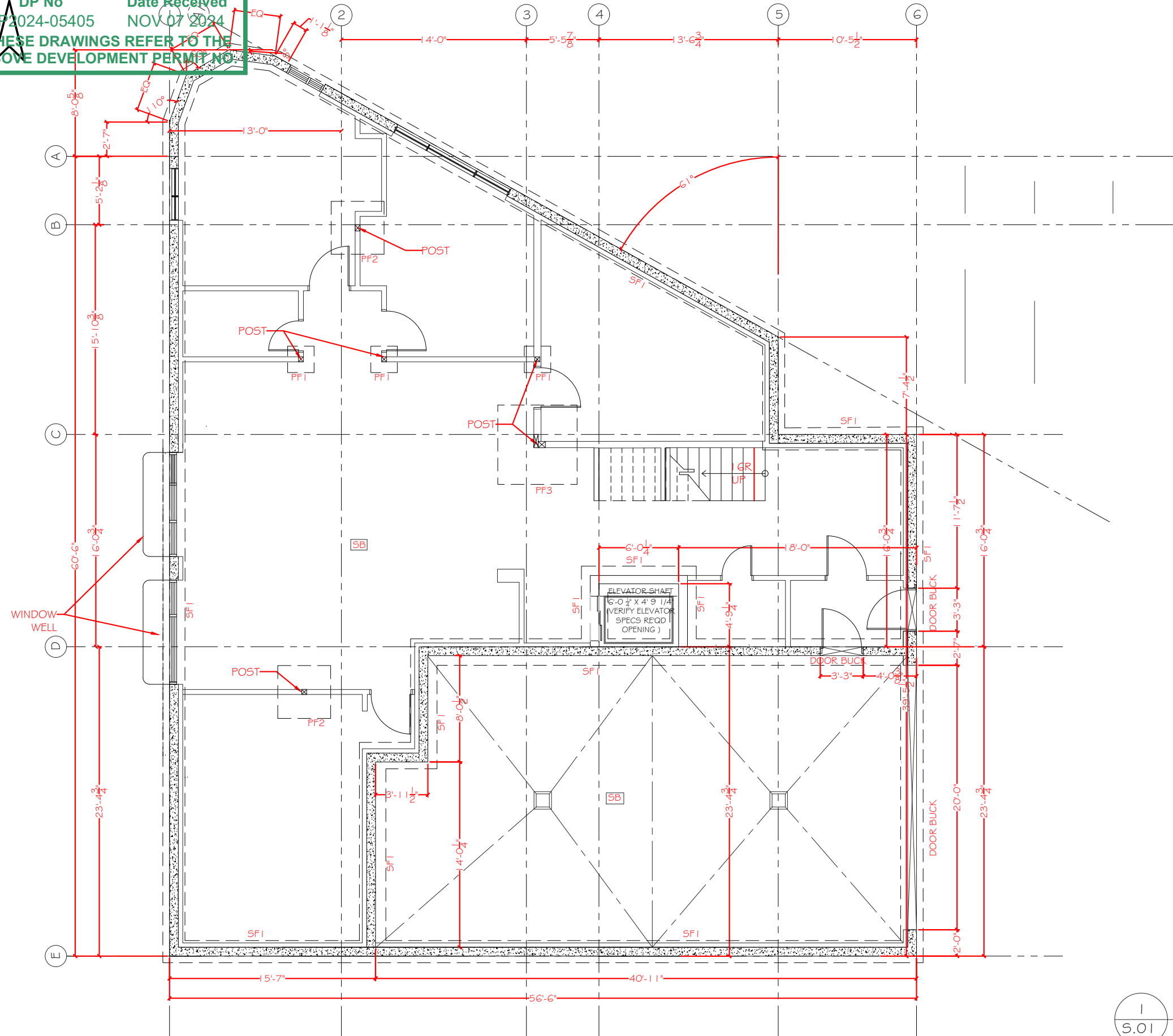
DRAWING NO: 23

DRAWING TITLE: FOUNDATION PLAN

SHEET: S.01

SCALE: $1/8" = 1'0"$

REV. 0



SDAB2024-0080

