

**REPORT TO THE SUBDIVISION AND
DEVELOPMENT APPEAL BOARD**

DATE: July 24, 2025	APPEAL NO.: SDAB2025-0084 FILE NO.: DP2024-07430
APPEAL BY: Allan Rodbourne, represented by Carol McClary	
FROM A DECISION OF THE DEVELOPMENT AUTHORITY where a New: Dwelling Unit (2 buildings), Secondary Suite (5 suites), Accessory Residential Building (garage) was approved at <u>1511 8 Avenue SE.</u>	LAND USE DESIGNATION: H-GO Permitted with a Relaxation
COMMUNITY OF: Inglewood	DATE OF DECISION: June 4, 2025
APPLICANT: John Trinh & Associates	OWNERS: Francesco Cerato & Ana Maria Medina Rojas

Notes:

- Notice has been given of the hearing pursuant to the *Municipal Government Act* and Land Use Bylaw, including notices to parties who may be affected by the appeal. The final determination of whether a party is an “affected person” will be made by the Board if required.
- This Report is provided as a courtesy only. The Board’s record may include additional materials, including notifications to affected parties and correspondence of a procedural or administrative nature. The Board’s record may be viewed at the Appeal Board office at: 4th Floor, 1212 31 Avenue NE, Calgary, Alberta during regular office hours.



NOTICE OF APPEAL SUBDIVISION AND DEVELOPMENT APPEAL BOARD

CC 821 (R2025-02)

Important Notice: This PDF was designed to be filled in with Adobe Acrobat Reader. Download the form to your desktop and use Adobe Acrobat Reader to open, complete and submit this form. If you are using Edge or Chrome browser some fields will not work as intended and your form may not submit.

In accordance with Sections 678 and 686 of the *Municipal Government Act* and The City of Calgary Bylaw 25P95, as amended, an appeal to the Subdivision and Development Appeal Board must be filed within the legislated time frame and each Notice of Appeal must be accompanied by the legislated fee. For filing instructions and fee payment options, see the reverse side of this form.

Site Information		Municipal Address of Site Under Appeal 1511 8 Ave SE Calgary		Development Permit/Subdivision Application/File Number DP 2024-007430	
Appellant Information - must name all appellants					
Name of Appellant Allan Rodbourne			Agent Name (if applicable) Carol McClary		
Street Address (for notification purposes) 1513 8 Ave SE					
City Calgary	Province Alberta	Postal Code T2G 0N4	Residential Phone # 403 968-6654		
Business Phone #	Email Address alrodbourne@me.com				

APPEAL AGAINST (Check one box only: for multiple appeals you must submit another Notice of Appeal)

Development Permit	Subdivision Application	Notice of Order
<input checked="" type="checkbox"/> Approval	<input type="checkbox"/> Approval	<input type="checkbox"/> Notice of Order
<input type="checkbox"/> Conditions of Approval	<input type="checkbox"/> Conditions of Approval	
<input type="checkbox"/> Refusal	<input type="checkbox"/> Refusal	

REASONS FOR APPEAL Sections 678 and 686 of the *Municipal Government Act* require that the written Notice of Appeal must contain specific reasons for the appeal.

I do hereby appeal the decision of the Subdivision/Development Authority for the following reasons (Attach a separate page if required):

Attached **REASONS FOR APPEAL DP2024 - 007430**

In order to assist the Board in scheduling, please answer the following questions to the best of your ability:

Estimated presentation time (minutes/hours) ONE HOUR PLUS	Will you be using an agent/legal counsel? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Unknown
Do you anticipate any preliminary issues with your appeal? (i.e. jurisdiction, parties status as affected persons, adjournment, etc.) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Unknown	
If yes, what are the issues?	
Do you anticipate bringing any witnesses/experts to your hearing? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Unknown	If yes, how many will you be bringing? TWO TO FOUR

This personal information is collected under the authority of the *Freedom of Information and Protection of Privacy Act*, Section 33(c) and the *Municipal Government Act*, Sections 678 and 686. **NOTE: THIS INFORMATION WILL FORM PART OF A FILE AVAILABLE TO THE PUBLIC.** If you have any questions regarding the collection of this information, contact the City Appeal Boards at 403-268-5312 or PO Box 2100 Stn. "M", #8110, Calgary, AB, T2P 2M5

Signature of Appellant / Agent 	Date YYYY MM DD 2025 06 24
------------------------------------	----------------------------------

FOR OFFICE USE ONLY					
Final Date of Appeal YYYY MM DD	SDAB Appeal Number	Fee Paid <input type="checkbox"/> Yes <input type="checkbox"/> No	Hearing Date YYYY MM DD	Date Received	RECEIVED JUN 25 2025

ISC Unrestricted

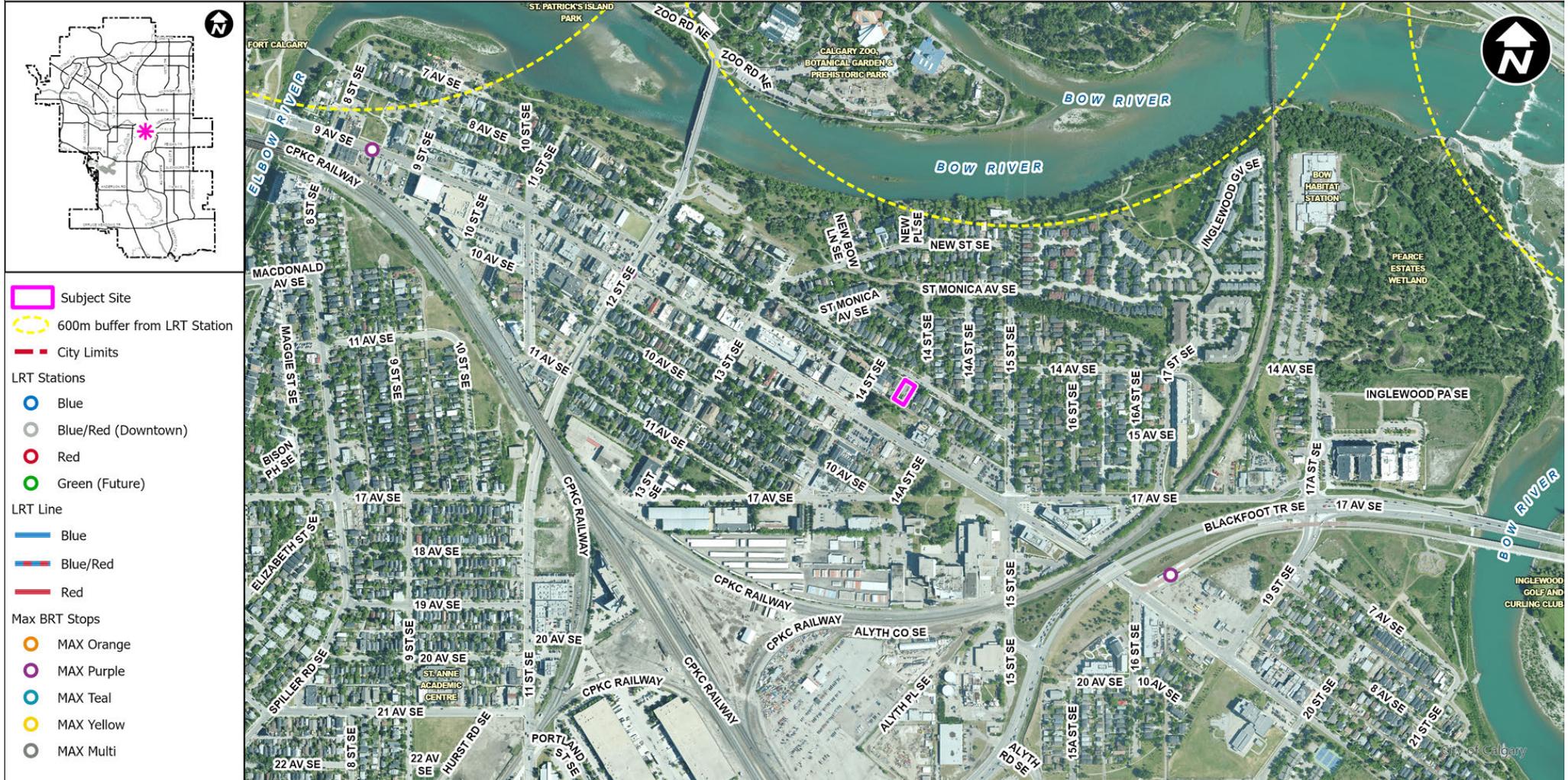
Reasons for Appeal - DP2024-007430

Address: 1511 – 8 Avenue SE – Community of Inglewood

We are opposed to the proposed development of the Dwelling Units (2 buildings), Secondary Suite (5 suites), Accessory Residential Building (garage) for the following reasons:

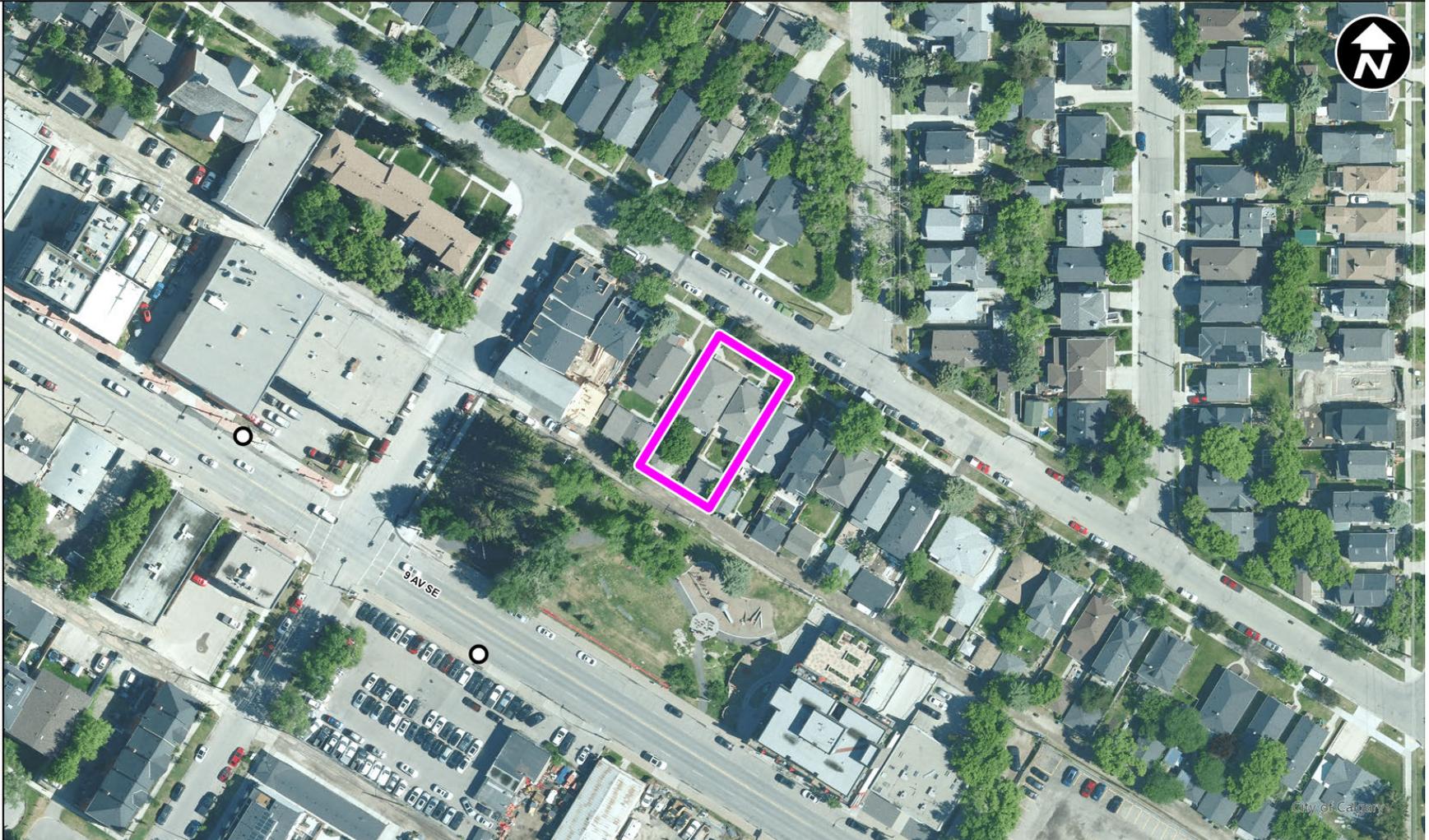
1. A relaxation was granted for the separation between two main residential building. Section 1393 of Land Use Bylaw 1P2007 requires a minimum separation distance between two buildings. The proposed location of the two buildings is less than required.
2. Several other relaxations to the rules of Land Use Bylaw 1P2007 were granted and development as approved will have an adverse effect on the surrounding residential dwellings and the adjacent park.
3. The proposed development does not respect or sensitively integrate with the existing development on the block or in the immediate area of the community.
4. The proposed two buildings, containing five Dwelling Units with Secondary Suites, and an accessory residential building are designed and sited on the subject parcel to maximize and exceed the building envelope and to create privacy and overlooking concerns.
5. The proposed development is contrary to the policies of the Inglewood Area Redevelopment Plan and the Municipal Development Plan.
6. Other relaxations may be apparent after close examination of the approved plans and material found in the development permit file. Further negative impacts will be discussed.

Community Context SDAB2025-0084



Site Context SDAB2025-0084

- Subject Site
- 600m buffer from LRT Station
- City Limits
- LRT Stations
 - Blue
 - Blue/Red (Downtown)
 - Red
 - Green (Future)
- LRT Line
 - Blue
 - Blue/Red
 - Red
- Max BRT Stops
 - MAX Orange
 - MAX Purple
 - MAX Teal
 - MAX Yellow
 - MAX Multi
 - Bus Stop





June 6, 2025

JOHN TRINH & ASSOCIATES

John Trinh



Dear Applicant:

RE: Notification of Decision: DP2024-07430

Subject: New: Dwelling Unit (2 buildings), Secondary Suite (5 suites), Accessory Residential Building (garage)

Address: 1511 8 AV SE

This is your notification of decision by the Development Authority to approve the above noted application on June 4, 2025.

Read all of the Permanent Conditions of approval carefully as they form part of the approval decision. The Prior to Release Requirements must be met to the satisfaction of the Development Authority before your Development Permit will be released to you. The Permanent Conditions form part of the approval decision. Advisory Comments, if applicable, are also attached and are intended to be of assistance in obtaining additional permits and supplementary information for the successful completion of your development.

Development approved by this permit must commence by June 4, 2027 or the development permit shall cease to be valid. The decision will be advertised beginning June 12, 2025 at www.calgary.ca/publicnotices, which is the start of the mandatory 21-day appeal period. This appeal period will conclude at midnight July 3, 2025. Release of the permit will occur within 2-4 business days following the conclusion of the appeal period and upon receipt of all Prior to Release requirements.

If you wish to appeal, submit your appeal with reasons and the \$200.00 filing fee to the Subdivision and Development Appeal Board within 21 days of this notice of decision being given. The appeal may be filed online at www.calgarysdab.ca or in person or by mail.

Please note that this letter is to advise you of the conditions of approval, the mandatory advertising appeal period and the timeframe in which you may appeal this decision. If no appeals have been filed during the appeal period, and the Prior to Release conditions have been met, your Development Permit will be released. Should you require clarification of the above or further information, please contact me at (403) 200-8575 or by email at Wallace.Leung@calgary.ca and assist me by quoting the Development Permit number.