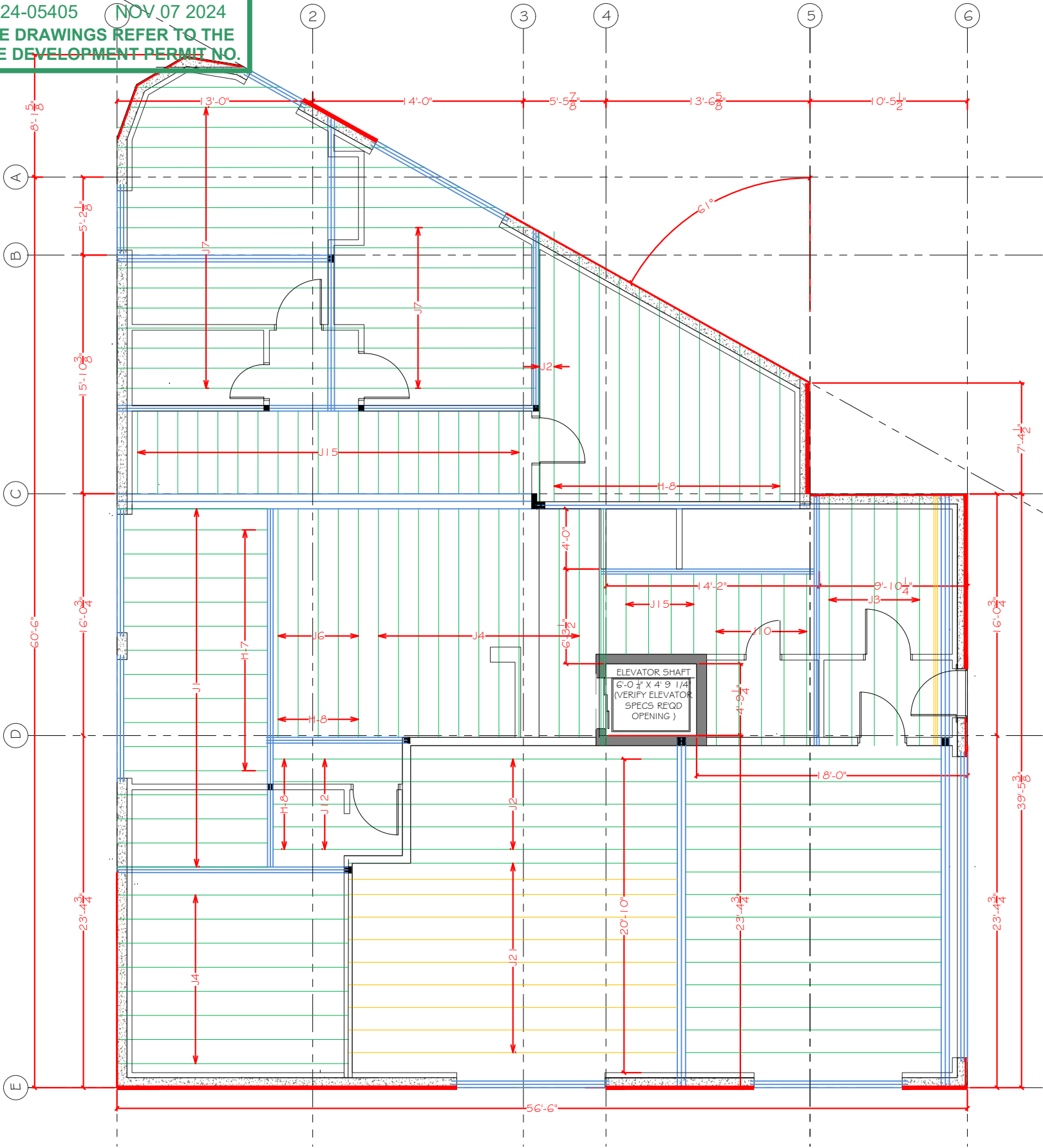
FOUNDATION PLAN

AMENDED DRAWINGS

DP No
DF2024-05405

Date Received
NOV 07 2024

THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.



PROJECT

CUSTOM HOME RESIDENCE

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5.	RE ISSUE FOR BP	08-24-2024
6.	RE ISSUE FOR BP	09-08-2024
7.	RE ISSUE FOR BP	11-05-2024

CONCEPT & BUILDER:



DRAWING INFORMATION:

CLIENT:
ADDRESS: 3204 14th STREET SW
LOCATION: CALGARY
DRAWN BY: KT
LEGAL PLAN: PLAN 7080 AJ , BLOCK 84,
LOTS 26 & 27

DRAWING NO: 23
DRAWING TITLE: MAIN FLOOR FRAMING PLAN
SHEET: S.02
SCALE: 1/8"=1'0"
REV. 0

1
S.02 MAIN FLOOR FRAMING PLAN

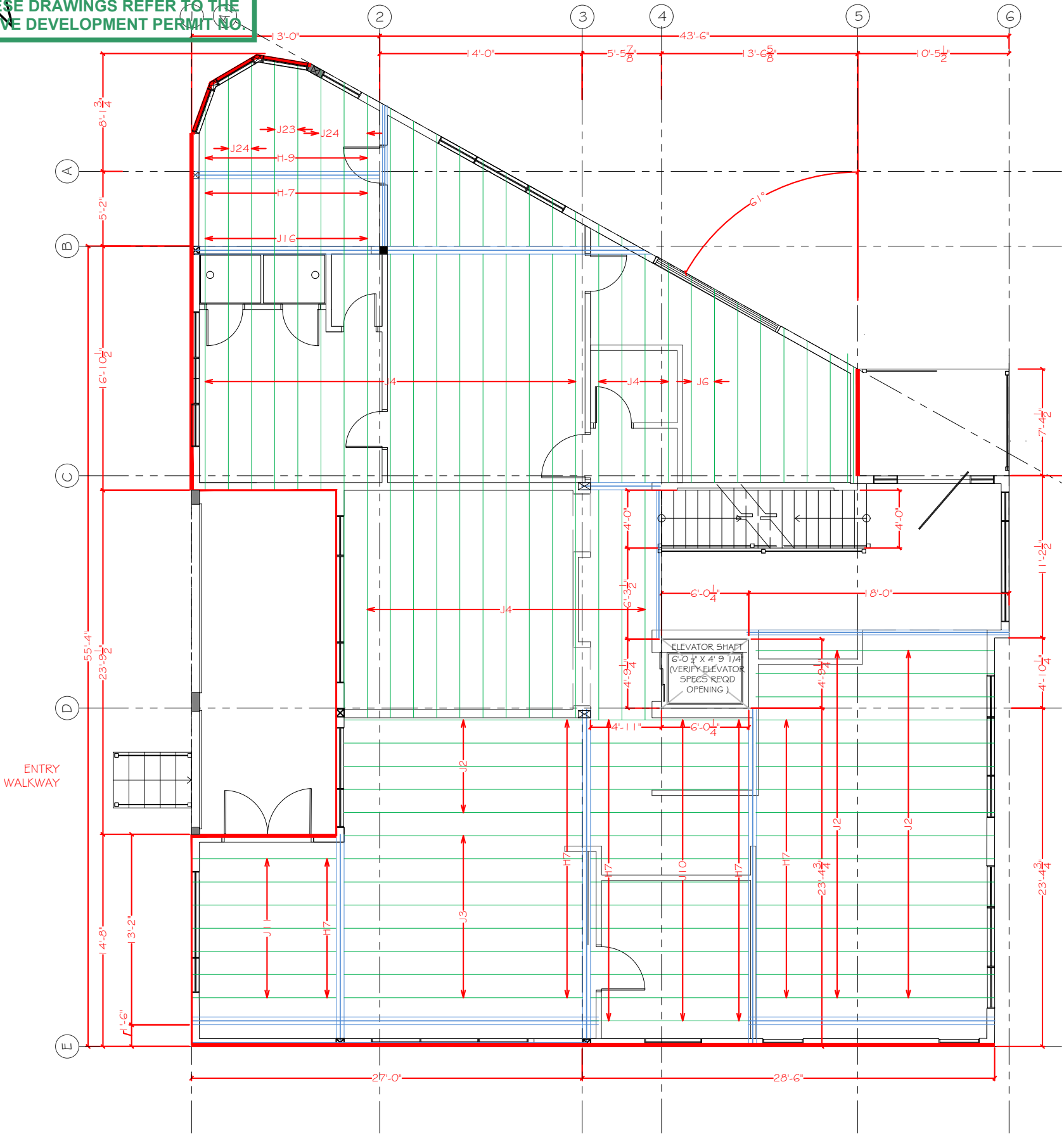
AMENDED DRAWINGS

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DP No
DF2024-05405

Date Received
NOV 07 2024

THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.