Yours truly,

Wallace Leung

Planning and Development
Attachment(s)



DEVELOPMENT PERMIT
LAND USE BYLAW NO 1P2007

DP2024-07430

This permit relates to land in the City of Calgary municipally described as:

1511 8 AV SE

Community: **Inglewood**

L.U.D.:**H-GO**

and legally described as:

A3;14;32,33

and permits the land to be used for the following development:

New: Dwelling Unit (2 buildings), Secondary Suite (5 suites), Accessory Residential Building (garage)

The present owner and any subsequent owner of the above described land must comply with any attached conditions.

The development has been approved subject to any attached conditions and to full compliance with the approved plans bearing the stamp of approval and the above development permit number.

Decision By: **Development Authority**

Date of Decision: **June 4, 2025**

Development Authority: **Rafal Cichowlas**

File Manager: **Wallace Leung**

Release Date: _____

This permit will not be valid if development has not commenced by: June 04, 2027

This Development Permit was advertised on: **June 12, 2025**

This is NOT a Building Permit

In addition to your Development Permit, a Building Permit may be required, prior to any work commencing. further information, you should contact the City of Calgary, Planning, Development & Assessment - Building Regulations Division.

WARNING

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Applicant: **JOHN TRINH & ASSOCIATES**

Address: **1039 20 AV SE**

City: **CALGARY, AB T2G 1M7**

Phone: **[REDACTED]**



**DEVELOPMENT PERMIT
LAND USE BYLAW NO 1P2007**

DP2024-07430

Complete Address and Legal Description listing for Development Permit DP2024-07430

Address Type	Address	Legal Description
Parcel	1511 8 AV SE	A3;14;32,33



Conditions of Approval – Development Permit

Application Number:	DP2024-07430
Application Description:	New: Dwelling Unit (2 buildings), Secondary Suite (5 suites), Accessory Residential Building (garage)
Land Use District:	Housing - Grade Oriented District (H-GO)
Use Type:	Permitted with a Relaxation
Site Address:	1511 8 AV SE
Community:	INGLEWOOD
Applicant:	JOHN TRINH & ASSOCIATES
Development Applications Review Team	
Planning:	WALLACE LEUNG (403) 200-8575 Wallace.Leung@calgary.ca
Utility Engineering:	CHRIS FLEETWOOD (403) 268-5690 Chris.Fleetwood@calgary.ca
Mobility Engineering:	IRIS YE 403-268-1657 Iris.Ye@calgary.ca

Prior to Release Requirements

The following requirements shall be met prior to the release of the permit. All requirements shall be resolved to the satisfaction of the Approving Authority:

Planning

1. Submit a complete digital set of the amended plans in PDF format and a separate PDF that provides a point-by-point explanation as to how each of the Prior to Release conditions were addressed and/or resolved. The submitted plans must comprehensively address the Prior to Release conditions as specified in this document. Ensure that all plans affected by the revisions are amended accordingly. To arrange the digital submission, please contact your File Manager directly.
2. Please submit the balance of the fee **\$30.00** required for your Development Permit for the advertising fees given that this is a permitted use with bylaw discrepancies.

Please make the payment by one of the following payment options listed below:

- 1) Online using [shopping cart](#). Click the myID User Access sign in button to begin.

Track your application on-line with VISTA. Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

2) Payment over the phone by credit card- call 403-268-5311. Please have your permit number available.

3) Pay by cheque and mail to:

The City of Calgary
Attention: Planning Cashiers- 8108
PO BOX 2100 STN M
Calgary, AB T2P 2M5

4) In Person:

Planning Services Counter
3rd Floor Calgary Municipal Building
800 Macleod Trail SE, Calgary AB
8:00 a.m. to 4:15 p.m., Monday to Friday

Note: Before you can make a payment online, you must create a myID business account using your Business ID (BID, available in your Start a Business confirmation email). Once completed, you will be able use the link above, sign in with your myID business account and make payment for the outstanding fees. If you receive an error that the email address on your business licence does not match the email address on your myID account, please contact the Planning Services Centre.

3. Amend plans and address the following noted bylaw discrepancy.

Plans indicate 2 motor vehicle parking stalls with a width of 2.84m (-0.01m), where one side abuts a physical barrier.

See Section 122 Standards for Motor Vehicle Parking Stalls 4(b) in Land Use Bylaw 1P2007 for more information.

Utility Engineering

4. Amend the plans to:

Water Servicing:

a. Indicate (show / label) adequate Water Meter Area(s), where the services (50mm and smaller) enter each building, internal to each building (within the basement levels of each building).

Note / update:

-Water meter areas are to be located where the services enter each building (i.e. in the basement level for each building).

If there is a basement for each building, the water meter areas shall not be shown / proposed within the main floor levels. Also, water meter areas must not be located beneath stairs and / or are to be proposed in areas with a minimum 2.0m vertical clearance.

-The water meter area (for each building) shall also house all meters (for each unit).

For further information, contact Utility Specialists at:
 WA-ResourcesDevelopmentApprovals@calgary.ca OR 403-268-2693 OR
 jennifer.derbywagner@calgary.ca.

5. Submit an electronic Development Site Servicing Plan (DSSP) circulation, for review and acceptance, as required by Section 5 (2) of the Utility Site Servicing Bylaw 33M2005.

For further information, refer to the following:

Development Site Servicing Plan Webpage
<https://www.calgary.ca/uep/water/specifications/water-development-resources/development-site-servicing-plans.html>

Development Site Servicing Plans CARL (requirement list)
<http://www.calgary.ca/PDA/pd/Pages/Permits/carl-building-development-permit-search.aspx>

Note:

For further information, contact Utility Specialists at:
 WA-ResourcesDevelopmentApprovals@calgary.ca OR 403-268-2693 OR
 jennifer.derbywagner@calgary.ca.

6. After the Development Permit is approved but prior to its release, the landowner shall execute an Off-Site Levy Agreement for the payment of off-site levies pursuant to Bylaw 1H2024.

Based on the information provided with the initial submission, the preliminary estimate is \$9,420.80.

Note(s):

- Should payment be made prior to release of the development permit, an Off-Site Levy Agreement will not be required.
- Include the completed Payment Submission Form, which was emailed to the applicant.
- Only certified cheques or bank drafts made payable to the City of Calgary are acceptable.

To obtain an off-site levy agreement or for further information, contact the Infrastructure Strategist, Development Commitments, at 587-215-6253 OR
 yunpeng.qin@calgary.ca OR offsitelevy@calgary.ca.

Permanent Conditions

The following permanent conditions shall apply:

Planning

7. All rules of Land Use Bylaw 1P2007 apply, subject to any relaxations approved by the Development Authority in this development permit.
8. The development shall be completed in its entirety, in accordance with the approved plans and conditions. The stamped and signed plans are a legal document.
9. No changes to the approved plans shall take place unless authorized by the Development Authority. If changes to the development occur or are proposed, a new development permit or revised plan application may be required.
10. A development completion permit must be issued for the development before the use is commenced or the development occupied. A development completion permit is independent from the requirements of City of Calgary Building Regulations inspections and permission for occupancy. Request a development completion permit inspection by visiting inspections.calgary.ca or call 403-268-5311.
11. When the main floor of each building is constructed, submit the geodetic elevation to Geodetic.Review@Calgary.ca
12. No stockpiling or dumping of construction materials is permitted on the boulevard.
13. Any damage to public parks, boulevards or trees resulting from development activity, construction staging or materials storage, or construction access will require restoration at the developer's expense. The disturbed area shall be maintained until planting is established and approved by the Parks Development Inspector. Contact the Development Inspector, Jackie Swartz at 403-620-3216, for an inspection.

Any surface or subterranean damage to public parks resulting from the installation of building construction tie-backs or other construction practices requires remediation at the developer's expense, to the satisfaction of the Director, Parks. All materials associated with the encroachments must be removed and any subterranean and surface disturbances to the parcel must be remediated. All site remediations must be approved by the Parks Development Inspector. Contact the Development Inspector, Jackie Swartz at 403-620-3216, for an inspection.
14. There shall be no construction access through the adjacent boulevard / park / municipal reserve.

15. In order to ensure the integrity of existing public trees and roots, construction access is only permitted through the rear lane and outside the dripline of public tree(s), per the approved Tree Protection Plan.
16. Public trees located on the park / municipal reserve / boulevard adjacent to the development site shall be retained and protected unless otherwise authorized by Urban Forestry. Prior to construction, install a temporary fence around the extent of the branches ("drip line") and ensure no construction materials are stored inside this fence.
17. In order to ensure the integrity of existing public trees and roots, no grade changes are permitted in the boulevard within the drip lines of the trees.
18. In order to ensure the integrity of existing public trees and roots, there shall be a minimum 3 metre separation, ideally the full length of the canopy, between the trunk and any new/proposed structures, (i.e. driveways and walkways).

Utility Engineering

19. Single retaining walls 1.2m in height or greater or terraced retaining walls 1.2m in height or greater with a horizontal separation between walls of less than 3.6m (3x height) require the approval of a Building Permit prior to construction.

For retaining wall(s) that meet these criteria, the developer may either:

- a. Include the retaining walls with the Building Permit for the building, or
- b. Apply for a separate Building Permit for the retaining walls.

It should be noted that the Building Permit for the building on site will not be released until the separate Building Permit for site retaining walls is approved.

20. For all soil disturbing projects, the developer, or their representative, shall designate a person to inspect all erosion and sediment control practices a minimum of every seven (7) days and during, or within 24 hours of, the onset of significant precipitation (> 12mm of rain in 24 hours, or rain on wet or thawing soils) or snowmelt events. Note that some practices may require daily or more frequent inspection. Erosion and sediment control practices shall be adjusted to meet changing site and winter conditions.
21. Stormwater runoff must be contained and managed in accordance with the Stormwater Management & Design Manual all to the satisfaction of the Manager, Development Engineering.
22. The grades indicated on the approved Development Site Servicing Plan(s) must match the grades on the approved Development Permit plans. Upon a request from the Development Authority, the developer or owner of the titled parcel must confirm under seal from a Consulting Engineer or Alberta Land Surveyor, that the development was constructed in accordance with the grades submitted on the Development Permit and Development Site Servicing Plan.
23. If during construction of the development, the developer, the owner of the titled parcel, or any of their agents or contractors becomes aware of any contamination,

- a. the person discovering such contamination shall immediately report the contamination to the appropriate regulatory agency including, but not limited to, Alberta Environment, Alberta Health Services and The City of Calgary (311).
 - b. on City of Calgary lands or utility corridors, The City of Calgary, Environmental and Safety Management division shall be immediately notified (311).
- 24. No trees, shrubs, buildings, permanent structures or unauthorized grade changes are permitted within utility rights-of-way.
 - 25. The development site lies within the Flood Fringe and as such must conform to Land Use Bylaw 1P2007, Part 3, Division 3.
 - 26. Pursuant to Bylaw 1H2024, off-site levies are applicable.

After approval of the Development Permit but prior to issuance of a Development Completion Permit or any occupancy of the building, payment shall be made for off-site levies pursuant to Bylaw 1H2024.

Note(s):

-Include the completed Payment Submission Form, which was emailed to the applicant.

-Only certified cheques or bank drafts made payable to the City of Calgary are acceptable.

To obtain a final estimate contact the Infrastructure Strategist, Development Commitments, at 587-215-6253 OR yunpeng.qin@calgary.ca OR offsitelevy@calgary.ca.

Mobility Engineering

- 27. The developer shall be responsible for the cost of public work and any damage during construction in City road right-of-ways, as required by the Manager, Development Engineering. All work performed on public property shall be done in accordance with City standards.

Advisory Comments

The following advisory comments are provided as a courtesy to the Applicant and registered property owner. The comments represent some, but not all of the requirements contained in the Land Use Bylaw that must be complied with as part of this approval.

Planning

28. The Applicant may appeal the decision of the Development Authority, including any of the conditions of the development permit. If you decide to file an appeal, please refer to the notification of decision letter for the appropriate appeal body and appeal process.
29. The approval of this development permit does not limit in any way the application of any federal, provincial, or municipal law, policy, code, regulation, bylaw, and/or guideline, nor does it constitute any permit or permission under any federal, provincial, or municipal law, policy, code, regulation, bylaw, and/or guideline.
30. In addition to this development permit, building permits may also be required. Building permit applications may be submitted upon approval of the associated development permit. Contact Building Regulations at 403-268-5311 for further information.
31. This development permit has not been reviewed for potential issues with the National Building Code - current Alberta Edition. You may require a Building Permit in addition to this development permit in which case compliance with the Code will be assessed through a Building Permit application. Should a Building Permit review require changes to the approved development permit, the changes must be to the satisfaction of the Development Authority and are potentially subject to a new development permit.
32. There are many types of caveats and other agreements that can be registered on the title of the property that can restrict the ability to develop. The City has not reviewed or considered all instruments registered on the title to this property. Property owners must evaluate whether this development is in compliance with any documents registered on title.
33. The Streets Bylaw (20M88) and the Tree Protection Bylaw (23M2002) contain clauses intended to protect trees growing on Public Land. No person shall remove, move, cut, or prune a Public Tree or cause a Public Tree to be removed, moved, cut or pruned without prior written authorization from the Director, Parks. A copy of the bylaw can be found at www.calgary.ca. Parks does not permit the removal of public trees to facilitate development unless all options to retain and protect are exhausted.
34. If clearance pruning of public trees is required, Urban Forestry must be notified (minimum two business days notice) and an indemnified contractor must be used at the applicants expense. Please contact Urban Forestry at 311 for more information.

35. An Urban Forestry Technician must be on-site to mitigate possible root damage to adjacent public trees during the removal of the existing walkway within the public boulevard. Prior to construction, contact Urban Forestry at 311 and ask to speak to an Urban Forestry Technician. Urban Forestry requires minimum two business days notice prior to meeting onsite.
36. As part of the Tree Protection Bylaw, a Tree Protection Plan will be required when a development, construction activity, or a disturbance occurring on the City Boulevard is within 6 metres of a boulevard tree. For more information about submitting your tree protection plan visit www.calgary.ca and search protecting trees during construction and development; alternatively, call 311 or email tree.protection@calgary.ca. Applicant is to apply for tree protection plan prior to demolition.
37. The applicant will be required to provide compensation to the City of Calgary for any Public Trees that are removed or damaged. The Public Tree(s) adjacent to this development is/are valued at **\$5860.57**. Applicants that are unfamiliar with tree protection or tree appraisal are advised to consult an arborist.
38. Services should be shown on the plans in accordance with the Grade Slip granted by the City. If the servicing trench will be located within the dripline of an existing public tree, the applicant shall contact Urban Forestry or contact Development Site Servicing through 311 in attempt to avoid this conflict.

Utility Engineering

39. The developer is responsible for ensuring that:
 - a. The environmental conditions of the subject property and associated utility corridors meet appropriate regulatory criteria and appropriate environmental assessment, remediation or risk management is undertaken.
 - b. Appropriate environmental assessment(s) of the property has been undertaken and, if required, a suitable remedial action plan and/or risk management plan has been prepared, reviewed and accepted by the appropriate regulatory agency(s) including but not limited to Alberta Environment and Alberta Health Services.
 - c. The development conforms to any reviewed and accepted remedial action plan/risk management plans.
 - d. All reports are prepared by a qualified professional in accordance with accepted guidelines, practices and procedures that include but are not limited to those in the most recent versions of the Canadian Standards Association and City of Calgary Phase I & II Environmental Site Assessment Terms of Reference.
 - e. The development is in compliance with applicable environmental approvals (e.g. Alberta Environment Approvals, Registrations, etc), Energy Resources Conservation Board approvals and related setback requirements, and landfill setback requirements as set out in the Subdivision and Development Regulation.

If the potential for methane generation or vapours from natural or contaminated soils and groundwater has been identified on the property, the developer is responsible for ensuring appropriate environmental assessment(s) of the property has been undertaken and appropriate measures are in place to protect the building(s) and utilities from the entry of methane or other vapours.