SDAB2024-0080



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5.	RE ISSUE FOR BP	08-24-2024
6.	RE ISSUE FOR BP	09-08-2024
7.	RE ISSUE FOR BP	11-05-2024

CONCEPT & BUILDER:



DRAWING INFORMATION:

CLIENT:
ADDRESS: 3204 14th STREET SW
LOCATION: CALGARY
DRAWN BY: KT
LEGAL PLAN: PLAN 7080 AJ , BLOCK 84,
LOTS 26 & 27

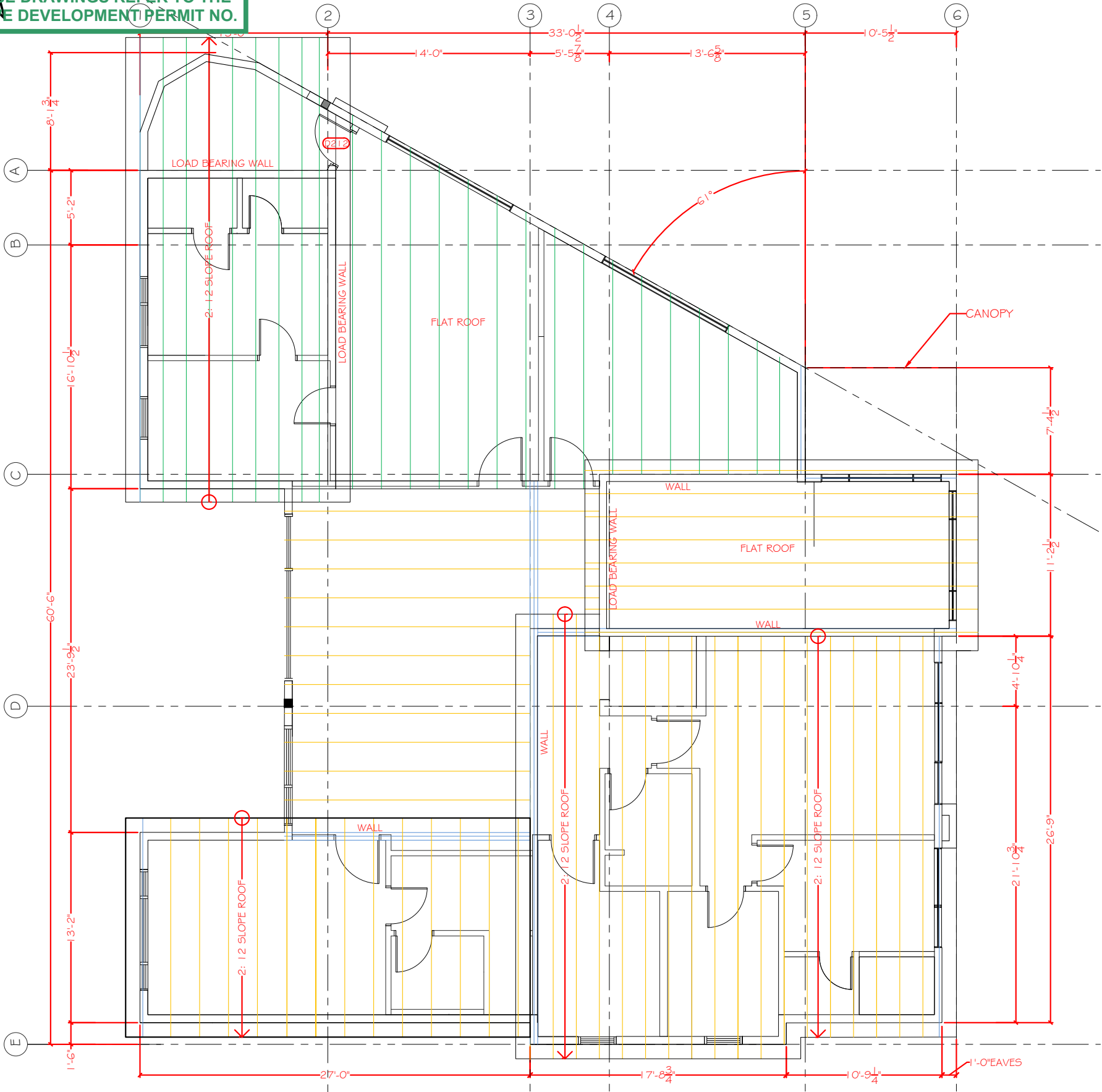
DRAWING NO: 23
DRAWING TITLE: SECOND FLOOR FRAMING PLAN
SHEET: S.03
SCALE: 1/8"= 1'0"
REV. 0

1

S.03

SECOND FLOOR FRAMING PLAN

AMENDED DRAWINGS
DP No. DP2024-05405
Date Received NOV 07 2024
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.