Issuance of this permit does not absolve the developer from complying with and ensuring the property is developed in accordance to applicable environmental legislation.

40. Prior to the commencement of construction, alteration or demolition operations, a fire safety plan, accepted in writing by the Fire Department and the authority-having jurisdiction, shall be prepared for the site and conform to the requirements of the AFC 2014, Division B, 5.6.1.3. This document is required as a Building Permit condition for approval.

Note:

For further details, contact Fire Department Technical Services at ryan.smith@calgary.ca OR 403-801-6595.

41. Fire access and/or proximities shall be in accordance with current Calgary Fire Department Access Standards and / or current applicable code(s) articles. See below.

For context:

- a) Access for fire department equipment shall be provided to each building by means of a street, private roadway or yard. Appropriate code reference 9.10.20.3.(1).
- b) Special variations could be permitted for a house or residential building that is protected with an automatic sprinkler system. The sprinkler system must be designed in accordance with the appropriate NFPA standard and there must be assurance that water supply pressure and quantity are unlikely to fail. These considerations could apply to buildings that are located on the sides of hills and are not conveniently accessible by roads designed for firefighting equipment and also to infill housing units that are located behind other buildings on a given property. Appropriate code reference A 9.10.20.3.(1) Fire Department Access Route Modification.

Some units / buildings may be subject to having to be sprinklered.

1.3.3.4. Building Size Determination

1) Where a firewall divides a building, each portion of the building so divided shall be considered as a separate building, except when this requirement is specifically modified in other parts of this Code.

c) Where access to a building as required and is provided by means of a roadway or yard, the design and location of such roadway or yard shall take into account connection with public thoroughfares, weight of firefighting equipment, width of roadway, radius of curves, overhead clearance, location of fire hydrants, location of fire department connections and vehicular parking.

d) For residential buildings, including townhouse complexes, the distance of the principle entrance from a street should not exceed 45m (as per RB14-042). Each dwelling unit (secondary suites included) must be within 45m travel distance to from street (fire access lane) to principle entrance.

Fire Professional involvement, NBC(AE) 2.4.2.1(4)

Residential buildings with 5 to 20 dwelling units must be imprinted with the seals or stamps of either a registered architectural professional, or one or more registered engineering professionals.

Note:

For further details regarding fire access requirements, see the below link:
<http://www.calgary.ca/CSPS/Fire/Documents/Fire-Department-Access-Standard.pdf>

For further details, contact Fire Department Technical Services at 403-801-6595 or Ryan.Smith@calgary.ca.

42. Site Servicing (hydrant location plan) is to be submitted and approved by the Fire Department prior to the Development Site Servicing Plan stage. One stamped plan is to be submitted with the Development Site Servicing Plan submission.

For further details, contact Fire Department Technical Services at 403-801-6595 or Ryan.Smith@calgary.ca.

43. Water, sanitary and storm connections are available from 8 AV SE.

Note:

For further information, contact Utility Specialists at:
WA-ResourcesDevelopmentApprovals@calgary.ca OR 403-268-2693 OR jennifer.derbywagner@calgary.ca.

44. A new service will be crossing, exposing and excavated within 3.0m of the 1800mm Critical collection main. Hydrovac-ing will be required for the determination of alignment, elevation, pipe diameter, pipe support, backfill and clearances. A detail of this information will be required to be shown on the Development Site Servicing Plan with respect to working in proximity of this critical collection main. Contact the Capital Works Engineer at 403-268-5752 for approval, notification, shutdown periods, tunnelling and auguring options.

Note:

For further information, contact Utility Specialists at:
WA-ResourcesDevelopmentApprovals@calgary.ca OR 403-268-2693 OR jennifer.derbywagner@calgary.ca.

45. Show details of servicing and metering on Development Site Servicing Plan. Provide adequate water meter locations (100mm or larger, room adjacent to an exterior wall, 50mm or less, label water meter location) where services enter building. If static pressure exceeds 550 kPa install pressure reducing device after meter.

Note:

For further information, contact Utility Specialists at:
WA-ResourcesDevelopmentApprovals@calgary.ca OR 403-268-2693 OR jennifer.derbywagner@calgary.ca.

46. Maintain a 3.0m separation between Enmax facilities (power poles, light standards, transformer pads, catch basins, etc.) with the proposed water service.
47. Redundant services are to be disconnected at the source and new service installed at the owners expense.

48. Each unit must be individually metered.
49. Each titled parcel must have separate (direct) service connections to public mains.
- Note:
For further information, contact Utility Specialists at:
WA-ResourcesDevelopmentApprovals@calgary.ca OR 403-268-2693 OR
jennifer.derbywagner@calgary.ca.
50. Ensure that the water service separation from the foundation wall or piles is:
- 4.0m (100mm service or larger), or
 - 3.0m (50mm service or smaller), or
 - 2.0m when the foundation wall or piles extends vertically a minimum of 2.0m below the invert of the water pipe.
51. The applicant must apply for water and sewer connections as per City Standards.
52. The allowable stormwater run-off coefficient shall be 50 L/s/ha.
- Note:
For further information, contact Utility Specialists at:
WA-ResourcesDevelopmentApprovals@calgary.ca OR 403-268-2693 OR
jennifer.derbywagner@calgary.ca.
53. Surface ponding (trapped lows) should be designed to contain all the flow generated from the 100 year storm events.
54. Where possible, discharge of roof leaders should be directed onto grassed or pervious areas to help reduce the volume of runoff. Alternatively, the roof leaders may be directed to the on-site storm sewer system.
55. Controlled stormwater discharge is required for the subject site.
56. All on-site sewers are to be designed to City of Calgary specifications.
57. Storm Redevelopment Fees (\$84 / m frontage) will be required at the service connection stage.
- Note:
For further information, contact Utility Specialists at:
WA-ResourcesDevelopmentApprovals@calgary.ca OR 403-268-2693 OR
jennifer.derbywagner@calgary.ca.
58. Ensure elevations of building slab and/or any building openings are 0.3m minimum above trap low spill elevations or the 100 year elevation, whichever is higher. The minimum grade within the lot adjacent to trap low must be 0.3m higher than the 1:100 year elevation in the trap low or spill elevation, whichever is higher. This minimum grade must be achieved within a 6.0m distance from the common property line of the lot and the road right-of-way.
59. As per The City of Calgary Drainage Bylaw 37M2005, the developer, and those under their control, are responsible for ensuring that a Drainage Permit is

obtained from Water Resources prior to discharging impounded runoff (caused by rainfall and/or snowmelt) seepage or groundwater from construction site excavations or other areas to a storm sewer. The developer, and those under their control, is responsible for adhering to all conditions and requirements stipulated in the Drainage Permit at all times. For further information, contact the Corporate Call Centre at 311 or visit <http://www.calgary.ca/UEP/Water/Pages/Watersheds-and-rivers/Erosion-and-sediment-control/Report-and-Drawings-Templates-and-Guides.aspx> (Drainage Permit applications can be downloaded from this website).

60. Stormwater emergency escape routes must be to a public roadway.

61. Locate any / all services and / or utilities in the field.

Coordinate with the utility owner(s) for the removal and/or relocation of existing utilities located within the subject parcel or the registration of an easement, or utility right of way for the protection of the utilities. All of the above is contingent to the satisfaction of the affected utility owner(s).

62. Any / all tree planting proposed to be located within road rights of way shall require a line assignment from Utility Line Assignments. This application consists of a letter, on letterhead, requesting approval to plant trees in the boulevard and six (6) scaleable landscape plans (1:250 or 1:500 preferred) indicating the following information:

- a. Property lines
- b. Curb/sidewalks
- c. Species and caliper of proposed trees (evergreen and poplar trees are not permitted in boulevards)
- d. Existing features (streetlight poles, hydrants, existing trees, utilities, etc.)
- e. Dimensions from property line to all of the above features

Include the Development Permit number in your letter. Shrub and flowerbeds are not permitted in City boulevards. Due to the number of applications reviewed by this office, it will typically take two weeks for a response. The letter can be addressed to the Supervisor, Utility Line Assignments, 6th floor, 800 Macleod Trail SE, Calgary, Alberta T2P 2M5, Location #8026. Alternatively, the required information can be submitted to the ULA Support email as a PDF at ulasupport@calgary.ca.

For further details, contact ulasupport@calgary.ca.

63. For questions and concerns regarding waste storage facilities, refer to the Development Reviews: Design Standards for the Storage and Collection of Waste, found at:

<http://www.calgary.ca/UEP/WRS/Pages/Commercial-Services/Development-Permits-Waste-Recycling.aspx>

Garbage, recyclable materials and food and yard (organics) waste and recycling storage and/or collection areas shall be maintained and clear of snow and ice.

Secondary suites may not be eligible to receive a separate set of waste and recycling containers from The City of Calgary. Suites are expected to share the waste storage with the associated primary dwelling unit.

Note:

For further details, contact Waste and Recycling Services at 403-268-8445 or jc.lauzier@calgary.ca OR 403-268-8429 or steve.gorda@calgary.ca.

64. As advised by River Engineering (Part 1):

Building Opening Elevation for Development within the Flood Hazard Area:
All building openings (basement windows, walk out basements, etc.) and adjacent landscaping grades are recommended to be at or above the 2020 AEPA 1:20 flood elevation. A 1:20 flood means a flood level that has a 5% chance of occurring in any year.

The 1:20 flood elevation is 1038.3m (geodetic).

Groundwater Seepage:

A portion of the proposed development lies adjacent to the Bow River. Due to the geography and nature of the soils in the area, groundwater levels are a concern for subgrade structures, and shall be considered in design. Structures with subsurface components, including parking garages and basements, should be designed for structural stability under elevated groundwater conditions during river flooding, or so that the foundation of such structures is above the groundwater elevation during a 1:100 river flood.

The following should be considered in basement design:

- a. Design the building to prevent structural damage from elevated groundwater levels by floodwaters. Elevated groundwater levels may impact foundation dewatering, foundation water proofing, and structural design.
- b. Basements should not be utilized for the storage of immovable or hazardous materials that are flammable, explosive, or toxic.
- c. A sump pump with battery backup should be installed in the basement.
- d. The sump pump outfall pipe should be looped and discharged above the designated flood elevation of 1039.8m (geodetic).
- e. A separate electrical circuit should be installed for the sump pump with the operating switch located above the designated flood elevation of 1039.8 m m (geodetic).
- f. Installation of backflow prevention valve(s) on sewer lines or the elimination of gravity flow basement drains.
- g. No primary living spaces (i.e. bedrooms) below the designated flood elevation of 1039.8 m m (geodetic).
- h. A water alarm should be installed in the basement to warn of groundwater seepage.

The designated flood elevation is 1039.8m (geodetic).

65. As advised by River Engineering (Part 2):

Inglewood Barrier:

Based on information gathered in the 2013 flood event, and analysis contained in the 2020 draft Alberta Environment and Protected Areas inundation maps, the

Inglewood Flood Barrier provides mitigation up to a 1:100 flood. Design up to the 1:100 flood will increase resilience to flooding, but because of the decreased risk, River Engineering would support a relaxation of the designated flood elevation to the 1:20 flood elevation or higher.

The designated flood elevation is 1039.8m (geodetic).
The 1:20 flood elevation is 1038.3m (geodetic).

Below Grade Secondary Suites:

River Engineering strongly recommends against placing secondary suites below the designated flood elevation in flood prone areas. Under B.6.a of the Policy to Guide Discretion for Secondary Suites and Backyard Suites (2018), Secondary Suites are encouraged to be above grade when located in the Flood Fringe. Should the suite be located below grade, it must comply with the flood mitigation rules of the Land Use Bylaw. Water can enter basements rapidly during a flood from groundwater and/or overland flows and become a life safety hazard, resulting in evacuations, and damage to the building and suite contents.

Densification:

Densification as a result of this development increases the risks associated with life safety, property damage and losses, as well as resident displacement during a flood. It is recommended that emergency plans for egress are put in place in the event of a flood. For information on how to prepare for emergencies, please refer to <https://www.calgary.ca/emergencies/preparedness.html>.

Province of Alberta Disaster Recovery - Province of Alberta

The design of the building on the parcel may affect its ability to qualify for the Province of Alberta Disaster Recovery Program assistance, therefore it is recommended that the applicant contact the Alberta Emergency Management Agency at 1-888-671-1111 or drp.info@gov.ab.ca, to review any pertinent matters about the subject development. Note recent changes to the disaster assistance program in 2021 implemented a \$500,000 funding cap per homeowner application, and a one-time limit on disaster financial assistance per property.

Province of Alberta Flood Hazard Map Update:

Be advised that the Province of Alberta has recently updated the provincial flood hazard maps which form the basis for The City of Calgary's Land Use Bylaw flood hazard areas. These updates include a new approach to defining the flood hazard areas along the Bow and Elbow Rivers. For more information on the Provinces project, please see www.floodhazard.alberta.ca.

These updates may result in changes to the regulatory zones and designated flood elevations for the proposed development area. Changes to the Land Use Bylaw in response to the updated flood hazard maps are anticipated to be completed in 2025. For more information, please see <https://www.calgary.ca/rivervalleys>.

66. As advised by River Engineering (Part 3):

The proposed development location is within the 1:100 Flood Fringe, as per Council approved regulatory flood maps located at:

<https://www.calgary.ca/pda/pd/calgary-land-use-bylaw-1p2007/land-use-bylaw-1p2007-maps.html>.

As such, the proposed development is subject to the Land Use Bylaw (LUB), Part 3, Division 3, Clauses 55, 59, & 60.

The official designated flood level (1:100 flood elevation) is 1039.8m (geodetic).

The Draft 2020 AEP model 1:20 flood elevation is 1038.3m (geodetic).

For parcels located in the floodway, flood fringe or overland flow area, the requirements of this Division apply and prevail when there is any conflict between the requirements of this Division and any other requirements of this Bylaw.

Only those goods that are easily moveable may be stored on a parcel in the flood fringe or the overland flow area.

All buildings in the flood fringe must be designed in the following manner:

- (a) to prevent structural damage by floodwaters.
- (b) the first floor of all buildings must be constructed at or above the designated flood level; and
- (c) all electrical and mechanical equipment within a building must be located at or above the designated flood level; and
- (d) a sewer back up valve must be installed in every building.

Mobility Engineering

- 67. Garage aprons / parkade access / loading areas / parking stalls at rear must tie to the existing lane grades. Lane grades will be provided on the grade slip issued by Development Servicing. It is the responsibility of developer, contractor, or homeowner to set the elevations of the garage slab based on the lot grading and to ensure that garage is operationally accessible and that it ties to established land grades. Lane grades are not to be altered without the approval of Roads.
- 68. The City does not grant approval for the placement of underground irrigation sprinkler systems in City owned lands or boulevards that are adjacent to the development site and are installed at the developers risk. The City of Calgary will not assume liability or responsibility for repair or replacement in event it has been damaged or destroyed during construction on City owned lands or boulevards by city workers or its authorized contractors.

FILE: DP 2024-07430

Bylaw Discrepancies		
Regulation	Standard	Provided
1410 Balconies	(2) Where a balcony is located on the roof of the first or second storey and does not overhang any façade of the storey below the maximum area is equal to 50.0% of the horizontal cross section of the storey below.	<p>Plans indicate an area of 87.02% (+37.02%), or 88.93m² (+37.84m²).</p> <p>Relaxation is acceptable. Given the unique site location, there was an opportunity to better address interface with Mills Park.</p> <p>Planning and applicant worked collaboratively, and the applicant amended the proposal to provide a roof top balcony on top of the detached garage to encourage more eyes on the park and improve the interface with the park space.</p> <p>The relaxation does not create significant impact on the adjacent developments.</p>
1393 Building Depth and Separation	(1) Unless otherwise referenced in subsections (2) and (3) the maximum building depth is 65.0% of the parcel depth for a building containing a unit.	<p>Plans indicate a building depth of 28.03m (+3.6m), or 74.57% (+9.57%) of the parcel depth, where the conditions of (2) have not been met.</p> <p>Relaxation is acceptable. Building 1 was intended to be slightly larger to accommodate the three dwelling units and each unit has 3 bedrooms to provide more housing diversity.</p> <p>The proposal still tries to comply with the bylaw building depth requirement and provides adequate separation distance between Building 1 and Building 2 to create more space between the buildings, provide central amenity area for residents, and minimize the overall massing of the buildings on site.</p> <p>As a result, the building total depth was a bit longer. The relaxation does not create significant impact on the adjacent existing developments.</p>
	(2) On a laned parcel, there is no maximum building depth for a main residential building wholly	Plans indicate a separation distance of 5.03m (-1.47m).

	contained to the rear of 40.0% parcel depth where: (c) where the minimum separation distance of the main residential buildings on the front portion of the parcel and the main residential buildings contained on the rear portion of the parcel is 6.5m	Relaxation is acceptable. See above.
1402 Landscaping Requirements	(6) A minimum of 30.0% of the landscaped area must be covered with soft surfaced landscaping.	Plans indicate of the provided landscaping 29.68% (-0.32%), or 83.74m ² (-0.91m) is soft surface landscaping. Relaxation is acceptable. The proposed soft landscaped were designed to complement the hard landscape (e.g. sidewalks, patios) and the sidewalks, patios, aprons are needed for the function of the development and its residents. No additional space is available for more soft landscaping.
1412 Mobility Storage	The minimum number of mobility storage lockers is calculated based on the sum of all units and suites at a rate of 0.5 lockers per unit or suite where a unit or suite is not provided a motor vehicle parking stall located in a private garage.	Plans indicate 2 (-1) mobility storage lockers. Relaxation is acceptable. The applicant indicated that some of the units have designed to be bigger and the extra space offers more storage space inside the building itself for items like winter tires storage and other items that are typically stored in mobility storages. Given the applicant's rationales, site context, and the site's proximity to nearby public transit, Planning and Mobility Engineering supported the relaxation.
1413 Bicycle Parking Stalls	The minimum number of bicycle parking stalls – class 1 is calculated based on the sum of all units and suites at a rate of 1.0 stall per unit or suite where a unit or suite is not provided a motor vehicle parking stall located in a private garage or mobility storage locker.	Plans indicate 2 (-1) bicycle parking stalls – class 1. Relaxation is acceptable. See above.
122 Standards for Motor Vehicle Parking Stalls	(4) The minimum width of a motor vehicle parking stall required for a Dwelling Unit is: (b) 2.85m where one side of a stall abuts a physical barrier;	Plans indicate 2 stalls with a width of 2.84m (-0.01m), where one side abuts a physical barrier. Added a prior to release condition for the applicant to amend the plan and comply with this bylaw requirement. Minor correction.



APPLICATION FOR A DEVELOPMENT PERMIT
LAND USE BYLAW NO 1P2007

53225565-005
Taken By: BDG

Application Date Oct 18, 2024

APPLICATION NO DP2024-07430

I/We hereby make application for a Development Permit under the provisions of the Land Use Bylaw in accordance with these plans and supporting information submitted herewith and which form part of this application.

Total Fees: \$1,263.00

Cart #:

Applicant: JOHN TRINH & ASSOCIATES
Address: 1039 20 AV SE
City: CALGARY, AB, T2G 1M7
Phone: [REDACTED]

Contact: Trinh, John
Phone: () -
Fax: () -

Parcel Address: 1511 8 AV SE
Legal: A3;14;32,33

L.U.D.: R-CG

Community: INGLEWOOD
Sec. Number: 14C Ward: 09

Description: New: Dwelling Unit (2 buildings), Accessory Residential Building (garage) 5 Units Cluster House

Gross Floor Area: 945.19 metres - squared/r/n Dwelling Units: 5

Proposed Development is: Permitted
Proposed Use: Accessory Residential Building
Other

I agree to receive correspondence via electronic message related to this application.

By signing below, I confirm that the contact information provided above is accurate and further, acknowledge the ability of the General Manager - Planning and Development to inactivate and cancel incomplete applications.

Applicant / Agent Signature: _____ Date: _____

The personal information on this form is being collected under the authority of The Municipal Government Act, Section 640, and The City of Calgary Land Use Bylaw 1P2007 (Part 2) and amendments thereto. It will be used for the permit review and inspection processes. It may also be used to conduct ongoing evaluations of services received from Planning, Development & Assessment. The name of the applicant and the nature of the permit will be available to the public. Please send inquiries by mail to the F0IP Program Administrator, Planning, Development & Assessment, P.O. Box 2100, Station M, Calgary, AB T2P 2M5 or contact us by phone at 311.

Track your application on-line with VISTA Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) DP2024-07430- [REDACTED] or call our Planning Support Centre at (403)268-5311.

SDAB2025-0084



Development Permit Complete Application Requirement List
New Rowhouse, or Addition to Existing Rowhouse:
 In the Developed Area

The following **Development Permit Complete Application Requirement List** outlines all of the information necessary to evaluate and provide a timely decision on your application. Only applications that are complete will be accepted. Applications and materials submitted must be clear, legible and precise. Plans submitted must be to a professional drafting standard. All plans must be clear of any previous approval stamps and/or notations. Please review the **Processing Times and Deemed Refusal** section.

NOTE: Building and Development Permit applications must be submitted without personal information on any plans. Omitting this information will protect builders and tenants by reducing the risk of any personal information being wrongfully displayed, while also following the Province of Alberta’s FOIP Act. Failure to follow this requirement may result in an incomplete application. If you consider the information to be personal, do not put it on the plans.

The Development Authority may require additional material considered necessary to properly evaluate the proposed development (as stated in Part 2, Section 26(3) of the Land Use Bylaw1P2007).

Processing Times and Deemed Refusals
<p>Applicants are advised of their option under the Municipal Government Act to treat their application as being refused if the Development Authority fails to make a decision within 40 days of the application being accepted by the Development Authority, or at the expiry of an extended review timeframe specified by a time extension agreement between the Development Authority and Applicant. Time extension agreements must be initiated by the Applicant.</p> <p>To exercise the “deemed refusal” option, an appeal to the Subdivision and Development Appeal Board must be filed within 14 days of the latest specified date for the review, or the right to an appeal is lost until such time as a decision is rendered on the application by the Development Authority.</p>

SECTION 1: Applicant Details	
<input type="checkbox"/> Property Owner <input checked="" type="checkbox"/> Representing Owner	
Applicant’s Name: John Trinh	Company Name (if applicable): John Trinh & Associates Inc.
Applicant’s Email: [REDACTED]	Applicant’s Phone Number (during business hours): [REDACTED]

NOTE: Correspondence and approval notification will be sent to only the applicant

SECTION 2: Project Details	DISCRETIONA
Project Address: 1509 & 1511 8 Ave	
Cumulative gross floor area: Addition <input type="checkbox"/> ft ² <input type="checkbox"/> m ²	New Building: 10,17 <input checked="" type="checkbox"/> ft ² <input type="checkbox"/> m ²
New dwelling units created: <input checked="" type="checkbox"/> Yes If yes, number of new dwelling units:	5 5

SECTION 3: Required Items	
1	A copy of the current Certificate(s) of Title
2	Current copies of any Restrictive Covenants, Utility Rights-of-Way, Easements, or City Caveats registered on the Title(s)

3	<p>A Letter of Authorization* from the registered owner of the land, their agent, or other persons having legal or equitable interest in the parcel.</p> <p>*You may use this sample letter of authorization template or you can provide your own letter, but it must contain all information indicated on the sample letter</p>
4	<p>Colour Photographs (minimum of four different views, label and identify each photograph)</p> <ul style="list-style-type: none"> ▪ Site from front and rear ▪ Two adjoining parcels on either side ▪ Unique features and aspects of significance to development of the parcel ▪ Details of curbs, driveways, sidewalks, waste enclosures and overhead poles ▪ Indicate on a key plan or the site plan, the direction and location of photos
5	Development Permit fee (Fee Schedule)
6	Residential Grades fee, where applicable
7	Completed Site Contamination Statement
8	Completed Public Tree Disclosure Statement If public trees are identified one additional site plan may be required
9	Completed Abandoned Well Declaration
10	Completed Use Questionnaire *This is only required if there is a Commercial Use being proposed within the building or addition
11	Completed Climate Resilience Inventory form
12	<p>Applicant’s Submission Planning Analysis</p> <p>The purpose of the Planning Analysis is to provide key information about the project; information that cannot be communicated in a set of plans (i.e. the thought process behind the proposal). This information will reduce the number of conditions in the first Detailed Team Review form and speed up the application processing time. Where relevant, the Planning Analysis will be circulated to the Community Association for comment as part of the development permit circulation process.</p> <p>While this is not a mandatory requirement, we strongly encourage applicants to provide this key information.</p> <ul style="list-style-type: none"> ▪ Provide an explanation of the proposal/project and how it fits with the surrounding context ▪ Identify and provide rationale for any variation from the relevant City of Calgary policies ▪ identify and provide rationale for any proposed relaxations to the Land Use Bylaw
Renderings	
13	<p>Rendering or Elevation for Notice Posting At least one (1) rendering matching the specifications below, OR one (1) elevation of the proposed development</p> <p>Note: the purpose of this is to include a visual for the notice posting and is encouraged. This is discretionary upon discussions between the file manager and the applicant.</p>

	<p>Perspective:</p> <ul style="list-style-type: none"> ▪ For single-building projects, the view must be: <ul style="list-style-type: none"> ▪ From the perspective of the sidewalk across the street from the subject site’s primary frontage; ▪ From the perspective of the midpoint of the subject site’s primary street frontage; ▪ At a 90-degree angle, perpendicular to the sidewalk; and ▪ From the perspective of 1.5 metres (average human eye-level) above the sidewalk; OR ▪ For multiple building projects, the rendering: <ul style="list-style-type: none"> ▪ Should be from an aerial angle; and ▪ Must show the entire project area.
	<p>Depiction must:</p> <ul style="list-style-type: none"> ▪ Match site plans, landscape plans, and elevations with no removed nor additional items; ▪ Depict the exterior finishing materials of all parts of proposed and existing neighbouring buildings depicted accurately, including freestanding signs, and retaining walls visible in the frame; <ul style="list-style-type: none"> ▪ Views through clear windows for proposed buildings may depict interiors, blinds, or curtains; ▪ Views through clear windows for neighbouring buildings must be of blinds or curtains; ▪ Depict the landscaping and paving materials of all landscaped and paved areas visible in the frame; ▪ Depict trees and shrubs; ▪ Not depict people nor vehicles; and ▪ Have the lighting of September 21 at 4:00pm.
	<p>Technical Requirements:</p> <ul style="list-style-type: none"> ▪ Be 2431 pixels in width by 2243 pixels in height, landscape view; and ▪ Be a Portable Graphics (.PNG) file.
Plans	
14	<p>One (1) copy of a Site Plan, including: (preferred scale is Metric 1:100 or Imperial ¼" = 1'0")</p>
	North arrow , pointing to top or left of page
	Municipal address (i.e. street address) and legal address (i.e. plan/block/lot)
	All elements of plan labelled as existing or proposed
	<p>Plot and dimension property lines:</p> <ul style="list-style-type: none"> ▪ Label existing and proposed ▪ Label parcel area in square meters
	<p>Easements, Utility Rights-Of-Way:</p> <ul style="list-style-type: none"> ▪ Dimension (width, depth and location) ▪ Label type of easement and registration number)
	<p>Utilities on and adjoining the parcel (deep, shallow and overhead):</p> <ul style="list-style-type: none"> ▪ Water, storm and sanitary sewer ▪ Gas ▪ Electrical ▪ Cable, telephone
	If an abandoned gas or oil well is identified on the site , indicate the necessary setback area for each well
	<p>Plot Rights-of-Way setback lines required in Section 53, Table 1:</p> <ul style="list-style-type: none"> ▪ Dimension depth of Rights-of-Way ▪ Dimension distance from Rights-of-Way to building
	<p>Floodway, Flood Fringe and Overland Flow:</p> <ul style="list-style-type: none"> ▪ Indicated on the Floodway/Flood Fringe maps [Section 3 (c) & (d)] ▪ Dimension distance to buildings and structures

Adjacent to parcel:

- City streets, label street names
- Sidewalks, City and public paths (Regional Pathway System)
- Curb cuts, medians and breaks in medians
- Existing and proposed pedestrian crosswalks
- Bus zones and bus shelters (including signage & route number)
- Light standards, utility poles, street signage, street furniture
- Paid parking equipment (parking meters, ticket dispensers, Pay-and-Display)

Dimension to property line:

- Back of sidewalk and curb
- Lip of gutter
- Width of sidewalk and public paths (Regional Pathway System)

Setbacks:

- Dimension front, side and rear building setbacks from property lines
- Draw, label and dimension required setback areas (as prescribed in the Land Use Bylaw)

Parcel and building coverage:

- Calculate area of each building (include all covered structures)

Location of all:

- Catch basins
- Utility poles
- Guy wires/pole anchors
- Hydrants, utility fixtures or boxes

Corner parcels only:

- Outline and dimension corner visibility triangle

Geodetic datum points/contours:

- All the corners of the parcel
- At the back of sidewalk or curb
- At primary corners of the building
- geodetic contours at 0.5 metres intervals including berming for site
- label existing and proposed geodetic datum points

Outline and dimension buildings:

- Projections and structures (bay windows, cantilevers, deck, window wells)
- Detached buildings and structures (sheds, garages)
- Mechanical equipment (parkade vents, air conditioners)
- Label existing and proposed buildings (or portions of buildings)
- Location of all openings (windows, doors, overhead doors)
- Label use area within the building (tenant locations)
- Label uses to be located in each use area (see uses listed under Use CARLs)

Gross Floor Areas (GFA is the total area of all above-grade floors) of:

- Proposed and existing buildings
- Each distinct use area in buildings (tenant location)
- Calculate Floor Area Ratio (FAR) (GFA divided by Parcel Area)

Density:

- Calculate number of existing and proposed units
- Calculate the density in units per hectare (UPH) (Units divided by Parcel Area)

Parking areas, drive aisles and circulation roads:

- Include curbs and sidewalks
- Crosswalks (provide detail if raised)
- Speed bumps (provide detail)
- Label all surface material of areas accessible by motor vehicles
- Dimension widths of all aisles and roads
- Provide details on vehicle circulation (direction of travel, signage and fire lanes)

Motor vehicle parking stalls:

- Dimension width and depth
- Dimension column size and distance between columns
- Dimension angle or parking stall (if less than 90 degrees)
- Location and size of wheel stop (provide next to sidewalk)

Driveways:

- Label proposed or existing
- Label curb cuts to be removed and rehabilitated
- Dimension length from back of curb or sidewalk
- Dimension width of driveway at throat and flare (adjacent to street)
- Dimension distance to adjoining driveways

Parking and loading area geodetic grades:

- Driveways grades and parkade ramp grades
- Detail any areas over 2 per cent slope

Internal sidewalks:

- Label surface material
- Dimension height from grade or parking areas
- Dimension width

Fencing:

- Label height (include height of retaining walls)
- Cross reference to an elevation (for each type of fence)

Retaining walls:

- Label height (provide height of fences on top of wall)
- Provide geodetic datum points at top and bottom of wall
- Cross reference to elevation (for each wall)
- If one metre in height or higher, provide engineered, stamped structural design drawings, including cross-sections
- Provide geodetic datum points of grade on each side of the wall (**NOTE:** height of retaining wall measured as the vertical difference between the ground levels on each side of the wall)

If trees are existing on public lands adjacent to the site:

- Specify the species of each tree (e.g. Green Ash, Colorado blue spruce, American Elm). Note that identification of deciduous or coniferous is not sufficient. If you require assistance in identifying the species of a tree, call 311 to obtain additional information.
- Diameter of each tree, measured at a height of 1.4 metres above the ground
- Estimated mature height of each tree (e.g. less than 3 metres, 3-6 metres, 6-9 metres, etc.)
- Location of the centre point of the trunk of each tree
- Outline of the "drip line" of each tree (i.e. the outline of the outer reach of the branches of the tree)

For R-CG districts only:

- indicate the outdoor private amenity space, along with the dimensions and total area.