SDAB2024-0080

1 ROOF FRAMING PLAN
S.04



PROJECT

CUSTOM HOME RESIDENCE

STAMP

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1.	ISSUED FOR DP	07-13-2023
2.	ISSUED FOR BP	09-22-2023
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4.	RE ISSUE FOR DP	09-07-2024
5.	RE ISSUE FOR BP	08-24-2024
6.	RE ISSUE FOR BP	09-08-2024
7.	RE ISSUE FOR BP	11-05-2024

CONCEPT & BUILDER:



DRAWING INFORMATION:

CLIENT:
ADDRESS: 3204 14th STREET SW
LOCATION: CALGARY
DRAWN BY: KT
LEGAL PLAN: PLAN 7080 AJ , BLOCK 84,
LOTS 26 & 27

DRAWING NO: 24
DRAWING TITLE: ROOF FRAMING PLAN
SHEET: S.04
SCALE: 1/8" = 1'0"
REV. 0

AMENDED DRAWINGS
DP No Date Received
DP2024-05405 NOV 07 2024
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.



PROJECT

CUSTOM HOME RESIDENCE

STAMP

ISSUED:

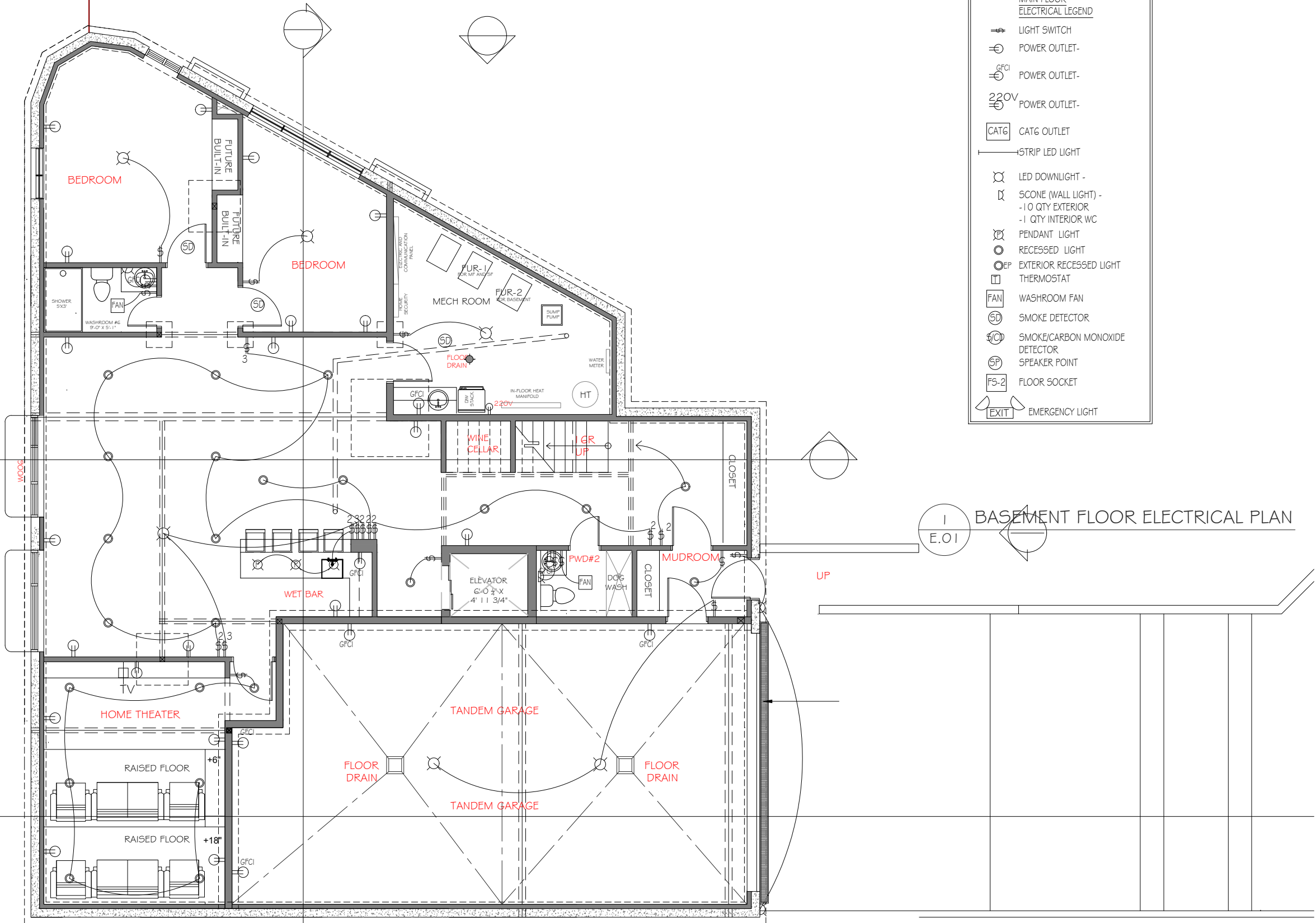
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1.	ISSUED FOR DP	07-13-2023
2.	ISSUED FOR BP	09-22-2023
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4.	RE ISSUE FOR DP	09-07-2024
5.	RE ISSUE FOR BP	08-24-2024
6.	RE ISSUE FOR BP	09-08-2024
7.	RE ISSUE FOR BP	11-05-2024

CONCEPT & BUILDER:



DRAWING INFORMATION:

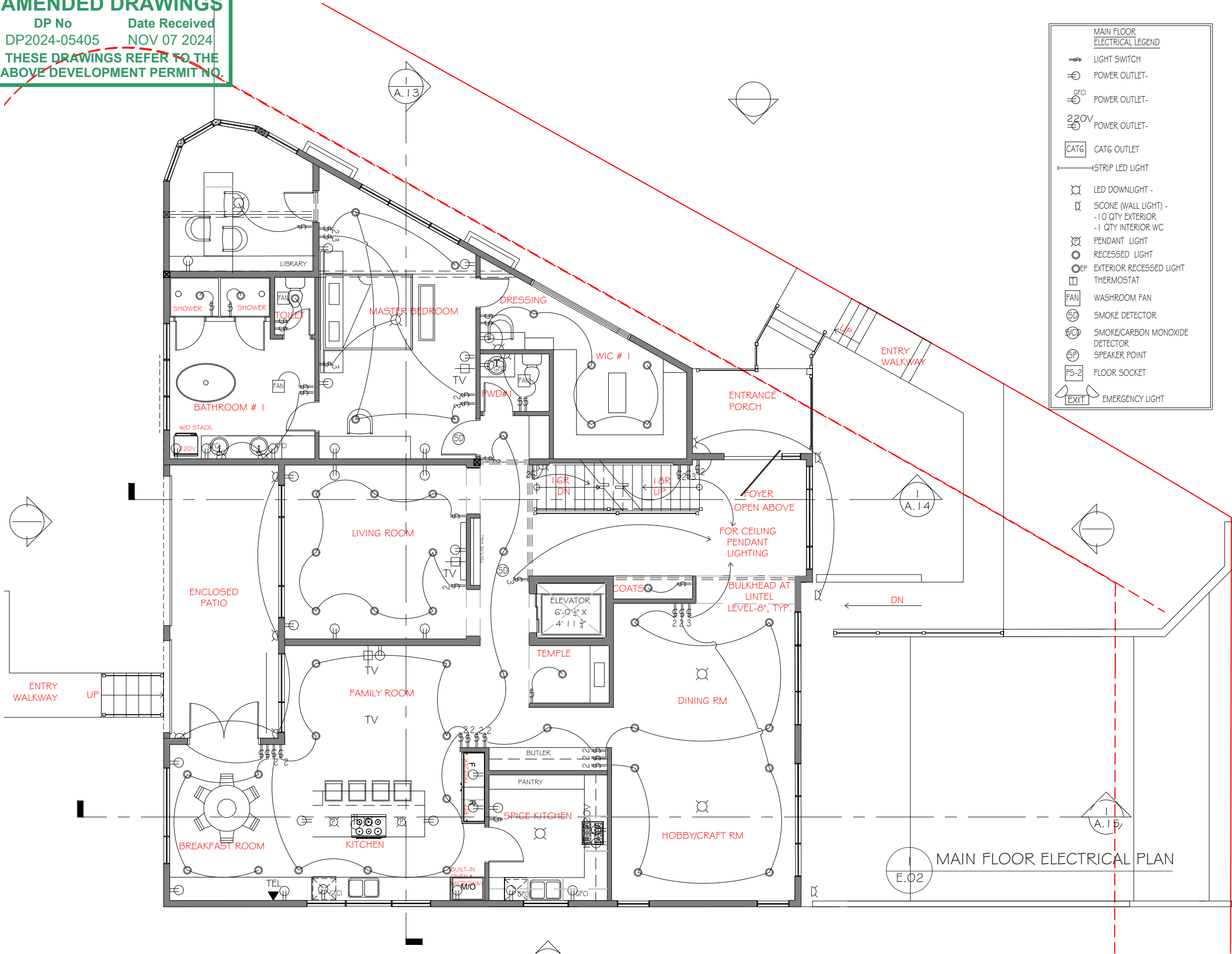
CLIENT:	
ADDRESS:	3204 14th STREET SW
LOCATION:	CALGARY
DRAWN BY:	KT
LEGAL PLAN:	PLAN 7080 AJ , BLOCK 84, LOTS 26 & 27
DRAWING NO:	20
DRAWING TITLE:	BASEMENT FLOOR ELE. PLAN
SHEET:	E.01
SCALE:	3/16" = 1'0"
REV.	0