Phasing for multi-building developments must be included:

- Outline areas encompassed by each phase
- Label the sequence of phasing

15	One (1) copy of Block Plan(s) including: <i>(preferred scale is Metric 1:100 ; block plan and site plan may be combined if the site plan does not become cluttered)</i>
	North arrow , pointing to top or left of page
	Municipal address (i.e. street address) and legal address (i.e. plan/block/lot)
	All elements of plan labelled as existing or proposed
	Plot and dimension property lines
	Outline subject parcel
	Draw, label and dimension required setbacks
	Outline and dimension all buildings: <ul style="list-style-type: none"> ▪ Eaves, porches, projections and exterior walls ▪ Plot location of exterior openings (windows, doors, overhead doors) ▪ Label geodetic datum of roof peak of adjacent buildings
	Adjacent parcels: <ul style="list-style-type: none"> ▪ Indicate two parcels on either side of the subject parcel that are located on the same block face (total of four parcels) ▪ If there are fewer than two parcels on either side of the subject parcel, provide all the parcels on the block face ▪ Where a building is on a corner parcel, the block plan should extend to include the parcels on both streets within the block. ▪ If there are no buildings located on the parcels adjoining the subject parcel, plot all parcels to the closest two parcels with buildings contained in the block face (including the parcels containing the buildings)
16	One (1) copy of Floor Plan(s) <i>(preferred scale is Metric 1:100 or Imperial scale, minimum 3/16"=1")</i>
	Municipal address (i.e. street address) and legal address (i.e. plan/block/lot)
	All elements of plan labelled as existing or proposed
	Outline and dimension walls: <ul style="list-style-type: none"> ▪ Include exterior dimensions (dimension to centre line of common walls) ▪ Plot location of interior and exterior openings (windows, doors, overhead doors) ▪ Internal motor vehicle and bicycle parking, loading and waste collection facilities (see site plan requirements) ▪ Label use in each use area (tenant space) ▪ Label the purpose of spaces (e.g. Kitchen, living room, bathroom, interior/exterior stairways, mechanical rooms, meter room, corridors, washrooms, laundry facilities) ▪ Label existing and proposed rooms and portions of the building ▪ Label units as dwelling units or live/work units
17	One (1) copy of Elevation(s) <i>(preferred scale is Metric 1:100 or Imperial scale, minimum 3/16"=1")</i>
	Municipal address (i.e. street address) and legal address (i.e. plan/block/lot)
	All elements of plan labelled as existing or proposed
	Include elevations for: <ul style="list-style-type: none"> ▪ Buildings ▪ Fences ▪ Retaining walls (over 0.6 metres in height) ▪ Waste collection facilities ▪ Screening (e.g. Service meters, privacy screens, mechanical equipment) ▪ Additional walls or structures (e.g. Exhaust fan shed)

	<ul style="list-style-type: none"> ▪ Cross reference with other plans, where applicable
	<p>Include on elevations:</p> <ul style="list-style-type: none"> ▪ Doors, windows, overhead doors ▪ Projections, service meters, decorative elements, rooftop equipment ▪ Screening (e.g. Service meters, rooftop equipment, privacy screens) ▪ Dimension all doors, windows and overhead doors
	<p>Label finishing materials:</p> <ul style="list-style-type: none"> ▪ Exterior materials (brick, stucco, vinyl siding, metal siding) ▪ Roof materials (asphalt, cedar shakes, concrete tile) ▪ Colours of all major exterior materials
	<p>Grade:</p> <ul style="list-style-type: none"> ▪ Plot existing and proposed grade extending to property lines ▪ Plot property lines (extending vertically) ▪ Plot all geodetic datum points required on site plan
	<p>Building height (indicate on all elevations):</p> <ul style="list-style-type: none"> ▪ Plot line for main floor ▪ Plot line for roof when concealed by parapet ▪ Dimension height of building from existing and proposed grade ▪ Dimension height of main floor from existing and proposed grade ▪ Dimension height of structures (fences, retaining walls) from existing and proposed grade
18	<p>One (1) copy of Cross-sections, including: (preferred scale is Metric 1:100 or Imperial scale, minimum 3/16"=1")</p>
	<p>If the parcel is designated M-CG, M-C1 or M-C2, provide two (2) horizontal cross-sections at the distances above average grade prescribed by the Building Height Rule.</p>
	<p>Label width of any roof structure, mechanical rooms, projections</p>
	<p>Dimension to outermost limits of the cross-section</p>
	<p>Calculate the area of the cross-section, including all elements of buildings</p>
	<p>Cross-section of sloping driveways and parkade ramps</p> <ul style="list-style-type: none"> ▪ Indicate slope and include transition lengths ▪ Provide geodetic datum points at transition points in ramp (including top and bottom) ▪ Dimension overhead clearance

SECTION 4: Supporting Information	
19	<p>If the site is within the Airport Vicinity Protection Area (AVPA), please note that additional copies of plans may be required during the review of this application.</p>
20	<p>When the proposal does not comply with council approved policies, bylaw standards or technical guidelines, provide a written planning rationale in support of such deficiencies.</p>
21	<p>If the application is being submitted concurrently with an existing Land Use Amendment, a completed Concurrent Submission Declaration Form is required.</p>
	<p><input checked="" type="checkbox"/> Yes, this application is being submitted concurrently with a Land Use Amendment, LOC20<u>24</u> - <u>022</u></p>
	<p><input type="checkbox"/> No, this application is not being submitted concurrently with a Land UseAmendment</p>

22	<p>When proposed development is to be phased (e.g. portions are to be occupied prior to the completion of the entire development), include a phasing plan showing the sequence of the phases and the area encompassed by each phase</p> <ul style="list-style-type: none"> ▪ include information detailing how the site will function throughout the phasing; details such as access to waste facilities
23	<p>Off-site Levy Bylaw Review the Off-site Levy Bylaw at calgary.ca/offsitelevy to determine if additional charges are applicable to the application.</p>
24	<p>Energy Code Compliance Declaration By submitting this application, the applicant acknowledges that the proposed development will be designed to comply with either NECB or Alberta Building Code Section 9.36 for energy efficiency as required. This compliance will be verified as a condition of Building Permit issuance. At the time of application for the Building Permit, the applicant will declare a compliance path as described on the appropriate Building Permit requirement list.</p>

SECTION 5: Applicant's Declaration

By submitting this application to The City of Calgary (the "City"), I understand and acknowledge that, as part of the City's process in reviewing, evaluating, and processing this application, the City will be required to circulate hard or electronic copies of my application materials to members of City Administration, members of the public who may be affected by the application's approval, and to relevant Community Associations' Boards of Directors, including their Planning Committees. The City will also make my application materials available online for public viewing through its website, www.calgary.ca. I hereby consent to the City's copying of these application materials, solely for the purposes of such circulation, dissemination and online viewing as aforesaid, provided that those parties to whom the copies are circulated or made available online are made aware that their use of the copies is specific and limited to providing input on my application and that any further reproduction and distribution of the plans is strictly prohibited.

If you do not want to make your application materials available online for public viewing you must send an email to planninghelp@calgary.ca within 48 hours of submitting your application and we will consider your request. If your request is accepted our website will reflect that the applicant has chosen not to have their application materials online for public viewing.

The personal information on this form is being collected under the authority of The Calgary Building Permit Bylaw 64M94 (Section 5) and amendments thereto, as well as section 33(c) of the [FOIP Act](#). This information is being collected for the purpose of permit review and inspection processes and may be communicated to relevant City Business Units, utility providers, and Alberta Health Services. It may also be used to conduct ongoing evaluations of services received from Planning & Development. **The name of the applicant and the nature of the permit will be available to the public through general inquiries, paid subscription reports for permit data and resources found online, as authorized by the FOIP Act.** You may direct questions about the collection, use or disclosure of your personal information by the City of Calgary at 800 Macleod Trail SE Calgary, Alberta in relation to this program by contacting the FOIP Program Administrator for Planning and Development through telephone at 403-268-5480 or by writing to PO Box 2100, Station M, Calgary, AB T2P 2M5.

NOTE: This application does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Need help or have questions? Contact the [Planning Services Centre](#).

Checklists are updated periodically. Please ensure you have the most recent edition.



LAND TITLE CERTIFICATE

B
 LINC SHORT LEGAL TITLE NUMBER
 0018 831 495 A3;14;32,33 231 340 428

LEGAL DESCRIPTION

PLAN A3
 BLOCK 14
 LOTS 32 AND 33
 EXCEPTING OUT OF LOT 32 THE NORTH WEST 25 FEET OF
 THE SOUTH WEST 25 FEET AS DESCRIBED IN TRANSFER
 REGISTERED AS 3603HB

ATS REFERENCE: 5;1;24;14;S
 ESTATE: FEE SIMPLE

MUNICIPALITY: CITY OF CALGARY

REFERENCE NUMBER: 231 317 246

REGISTERED OWNER(S)				
REGISTRATION	DATE (DMY)	DOCUMENT TYPE	VALUE	CONSIDERATION
231 340 428	03/11/2023	TRANSFER OF LAND		SEE INSTRUMENT

OWNERS
 FRANCESCO CERATO
 AND
 ANA MARIA MEDINA ROJAS
 BOTH OF:
 72 FULLERTON ROAD SE
 CALGARY
 ALBERTA T2H 1E5
 AS JOINT TENANTS

ENCUMBRANCES, LIENS & INTERESTS		
REGISTRATION NUMBER	DATE (D/M/Y)	PARTICULARS
771 147 064	20/10/1977	ZONING REGULATIONS

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2
231 340 428

REGISTRATION
NUMBER DATE (D/M/Y) PARTICULARS

SUBJECT TO CALGARY INTERNATIONAL AIRPORT ZONING
REGULATIONS

231 340 429 03/11/2023 MORTGAGE
MORTGAGEE - CANADIAN IMPERIAL BANK OF COMMERCE.
P.O. BOX 115, COMMERCE COURT POSTAL STATION,
TORONTO
ONTARIO M5L1E5
ORIGINAL PRINCIPAL AMOUNT: \$980,000

TOTAL INSTRUMENTS: 002

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 8 DAY OF AUGUST,
2024 AT 03:31 P.M.

ORDER NUMBER: 51291000

CUSTOMER FILE NUMBER: 241070



END OF CERTIFICATE

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED
FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER,
SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM
INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION,
APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS
PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING
OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).

Date 2024-08-15

The City of Calgary
Development & Building Approvals
PO Box 2100, Station M (#8108)
Calgary AB T2P 2M5

Subject: 1509 & 1511 8 Ave SE (property address)
322-24 (project name, if applicable)

_____ (registered owner(s) as on land title)

Please be advised that, as owner(s) of the above mentioned property, I/we authorize

JOHN TRINH (agent name) and/or it's
JOHN TRINH & ASSOCIATES INC (applicant, consultant, contractor)

to apply for any and all DEVELOPMENT AND BUILDING, DEMO PERMITS (permit type) for the above mentioned property.

I/We further agree to immediately notify The City of Calgary, in writing, of any changes regarding the above information.

Date signed 2024/08/15 (yyyy/mm/dd)

Contact name Francesco Cerato & Ana Maria Medina Rojas
Contact address 72 Fullerton Road SE
T2H-1E5 Calgary, AB
Contact phone number(s) 403-700-4520 & 587-700-6749
Contact email ceratoelectric@gmail.com

Authorized signature of owner (print) Francesco Cerato

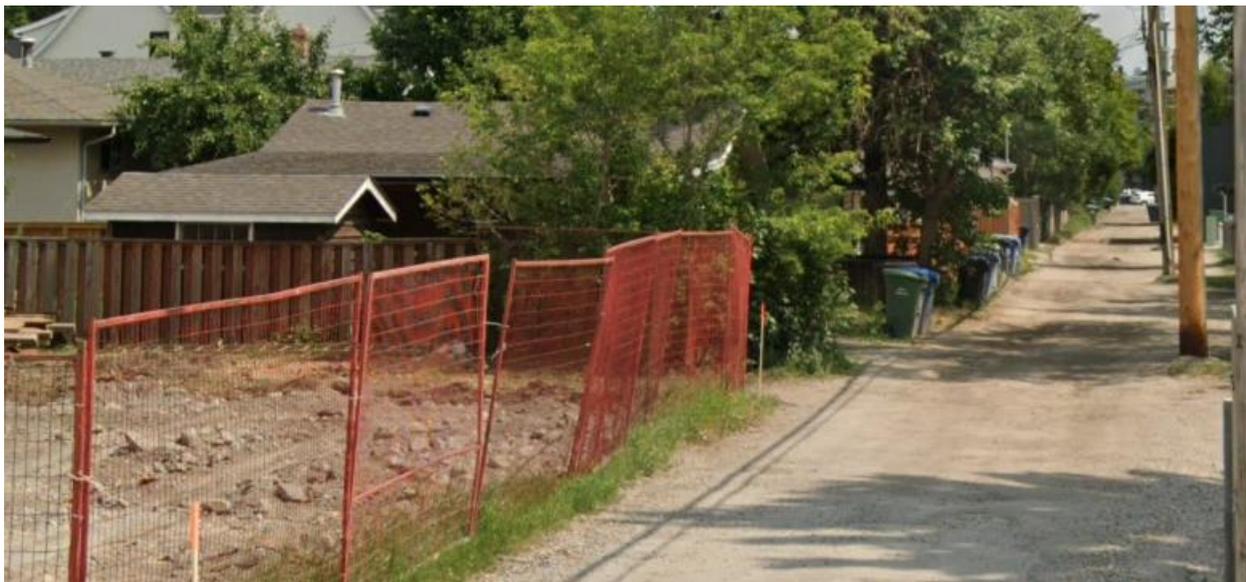
(sign) Frank Cerato

Photos – 1509 & 1511 8 Ave SE

Front View



Rear View



Left Parcel



Right Parcel





Examples from Currie Barracks, Calgary

SDAB2025-0084



Examples from Currie Barracks, Calgary



Examples from Currie Barracks, Calgary

Rendering showing Approved Development, looking southeast



Rendering showing Approved Development, looking south



Examples from Ramsay, Calgary - DP2023-02822 - 903 17 AV SE

For additional plan related information visit <https://www.cover-art.ca/s/240715-BW-Sales-Booklet-Digital.pdf>

Images from Ramsay Calgary Community Association Website - <https://www.ramsaycalgary.ca/post/pending-demolition-of-a-heritage-resource-in-ramsay-black-white-meat-and-groceries>



Abandoned Well Declaration

Application # _____
for office use only

Site Address: 1509 & 1511 8 Ave SE, Calgary, AB T2G _____

Legal Description: A3;14;32,3 _____

The *Municipal Government Act's Subdivision and Development Regulations (Alberta Regulation 160/2012)* requires developers to identify abandoned oil and gas wells and, where present, to comply with setback requirements as identified in the Energy Resources Conservation Board (ERCB) [Directive 079: Surface Development in Proximity to Abandoned Wells](#).

You are responsible for the accuracy of the information provided in this statement. The questions must be answered to the best of your knowledge based upon diligent inquiries and a thorough inspection and review.

1. Provide a map of the subject parcel showing the presence or absence of abandoned wells.
 - [User Guide to Finding Abandoned Wells on GeoDiscover Alberta's Map Viewer](#)
 - [Abandoned Well Locations on GeoDiscover Alberta's Map Viewer](#)

NOTE: The map must show the actual well location, as identified in the field, including the surface coordinates (available on the Abandoned Well Map Viewer or by contacting the ERCB Customer Contact Centre at 1-855-297-8311) and the 5 metre setback established in [ERCB Directive 079](#) in relation to existing or proposed building sites.

2. Are there abandoned Oil/Gas wells located within 5 m of the site? Yes No
If you answered 'yes', please answer question 3 and include the well location(s) on the site plan.
3. Have you contacted the licensee of the well(s) to confirm the exact location? Yes No
If you answered 'yes', you must have written confirmation included with your application.

Licensee Company Name _____ Licensee Contact _____

NOTE: Where a well is identified, the Development Authority must refer a copy of the application to the Licensee(s) of Record. The referral will include the applicant's contact information.

4. Who is submitting the Abandoned Well Declaration for this development?
 Applicant Owner Builder Other _____

Company Name _____ Contact Person _____

Address _____

Phone [redacted] Cell Phone _____ Email [redacted]

47

5. Will the development result in construction activity within the setback area? Yes No
If you answered 'yes':

- Provide a statement confirming that the abandoned wells will be temporarily marked with on-site identification to prevent contact during construction; and
- Describe what measures will be taken to prevent contact during construction.

NOTE: This form is to be signed by the titled owner(s) of the property or their authorized agents or consultants.

I, the owner, authorized agent, authorized consultant, state that, to the best of my knowledge, the information provided in this statement is accurate, complete and is based on diligent inquiry and thorough inspection and review of all the documents and other information reasonably available pertaining to the subject property.

2024-10-0

Date



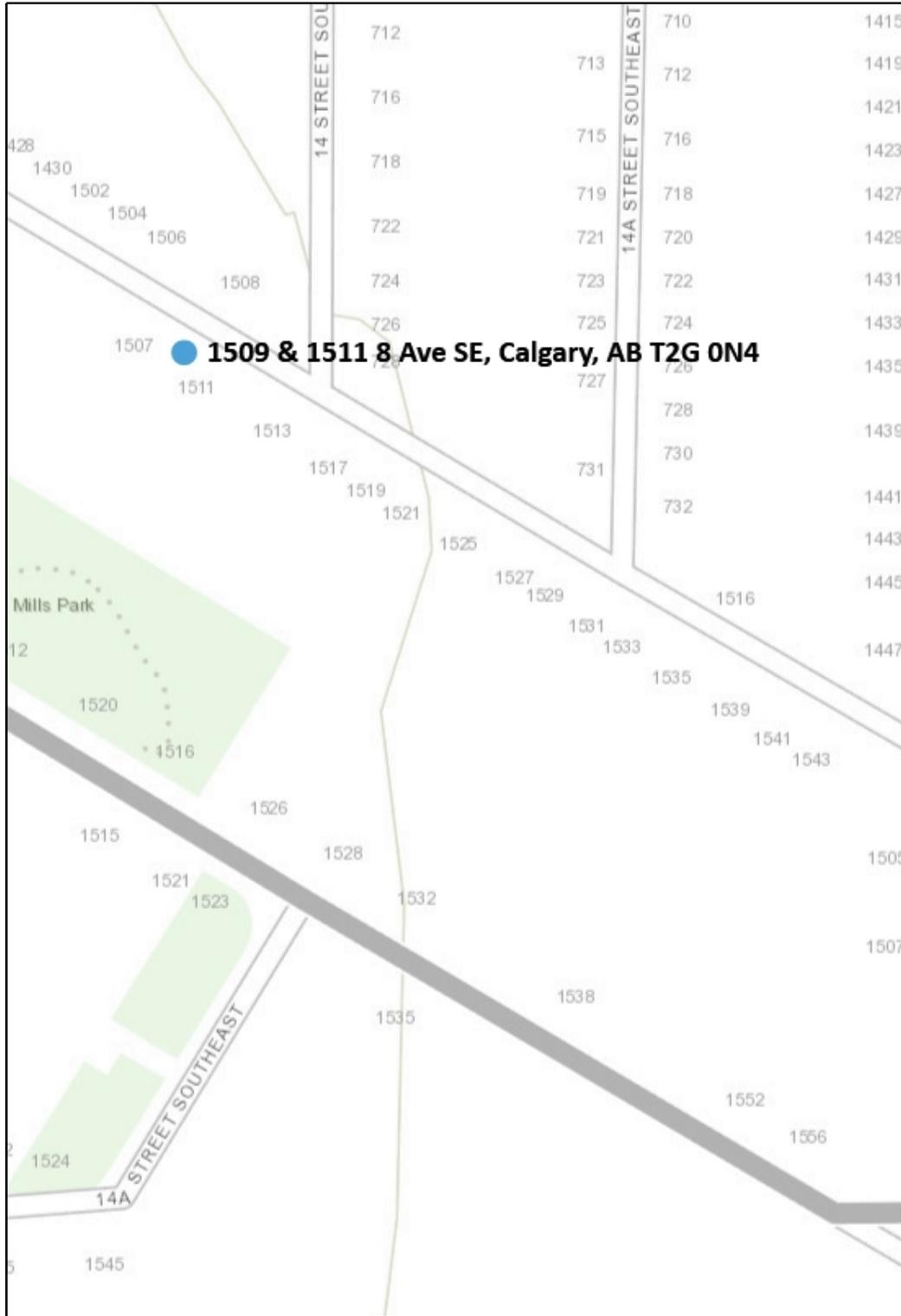
Applicant Signature

Applicant Name (Please Print)

Company Name (Please Print)

FOIP DISCLAIMER: The personal information on this form is being collected under the authority of The Freedom of Information and Protection of Privacy (FOIP) Act, Section 33(c). It will be used to provide operating programs, account services and to process payments received for said services. It may also be used to conduct ongoing evaluations of services received from Planning & Development. Please send inquiries by mail to the FOIP Program Administrator, Planning & Development, PO Box 2100, Station M, Calgary, AB T2P 2M5 or contact us by phone at 311.

Map Results



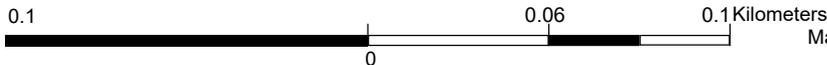
Legend

- ◇ Abandoned Wells (Large Scale)
- Abandoned_Well_Revised (Large)
- Abandoned_Well_Loc_Pointer
- ATS v4_1 Alberta Provincial Bou Citations

© Government of Alberta

While every effort is made to ensure data from this site is accurate and current, the Government of Alberta is not liable for any loss or damage arising from the possession, publication, or use of, that data. This information is provided "as is" without warranty.

Tuesday, October 08, 2024 16:05:11 -06:00



Map Scale: 1: 2,257





Public Tree Disclosure Statement

The City of Calgary Street Bylaw (20M88) and the Tree Protection Bylaw (23M2002) protect trees growing on City (public) land. An approved Tree Protection Plan is required when construction activities occur within 6m of a public tree. More information regarding protecting trees during construction and development is found here. Public trees are required to be shown on plans submitted for this application.

- 1. Are there public trees on the City lands within six meters of and/or overhanging the development site? Yes No

If you answered yes, ensure all trees identified are shown on the submitted plans.

Note: if you are not sure how to determine which trees are yours and which are public, you can:

- a. Use the City's tree map (may not be up to date for your property)
b. Contact 3-1-1 to put in a "development tree inquiry" to get confirmation from an Urban Forester
c. Send inquiries to tree.protection@calgary.ca

- 2. Who will be submitting the Tree Protection Plan for this development?

Applicant Owner Builder Other:

If Other: Name: Phone: Email:

The Tree Protection Plan must be submitted directly to Urban Forestry at tree.protection@Calgary.ca following the Tree Protection Plan Guidelines.

FOIP DISCLAIMER: The personal information on this form is being collected under the authority of The Freedom of Information and Protection of Privacy (FOIP) Act, Section 33(c). It will be used to provide operating programs, account services and to process payments received for said services. It may also be used to conduct ongoing evaluations of services received from Planning, Development & Assessment. Please send inquiries by mail to the FOIP Program Administrator, Planning, Development & Assessment, PO Box 2100, Station M, Calgary, AB T2P 2M5 or contact us by phone at 311.



Site Contamination Statement

Application # _____
for office use only

Site Address: 1509 & 1511 8 Ave SE, Calgary, AB T2G

Legal Description: A3;14;32,3

The information provided in this disclosure statement will assist the Development, Land Use and Subdivision Authorities in processing planning applications. The Authorities rely on the information provided in this statement to assist in determining the potential for site contamination, which may have been caused by current or historic activities.

You are responsible for the accuracy of the information provided in this statement. The questions must be answered to the best of your knowledge based upon diligent inquiry and the thorough inspection and review of all documents and other information pertaining to the subject property. **Please be aware that further site assessments may be required as part of the review of your application.**

1. Are you aware of any environmental investigations (audits, assessments, tests, surveys or studies) for this site?

Yes No

If yes, please provide copy(s).

2. Are you aware of any environmental requirements associated with any previous planning applications on this site?
(i.e. development permit, land use redesign or subdivision)

Yes No

If yes please provided a brief description and the associated development application number(s):

3. Has there been site remediation or a request for such on the site?

Yes No

If yes, please provide a brief description:

51

4. Are you aware of any regulatory actions, past or current, which have been applied to this site?

Yes No

Examples include (but are not limited to):

- Environmental Protection Orders
- Reclamation Orders or Certificates
- Control / Stop Orders, fines, tickets or prosecutions
- Violations of environmental statutes, regulations and bylaws
- Administrative penalties and warning letters

If yes, please describe and provide copies of relevant documents:

5. Have any permits been issued or are you currently operating under a license or approval issued by federal or provincial authorities or the Calgary Fire Department for activities which may impact the property?
(e.g. certificates of approval, storage tank regulations, plant operating permits)

Yes No

If yes, please describe:

6. Has there been contact with Alberta Environment or Calgary Regional Health Authority regarding possible contamination on the site?

Yes No

If yes, please provided a brief description:

NOTE: This form is to be signed by the titled owner(s) of the property or their authorized agents or consultants.

I, the owner, authorized agent, authorized consultant, state that, to the best of my knowledge, the information provided in this statement is accurate, complete and is based on diligent inquiry and thorough inspection and review of all the documents and other information reasonably available pertaining to the subject property. I am not aware of any other information that may indicate that the subject property is potentially contaminated.

2024-10-0

Date



Applicant Signature

FOIP DISCLAIMER: The personal information on this form is being collected under the authority of The Freedom of Information and Protection of Privacy (FOIP) Act, Section 33(c). It will be used to provide operating programs, account services and to process payments received for said services. It may also be used to conduct ongoing evaluations of services received from Planning, Development & Assessment. Please send inquiries by mail to the FOIP Program Administrator, Planning, Development & Assessment, PO Box 2100, Station M, Calgary, AB T2P 2M5 or contact us by phone at 311.

Applicant Name (Please Print)

Company Name (Please Print)

Richview Engineering Inc.

Unit 130, 201 38Ave NE
Calgary AB T2E2M3

Tel: (403) [REDACTED]

January 03, 2025

Our file#: 2177

City of Calgary

Attn To Who May Concern

Re: Fire Flow Letter for "DP2024-07430".

We provide the following summary of the Required Fire Flow (RFF) for the above referenced project. In accordance with the City of Calgary's instructions, the fire flow demand has been calculated based on the Fire Underwriters Survey (FUS) guideline for Water Supply for Public Fire Protection (2020)

DP Number : DP2024-07430

Project Address: 1511 8 AV SE

Type of Building : Multi-family(2 buildings) without Sprinkler System.

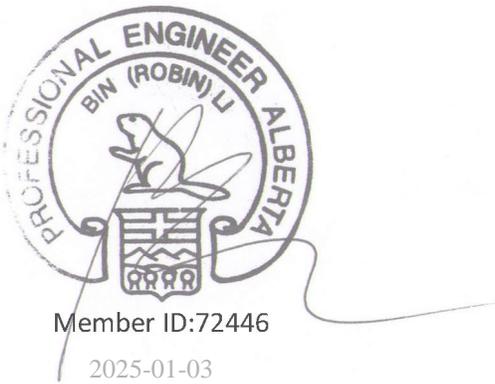
Available Fire Flow provided from City of Calgary: 15,000 L/m

Required Fire Flow calculated : **11,800 L/m**

The required fire flow is **less than** the available fire flow provided by City.

Should you have any concern or question, please feel free to contact myself @ 403-230-3218.

Yours truly,



Member ID:72446
2025-01-03

Robin Li
Richview Engineering Inc



CLIMATE RESILIENCE INVENTORY
Additions and New Buildings

Development Permit Number

For a helpful resource to assist in completing this form, please refer to the "[Climate Resilience Inventory User Guide](#)". For assistance contact CPclimate@calgary.ca.

Project Address		Applicant
Applicant Contact Name	Applicant Business Phone [REDACTED]	Signature 

Purpose: This form is intended to assist in the evaluation of applications for alignment with the climate policies of the Municipal Development Plan and Climate Resilience Strategy. Information provided will be used to advance implementation of these policies at The City and inventory current practices. While The City encourages innovation and commitment towards meeting these policy requirements, not all applications will be expected to include features which are highlighted below. Scale and scope of the project are relevant considerations.

Certification

Is the project seeking green building certification?

- Yes (indicate type and level) _____
- No (explain why not) _____

Does energy modelling indicate improved energy performance over energy code minimum?

- Yes _____

Energy Efficiency and Renewables

Describe any energy efficiency features of the proposed development and/or how renewable energy will be incorporated:

- Photovoltaics: _____kW rated output

Electric Vehicles

Describe if and how the proposal will support electric vehicles:

- EV charging stations (indicate level, number, and % of total stalls) _____

Green Infrastructure

Describe any LID and other green infrastructure features the proposed development is utilizing:

- Green Roof: _____m² and _____% of building footprint covered by green roof
- Permeable surfaces: _____m² and _____% permeable area

Flood and Disaster Resilience

Describe any flood and disaster resilience features of the proposed development:

Building envelope meets Passive House Standard

Other Features

Explain any other sustainable or resilient design features that are not captured above:

Issues

To enable the City to collect information where there may be municipal obstacles to climate resilience outcomes, please explain any design features that were considered but not included for reasons related to City regulations, standards, or processes:



December 2, 2024

JOHN TRINH & ASSOCIATES

Trinh, John



Dear Applicant:

RE: Detailed Review (DR)

Development Permit Number: DP2024-07430

Based on the plans received, your application has been reviewed in order to determine compliance with the Land Use Bylaw and applicable City policies. Any variance from the Land Use Bylaw or City policies may require further discussion or revision prior to a decision being rendered.

The City endeavors to render decisions on applications within specific service standards. Please assist us in meeting these targets by ensuring your resubmission is complete and made in a timely manner. Please submit a digital set of the amended plan, in PDF format, along with a detailed response letter on how each of the Prior to Decision and/or Prior to Release conditions have been addressed and/or resolved.

This information must be received, in its entirety, no later than January 31, 2025. If a complete submission is not received by this date, the development permit may be inactivated and subject to a reactivation fee. If the development permit application is not reactivated, it may be cancelled by Administration as per Land Use Bylaw 1P2007, Section 41.1. If you require additional time to respond to the conditions outlined in this Detailed Review document, please let me know by contacting me.