MAIN FLOOR
ELECTRICAL LEGEND

- LIGHT SWITCH
- POWER OUTLET-
- GFCI POWER OUTLET-
- 220V POWER OUTLET-
- CAT6 CAT6 OUTLET
- STRIP LED LIGHT
- LED DOWNLIGHT -
- SCONE (WALL LIGHT) -
- 10 QTY EXTERIOR
- 1 QTY INTERIOR WC
- PENDANT LIGHT
- RECESSED LIGHT
- EXTERIOR RECESSED LIGHT
- THERMOSTAT
- FAN WASHROOM FAN
- SMOKE DETECTOR
- SMOKE/CARBON MONOXIDE DETECTOR
- SPEAKER POINT
- FLOOR SOCKET
- EXIT EMERGENCY LIGHT

AMENDED DRAWINGS
DP No Date Received
DP2024-05405 NOV 07 2024
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.



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5.	RE ISSUE FOR BP	08-24-2024
6.	RE ISSUE FOR BP	09-08-2024
7.	RE ISSUE FOR BP	11-05-2024

CONCEPT & BUILDER:



DRAWING INFORMATION:

CLIENT:
ADDRESS: 3204 14th STREET SW
LOCATION: CALGARY
DRAWN BY: KT
LEGAL PLAN: PLAN 7080 AJ , BLOCK 84,
LOTS 26 & 27

DRAWING NO: 21
DRAWING TITLE: MAIN FLOOR ELE. PLAN