Should you have any questions or concerns, please contact me at 403-200-8575 or by email at Wallace.Leung@calgary.ca.

Sincerely,

WALLACE LEUNG

Senior Planner



Detailed Review 1 – Development Permit

Application Number:	DP2024-07430
Application Description:	New: Dwelling Unit (2 buildings), Accessory Residential Building (garage)
Land Use District:	Residential - Grade-Oriented Infill
Use Type:	Permitted
Site Address:	1511 8 AV SE
Community:	INGLEWOOD
Applicant:	JOHN TRINH & ASSOCIATES
Date DR Sent:	December 2, 2024
Response Due Date:	January 31, 2025
Development Applications Review Team	
Planning:	WALLACE LEUNG 403-200-8575 Wallace.Leung@calgary.ca
Utility Engineering:	CHRIS FLEETWOOD 587-576-4329 Chris.Fleetwood@calgary.ca
Mobility Engineering:	IRIS YE 403-268-1657 Iris.Ye@calgary.ca

General Comments

This application is proposing to develop two residential buildings with 5 dwelling units and 5 secondary suites and detached garage with 5 parking stalls. The site is located in the community of Inglewood in proximity to the 9 Avenue SE Neighbourhood Mains Street area.

A land use amendment application (LOC2024-0223, under review) proposes to redesignate the site to the Housing – Grade-Oriented (H-GO) District to allow for this development. The proposal meets the location criteria of the H-GO District as the subject site is located within the Inner City areas and is within approximately 50 metres of the 9 Avenue SE Main Street.

Comments on Relevant City Policies

Municipal Development Plan (Statutory – 2009)

The Municipal Development Plan (MDP) identifies this site as part of the Neighbourhood Main Street area (Map 1: Urban Structure). Sections 3.4.1 and 3.4.3 encourage sensitive and moderate intensification of land in the Neighbourhood Main Street area and the use of urban design to create a pedestrian-friendly streetscape. Ground-oriented housing is encouraged within the Neighbourhood Main Street area. The proposed H-GO District complies with relevant MDP policies and allows for moderate, context-sensitive intensification.

Track your application on-line with VISTA. Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

Inglewood Area Redevelopment Plan (Statutory – 1993)

The Inglewood Area Redevelopment Plan (ARP) generally identifies this site as Residential (Map 6: Generalized Land Use – Future). Development goals of the ARP include encouraging new residential development to increase the community’s population, promoting a healthy physical environment, and protecting and enhancing Inglewood’s unique context.

Section 2.2 notes that a prime objective of the ARP is to: “Encourage the construction of more housing to increase the population.” (pg. 22) and section 2.3. contains policies are applicable to this site.

2.3.1 The R-2 and R-2A designations on the existing low density residential areas should be retained. Exceptions should fall within the guidelines of 2.4.6.

2.3.2 New residential development should respect the surrounding housing and contribute to an attractive streetscape.

2.3.5 The redesignation of privately-owned lands in the community from R-2/R-2A (low density detached housing) to RM-1 or RM-2 (low density/family oriented townhousing) for small sites (.4 ha. or less) on a limited basis is in the best interest of the community if they meet the conditions set out in the Implementation Section (2.4.).

2.4.6 The redesignation of privately-owned lands in the community from R-2/R-2A (low density detached housing) to RM-1 or RM-2 (low density/family oriented townhousing) for small sites (.4 ha+ or less) is supported in principle on a limited basis.

The following conditions should be met in any such redesignation:

- a. Area residents must be fully involved in the redesignation and development permit process.
- b. The site is either currently vacant, substantially underdeveloped or developed with housing which has substantially deteriorated and the site is not completely surrounded by lower density housing. Generally sites on the edges of lower density areas are most appropriate for this type of redesignation.
- c. Traffic and other impacts have been thoroughly analyzed and can be minimized.
- d. The appearance of new developments should be compatible with existing nearby development. The edges of new developments are very important and should be attractively designed or screened to enhance to the area.

NOTE: The Historic East Calgary Communities Local Area Plan (LAP) is currently paused as part of the local area planning activities

Bylaw Discrepancies		
Regulation	Standard	Provided
1395 Building Setback from Front Property Line	The minimum building setback from a front property line is 3.0m	Plans indicate a north setback of 2.97m (-0.03m). <i>Amend plans to address bylaw discrepancies.</i>
1398 Projections Into Setback Area	(1) Unless otherwise referenced in subsections (2) through (9), a building or air conditioning units must not be located in any setback area.	Plans indicate portions of building in the north setback area. <i>Amend plans to address bylaw discrepancies.</i>
1402 Landscaping Requirements	(3) All setback areas adjacent to a street, except for those portions specifically required for motor	Plans indicate portions of building in the north setback area.

Track your application on-line with VISTA. Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

	vehicle access, must be a landscaped area.	Amend plans to address bylaw discrepancies.
1399 Building Height	(2) Where a building setback is required from a property line shared with another parcel designated with a low density residential district, H-GO or the M-CG District, the maximum building height: (a) is the greater of: (ii) 8.0m from grade;	Plans indicate portions of building 1 above the height chamfer cut from the east side property line, and building 2 from both the east and west side property lines. Amend plans to address bylaw discrepancies.
60 Flood Fringe	(1) All buildings in the flood fringe must be designed in the following manner: (d) a sewer back up valve must be installed in every building.	Plans do not indicate. Amend plans to address bylaw discrepancies.

Prior to Decision Requirements

The following issues must be addressed by the Applicant through a written submission and amended plans prior to a decision by the Approving Authority:

Planning

1. Submit a complete digital set of the amended plans in PDF format and a separate PDF response letter that provides a point-by-point explanation as to how each of the Prior to Decision conditions were addressed and/or resolved. If Prior to Release conditions have been addressed in the amended plans, include a point-by-point explanation for these items as well. The submitted plans must comprehensively address the Prior to Decision conditions as specified in the DTR document. Ensure that all plans affected by the revisions are amended accordingly. To arrange the digital submission, please contact the File Manager directly.

This information must be received, in its entirety, no later than 60 days from the date this DTR form was sent to the applicant and owner. If a complete submission is not received within the 60 day time frame, the development permit may be inactivated. Upon inactivation, the applicant and owner will receive written notice of the inactivation and of a further 30 day time frame within which the application may be reactivated subject to a reactivation fee. If the development permit application is not reactivated as per the written notification, it may be cancelled by Administration as per Land Use Bylaw 1P2007, Section 41.1.

In the event that the application needs to be recirculated, a recirculation fee may be applied.

2. Amend plans to address the bylaw discrepancies noted in this document. Alternatively, provide planning rationale in a written submission supporting any proposed relaxations to address the bylaw discrepancies noted in this document.

3. The Inglewood Area Redevelopment Plan indicates that the appearance of new developments should be compatible with existing nearby development and the edges of new developments are very important and should be attractively designed or screened to enhance to the area. Amend plans and provide the following:
 1. Amend plans and improve the development and building interface with the adjacent Park. Provide a written response on how the proposed development have considered contributing to a visually interesting and active interface with the park.
 2. Amend plans and provide dwelling units above the garages. If this has been explored, provide rationales on why this is not provided in the DP and how this could be explored at the future planning stages.
 3. Amend plans to indicate the windows locations and size on the site plan to better demonstrate that there no overlooking with the adjacent developments. Provide a written response on how the proposed development have considered privacy/overlooking onto adjacent properties.
4. Ward 9 Councillor's Office is generally supportive of the proposed development and provided comments as summarized below. Provide a response to the Councillor's Office comments and how the comments are considered and addressed.

There is an opportunity for this proposal to better address the southern aspect / site design / building interface with Mills Park more appropriately. Amend plans and provide units above the garage doors to improve the interface with the park.
5. The Inglewood Community Association is opposed to the proposed development and provided comments. Provide a response to the CA's comments and how they were considered and could be addressed where possible.
 - The Inglewood Planning Committee has reviewed the application regarding the New Dwelling (2 buildings), Accessory Residential Building (garage) and are opposed to this development. DP2024-07430 is not supported by the Inglewood ARP.
 - The proposed development is mid block completely surrounded by lower density housing does not respect the adjacent housing or contribute to an attractive streetscape, Inglewood ARP Sections 2.3.2 and 2.4.6.
 - The ARP further prescribes that while this sort of development may be appropriate, it should be located on the edges of lower density areas, Inglewood ARP 2.3.6 and 2.4.6
6. The land use amendment application (LOC2024-0223) is anticipated to be recommended to Calgary Planning Commission in January 2025 and Council Public Hearing in March 2025. Pending Council's decision on the land use amendment, administration will be able to proceed with approval on this development permit.

Note: Concurrent applications are defined as a land use amendment and development permit, on the same site, where both applications are ready for a decision at the same time.

7. The Site Plan/Landscaping Plan illustrates existing public trees: T1, T2, T4, T5, and T6. You do not have permission to remove public trees. Amend the plans to state, "To Stay."

Also, amend the Site Plan/Landscape Plan to indicate all existing public trees within 6.0m of the development site. As per the Tree Protection Bylaw, provide the following information:

- a. Tree species,
- b. Caliper of tree trunk (dbh),
- c. Height of tree,
- d. Location of the centre point of the tree trunk,
- e. Scaled outline of the tree canopy dripline,
- f. Indicate whether the tree is to remain or to be removed.

You will find information on The City Urban Forestry Public Tree Map website at: <https://maps.calgary.ca/TreeSchedule/>

8. T3, which is a shrub, should be allowed. Amend the plans to state, "To Be Removed." This will allow the service connections (water, sanitary and storm) to shift the alignment to the East increasing separation from existing public trees. Also, amend the plans to relocate utilities to the East to provide additional room for T4.
9. Site Plan/Landscape Plan illustrates gas service connection coming in from the front and also from the rear. Confirm and amend the plans to show the true location of this service connection.

There is an existing public shrub located between T5 and T4. This shrub may require removal for gas service install. Amend plans to illustrate location of this shrub, and to state, "To Be Removed."

Utility Engineering

10. Submit an electronic Fire Flow Letter, for review and acceptance.

The fire flow letter must be prepared by a qualified professional engineer under seal and permit to practice stamp, to the satisfaction of the Coordinator, Utility Specialists.

Said letters are to be emailed (electronically) directly to:
WA-ResourcesDevelopmentApprovals@calgary.ca

The fire flow letter shall identify the type of the development, address of the development, DP application and the fire flow required for the developing property (based on the Fire Underwriters Survey calculations). If the City watermain does not have the flows available to meet the fire flow requirements of

the developing property the City main must be upgraded at the cost of the developer. The letter must reference the Fire Underwriters Survey.

The Internal system will need to be designed accordingly in-order-to ensure adequate water supply and fire protection.

Note:

The fire flow available in the adjacent City water network is 15,000 L/min, at 15m residual pressure, under normal operating conditions.

For further information, contact Utility Specialists at:
WA-ResourcesDevelopmentApprovals@calgary.ca OR 403-268-2693 OR
jennifer.derbywagner@calgary.ca.

11. Amend all relevant plans/details to:

River Engineering (Flood Fringe):

- a. Provide a note which states the following:

"The proposed building will be designed as to prevent structural damage by floodwaters".

- b. Provide a note which states the following:

"The proposed development will include the installation of a sewer back-up valve".

Note:

The proposed development location is within the 1:100 Flood Fringe, as per Council approved regulatory flood maps located at:
<https://www.calgary.ca/pda/pd/calgary-land-use-bylaw-1p2007/land-use-bylaw-1p2007-maps.html>.

As such, the proposed development is subject to the Land Use Bylaw (LUB), Part 3, Division 3, Clauses 55, 59, & 60.

12. Amend the plans to:

Water Servicing:

- a. Indicate (show / label) an adequate Water Meter Area, where the services (50mm and smaller) enter each building, internal to each building.

Note:

For further information, contact Utility Specialists at:
WA-ResourcesDevelopmentApprovals@calgary.ca OR 403-268-2693 OR
jennifer.derbywagner@calgary.ca.

Prior to Release Requirements

The following requirements shall be met prior to the release of the permit. All requirements shall be resolved to the satisfaction of the Approving Authority:

Planning

13. Submit a complete digital set of the amended plans in PDF format and a separate PDF that provides a point-by-point explanation as to how each of the Prior to Release conditions were addressed and/or resolved. The submitted plans must comprehensively address the Prior to Release conditions as specified in this document. Ensure that all plans affected by the revisions are amended accordingly. To arrange the digital submission, please contact your File Manager directly.
14. Amend the plans to include a note stating 'An Urban Forestry Technician must be on-site during the removal of the existing walkway within the public boulevard, in order to mitigate any damage to adjacent public trees. Contact Urban Forestry by phoning 311 at least three (3) business days in advance of excavation.' If canopies or root systems are damaged to the point where the tree becomes unstable, then Urban Forestry will require their removal using an approved indemnified tree contractor at applicant's expense, plus compensation for the removed tree(s).

Utility Engineering

15. Submit an electronic Development Site Servicing Plan (DSSP) circulation, for review and acceptance, as required by Section 5 (2) of the Utility Site Servicing Bylaw 33M2005.

For further information, refer to the following:

Development Site Servicing Plan Webpage

<https://www.calgary.ca/uep/water/specifications/water-development-resources/development-site-servicing-plans.html>

Development Site Servicing Plans CARL (requirement list)

<http://www.calgary.ca/PDA/pd/Pages/Permits/carl-building-development-permit-search.aspx>

Note:

For further information, contact Utility Specialists at:
WA-ResourcesDevelopmentApprovals@calgary.ca OR 403-268-2693 OR
jennifer.derbywagner@calgary.ca.

16. After the Development Permit is approved but prior to its release, the landowner shall execute an Off-Site Levy Agreement for the payment of off-site levies pursuant to Bylaw 1H2024.

Based on the information provided with the initial submission, the preliminary estimate is \$9,420.80.

Note(s):

- Should payment be made prior to release of the development permit, an Off-Site Levy Agreement will not be required.
- Include the completed Payment Submission Form, which was emailed to the applicant.
- Only certified cheques or bank drafts made payable to the City of Calgary are acceptable.

To obtain an off-site levy agreement or for further information, contact the Infrastructure Strategist, Development Commitments, at 587-215-6253 OR yunpeng.qin@calgary.ca OR offsitelevy@calgary.ca.

Mobility Engineering

17. The desirable grade for a walkway should be under 8%, revise the design grade for the proposed sidewalks along the side of the house is suggested.

Permanent Conditions

The following permanent conditions shall apply:

Planning

18. The Permanent Conditions will be finalized at the time of Development Authority decision.
19. All rules of Land Use Bylaw 1P2007 apply, subject to any relaxations approved by the Development Authority in this development permit.
20. The development shall be completed in its entirety, in accordance with the approved plans and conditions. The stamped and signed plans are a legal document.
21. No changes to the approved plans shall take place unless authorized by the Development Authority. If changes to the development occur or are proposed, a new development permit or revised plan application may be required.
22. A development completion permit must be issued for the development before the use is commenced or the development occupied. A development completion permit is independent from the requirements of City of Calgary Building Regulations inspections and permission for occupancy. Request a development completion permit inspection by visiting inspections.calgary.ca or call 403-268-5311.
23. When the main floor of each building is constructed, submit the geodetic elevation to Geodetic.Review@Calgary.ca

Utility Engineering

24. Single retaining walls 1.2m in height or greater or terraced retaining walls 1.2m in height or greater with a horizontal separation between walls of less than 3.6m (3x height) require the approval of a Building Permit prior to construction.

For retaining wall(s) that meet these criteria, the developer may either:

- a. Include the retaining walls with the Building Permit for the building, or
- b. Apply for a separate Building Permit for the retaining walls.