SHEET: E.02
SCALE: 3/16" = 1'0"
REV. 0

AMENDED DRAWINGS
DP No Date Received
DP2024-05405 NOV 07 2024
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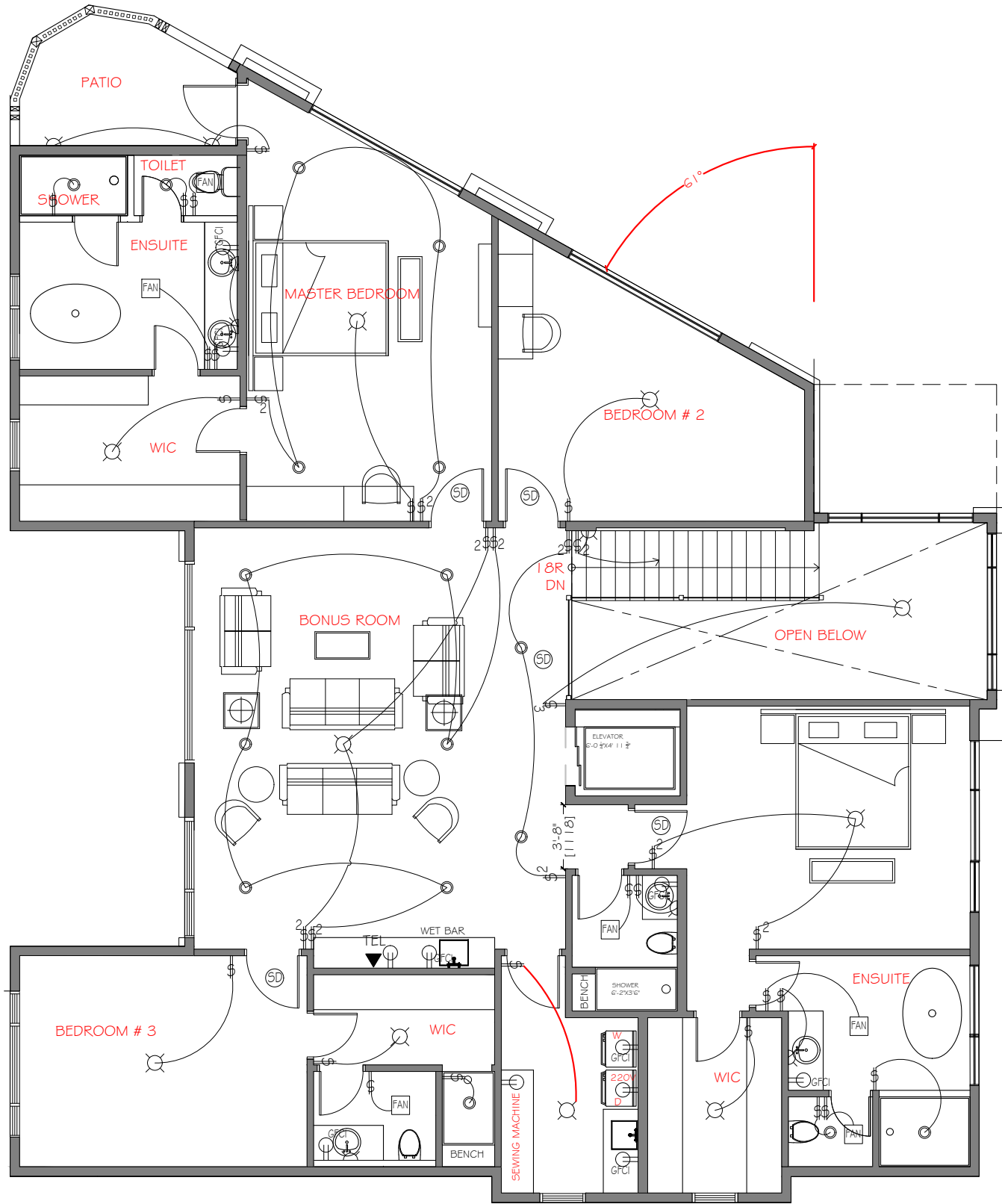
CONCEPT & BUILDER:



DRAWING INFORMATION:

CLIENT:
ADDRESS: 3204 14th STREET SW
LOCATION: CALGARY
DRAWN BY: KT
LEGAL PLAN: PLAN 7080 AJ , BLOCK 84,
LOTS 26 & 27

DRAWING NO: 22
DRAWING TITLE: FIRST FLOOR ELE. PLAN
SHEET: E.03
SCALE: 3/16"= 1'0"
REV. 0



MAIN FLOOR
ELECTRICAL LEGEND

LIGHT SWITCH

POWER OUTLET-

POWER OUTLET-
GFCI

POWER OUTLET-
220V

CAT6 OUTLET

STRIP LED LIGHT

LED DOWNLIGHT -

SCONE (WALL LIGHT) -
- 10 QTY EXTERIOR
- 1 QTY INTERIOR WC

PENDANT LIGHT

RECESSED LIGHT

EXTERIOR RECESSED LIGHT

THERMOSTAT

WASHROOM FAN

SMOKE DETECTOR

SMOKE/CARBON MONOXIDE
DETECTOR

SPEAKER POINT

FLOOR SOCKET

EMERGENCY LIGHT

1
E.03 SECOND FLOOR ELECTRICAL PLAN