It should be noted that the Building Permit for the building on site will not be released until the separate Building Permit for site retaining walls is approved.

25. For all soil disturbing projects, the developer, or their representative, shall designate a person to inspect all erosion and sediment control practices a minimum of every seven (7) days and during, or within 24 hours of, the onset of significant precipitation (> 12mm of rain in 24 hours, or rain on wet or thawing soils) or snowmelt events. Note that some practices may require daily or more

frequent inspection. Erosion and sediment control practices shall be adjusted to meet changing site and winter conditions.

26. Stormwater runoff must be contained and managed in accordance with the Stormwater Management & Design Manual all to the satisfaction of the Manager, Development Engineering.
27. The grades indicated on the approved Development Site Servicing Plan(s) must match the grades on the approved Development Permit plans. Upon a request from the Development Authority, the developer or owner of the titled parcel must confirm under seal from a Consulting Engineer or Alberta Land Surveyor, that the development was constructed in accordance with the grades submitted on the Development Permit and Development Site Servicing Plan.
28. If during construction of the development, the developer, the owner of the titled parcel, or any of their agents or contractors becomes aware of any contamination,
 - a. the person discovering such contamination shall immediately report the contamination to the appropriate regulatory agency including, but not limited to, Alberta Environment, Alberta Health Services and The City of Calgary (311).
 - b. on City of Calgary lands or utility corridors, The City of Calgary, Environmental and Safety Management division shall be immediately notified (311).
29. No trees, shrubs, buildings, permanent structures or unauthorized grade changes are permitted within utility rights-of-way.
30. The development site lies within the Flood Fringe and as such must conform to Land Use Bylaw 1P2007, Part 3, Division 3.
31. Pursuant to Bylaw 1H2024, off-site levies are applicable.

After approval of the Development Permit but prior to issuance of a Development Completion Permit or any occupancy of the building, payment shall be made for off-site levies pursuant to Bylaw 1H2024.

Note(s):

-Include the completed Payment Submission Form, which was emailed to the applicant.

-Only certified cheques or bank drafts made payable to the City of Calgary are acceptable.

To obtain a final estimate contact the Infrastructure Strategist, Development Commitments, at 587-215-6253 OR yunpeng.qin@calgary.ca OR offsitelevy@calgary.ca.

Mobility Engineering

32. The developer shall be responsible for the cost of public work and any damage during construction in City road right-of-ways, as required by the Manager, Development Engineering. All work performed on public property shall be done in accordance with City standards.

Advisory Comments

The following advisory comments are provided as a courtesy to the Applicant and registered property owner. The comments represent some, but not all of the requirements contained in the Land Use Bylaw that must be complied with as part of this approval.

Planning

33. The Advisory Comments will be finalized at the time of Development Authority decision.
34. The Applicant may appeal the decision of the Development Authority, including any of the conditions of the development permit. If you decide to file an appeal, please refer to the notification of decision letter for the appropriate appeal body and appeal process.
35. The approval of this development permit does not limit in any way the application of any federal, provincial, or municipal law, policy, code, regulation, bylaw, and/or guideline, nor does it constitute any permit or permission under any federal, provincial, or municipal law, policy, code, regulation, bylaw, and/or guideline.
36. In addition to this development permit, building permits may also be required. Building permit applications may be submitted upon approval of the associated development permit. Contact Building Regulations at 403-268-5311 for further information.
37. This development permit has not been reviewed for potential issues with the National Building Code - current Alberta Edition. You may require a Building Permit in addition to this development permit in which case compliance with the Code will be assessed through a Building Permit application. Should a Building Permit review require changes to the approved development permit, the changes must be to the satisfaction of the Development Authority and are potentially subject to a new development permit.
38. There are many types of caveats and other agreements that can be registered on the title of the property that can restrict the ability to develop. The City has not reviewed or considered all instruments registered on the title to this property. Property owners must evaluate whether this development is in compliance with any documents registered on title.
39. The Streets Bylaw (20M88) and the Tree Protection Bylaw (23M2002) contain clauses intended to protect trees growing on Public Land. No person shall remove, move, cut, or prune a Public Tree or cause a Public Tree to be removed, moved, cut or pruned without prior written authorization from the Director, Parks. A copy of the bylaw can be found at www.calgary.ca. Parks does not permit the removal of public trees to facilitate development unless all options to retain and protect are exhausted.
40. If clearance pruning of public trees is required, Urban Forestry must be notified (minimum two business days notice) and an indemnified contractor must be used

at the applicants expense. Please contact Urban Forestry at 311 for more information.

41. An Urban Forestry Technician must be on-site to mitigate possible root damage to adjacent public trees during the removal of the existing walkway within the public boulevard. Prior to construction, contact Urban Forestry at 311 and ask to speak to an Urban Forestry Technician. Urban Forestry requires minimum two business days notice prior to meeting onsite.
42. As part of the Tree Protection Bylaw, a Tree Protection Plan will be required when a development, construction activity, or a disturbance occurring on the City Boulevard is within 6 metres of a boulevard tree. For more information about submitting your tree protection plan visit www.calgary.ca and search protecting trees during construction and development; alternatively, call 311 or email tree.protection@calgary.ca. Applicant is to apply for tree protection plan prior to demolition.
43. The applicant will be required to provide compensation to the City of Calgary for any Public Trees that are removed or damaged. Individual Public Trees can have values ranging in the thousands of dollars depending on size and species. For example, a 50-cm diameter American Elm can have a value of **\$11,500**. For further information on tree value and compensation please call 311 or visit www.calgary.ca/parks. Applicants that are unfamiliar with tree protection or tree appraisal are advised to consult an arborist.
44. The applicant will be required to provide compensation to the City of Calgary for any Public Trees that are removed or damaged. The Public Tree(s) adjacent to this development is/are valued at **\$5860.57**. Applicants that are unfamiliar with tree protection or tree appraisal are advised to consult an arborist.
45. Services should be shown on the plans in accordance with the Grade Slip granted by the City. If the servicing trench will be located within the dripline of an existing public tree, the applicant shall contact Urban Forestry or contact Development Site Servicing through 311 in attempt to avoid this conflict.
46. No stockpiling or dumping of construction materials is permitted on the boulevard.

Utility Engineering

47. The developer is responsible for ensuring that:
 - a. The environmental conditions of the subject property and associated utility corridors meet appropriate regulatory criteria and appropriate environmental assessment, remediation or risk management is undertaken.
 - b. Appropriate environmental assessment(s) of the property has been undertaken and, if required, a suitable remedial action plan and/or risk management plan has been prepared, reviewed and accepted by the appropriate regulatory agency(s) including but not limited to Alberta Environment and Alberta Health Services.
 - c. The development conforms to any reviewed and accepted remedial action plan/risk management plans.

d. All reports are prepared by a qualified professional in accordance with accepted guidelines, practices and procedures that include but are not limited to those in the most recent versions of the Canadian Standards Association and City of Calgary Phase I & II Environmental Site Assessment Terms of Reference.

e. The development is in compliance with applicable environmental approvals (e.g. Alberta Environment Approvals, Registrations, etc), Energy Resources Conservation Board approvals and related setback requirements, and landfill setback requirements as set out in the Subdivision and Development Regulation.

If the potential for methane generation or vapours from natural or contaminated soils and groundwater has been identified on the property, the developer is responsible for ensuring appropriate environmental assessment(s) of the property has been undertaken and appropriate measures are in place to protect the building(s) and utilities from the entry of methane or other vapours.

Issuance of this permit does not absolve the developer from complying with and ensuring the property is developed in accordance to applicable environmental legislation.

48. Prior to the commencement of construction, alteration or demolition operations, a fire safety plan, accepted in writing by the Fire Department and the authority-having jurisdiction, shall be prepared for the site and conform to the requirements of the AFC 2014, Division B, 5.6.1.3. This document is required as a Building Permit condition for approval.

Note:

For further details, contact Fire Department Technical Services at ryan.smith@calgary.ca OR 403-801-6595.

49. Fire access and/or proximities shall be in accordance with current Calgary Fire Department Access Standards and / or current applicable code(s) articles. See below.

For context:

a) Access for fire department equipment shall be provided to each building by means of a street, private roadway or yard. Appropriate code reference 9.10.20.3.(1).

b) Special variations could be permitted for a house or residential building that is protected with an automatic sprinkler system. The sprinkler system must be designed in accordance with the appropriate NFPA standard and there must be assurance that water supply pressure and quantity are unlikely to fail. These considerations could apply to buildings that are located on the sides of hills and are not conveniently accessible by roads designed for firefighting equipment and also to infill housing units that are located behind other buildings on a given property. Appropriate code reference A 9.10.20.3.(1) Fire Department Access Route Modification.

Some units / buildings may be subject to having to be sprinklered.

1.3.3.4. Building Size Determination

1) Where a firewall divides a building, each portion of the building so divided shall be considered as a separate building, except when this requirement is specifically modified in other parts of this Code.

- c) Where access to a building as required and is provided by means of a roadway or yard, the design and location of such roadway or yard shall take into account connection with public thoroughfares, weight of firefighting equipment, width of roadway, radius of curves, overhead clearance, location of fire hydrants, location of fire department connections and vehicular parking.
- d) For residential buildings, including townhouse complexes, the distance of the principle entrance from a street should not exceed 45m (as per RB14-042). Each dwelling unit (secondary suites included) must be within 45m travel distance to from street (fire access lane) to principle entrance.

Fire Professional involvement, NBC(AE) 2.4.2.1(4)

Residential buildings with 5 to 20 dwelling units must be imprinted with the seals or stamps of either a registered architectural professional, or one or more registered engineering professionals.

Note:

For further details regarding fire access requirements, see the below link:

<http://www.calgary.ca/CSPS/Fire/Documents/Fire-Department-Access-Standard.pdf>

For further details, contact Fire Department Technical Services at 403-801-6595 or Ryan.Smith@calgary.ca.

50. Site Servicing (hydrant location plan) is to be submitted and approved by the Fire Department prior to the Development Site Servicing Plan stage. One stamped plan is to be submitted with the Development Site Servicing Plan submission.

For further details, contact Fire Department Technical Services at 403-801-6595 or Ryan.Smith@calgary.ca.

51. Water, sanitary and storm connections are available from 8 AV SE.

Note:

For further information, contact Utility Specialists at:

WA-ResourcesDevelopmentApprovals@calgary.ca OR 403-268-2693 OR jennifer.derbywagner@calgary.ca.

52. A new service will be crossing, exposing and excavated within 3.0m of the 1800mm Critical collection main. Hydrovacating will be required for the determination of alignment, elevation, pipe diameter, pipe support, backfill and clearances. A detail of this information will be required to be shown on the Development Site Servicing Plan with respect to working in proximity of this critical collection main. Contact the Capital Works Engineer at 403-268-5752 for approval, notification, shutdown periods, tunnelling and auguring options.

Note:

For further information, contact Utility Specialists at:

WA-ResourcesDevelopmentApprovals@calgary.ca OR 403-268-2693 OR jennifer.derbywagner@calgary.ca.

53. Show details of servicing and metering on Development Site Servicing Plan. Provide adequate water meter locations (100mm or larger, room adjacent to an

exterior wall, 50mm or less, label water meter location) where services enter building. If static pressure exceeds 550 kPa install pressure reducing device after meter.

Note:

For further information, contact Utility Specialists at:
WA-ResourcesDevelopmentApprovals@calgary.ca OR 403-268-2693 OR
jennifer.derbywagner@calgary.ca.

54. Maintain a 3.0m separation between Enmax facilities (power poles, light standards, transformer pads, catch basins, etc.) with the proposed water service.
55. Redundant services are to be disconnected at the source and new service installed at the owners expense.
56. Each unit must be individually metered.
57. Each titled parcel must have separate (direct) service connections to public mains.

Note:

For further information, contact Utility Specialists at:
WA-ResourcesDevelopmentApprovals@calgary.ca OR 403-268-2693 OR
jennifer.derbywagner@calgary.ca.

58. Ensure that the water service separation from the foundation wall or piles is:
 - a. 4.0m (100mm service or larger), or
 - b. 3.0m (50mm service or smaller), or
 - c. 2.0m when the foundation wall or piles extends vertically a minimum of 2.0m below the invert of the water pipe.
59. The applicant must apply for water and sewer connections as per City Standards.
60. The allowable stormwater run-off coefficient shall be 50 L/s/ha.

Note:

For further information, contact Utility Specialists at:
WA-ResourcesDevelopmentApprovals@calgary.ca OR 403-268-2693 OR
jennifer.derbywagner@calgary.ca.

61. Surface ponding (trapped lows) should be designed to contain all the flow generated from the 100 year storm events.
62. Where possible, discharge of roof leaders should be directed onto grassed or pervious areas to help reduce the volume of runoff. Alternatively, the roof leaders may be directed to the on-site storm sewer system.
63. Controlled stormwater discharge is required for the subject site.
64. All on-site sewers are to be designed to City of Calgary specifications.
65. Storm Redevelopment Fees (\$84 / m frontage) will be required at the service connection stage.

Note:

For further information, contact Utility Specialists at:
 WA-ResourcesDevelopmentApprovals@calgary.ca OR 403-268-2693 OR
 jennifer.derbywagner@calgary.ca.

66. Ensure elevations of building slab and/or any building openings are 0.3m minimum above trap low spill elevations or the 100 year elevation, whichever is higher. The minimum grade within the lot adjacent to trap low must be 0.3m higher than the 1:100 year elevation in the trap low or spill elevation, whichever is higher. This minimum grade must be achieved within a 6.0m distance from the common property line of the lot and the road right-of-way.
67. As per The City of Calgary Drainage Bylaw 37M2005, the developer, and those under their control, are responsible for ensuring that a Drainage Permit is obtained from Water Resources prior to discharging impounded runoff (caused by rainfall and/or snowmelt) seepage or groundwater from construction site excavations or other areas to a storm sewer. The developer, and those under their control, is responsible for adhering to all conditions and requirements stipulated in the Drainage Permit at all times. For further information, contact the Corporate Call Centre at 311 or visit <http://www.calgary.ca/UEP/Water/Pages/Watersheds-and-rivers/Erosion-and-sediment-control/Report-and-Drawings-Templates-and-Guides.aspx> (Drainage Permit applications can be downloaded from this website).
68. Stormwater emergency escape routes must be to a public roadway.
69. Locate any / all services and / or utilities in the field.

Coordinate with the utility owner(s) for the removal and/or relocation of existing utilities located within the subject parcel or the registration of an easement, or utility right of way for the protection of the utilities. All of the above is contingent to the satisfaction of the affected utility owner(s).

70. Any / all tree planting proposed to be located within road rights of way shall require a line assignment from Utility Line Assignments. This application consists of a letter, on letterhead, requesting approval to plant trees in the boulevard and six (6) scaleable landscape plans (1:250 or 1:500 preferred) indicating the following information:
- a. Property lines
 - b. Curb/sidewalks
 - c. Species and caliper of proposed trees (evergreen and poplar trees are not permitted in boulevards)
 - d. Existing features (streetlight poles, hydrants, existing trees, utilities, etc.)
 - e. Dimensions from property line to all of the above features

Include the Development Permit number in your letter. Shrub and flowerbeds are not permitted in City boulevards. Due to the number of applications reviewed by this office, it will typically take two weeks for a response. The letter can be addressed to the Supervisor, Utility Line Assignments, 6th floor, 800 Macleod Trail SE, Calgary, Alberta T2P 2M5, Location #8026. Alternatively, the required information can be submitted to the ULA Support email as a PDF at ulasupport@calgary.ca.

For further details, contact ulasupport@calgary.ca.

71. For questions and concerns regarding waste storage facilities, refer to the Development Reviews: Design Standards for the Storage and Collection of Waste, found at:

<http://www.calgary.ca/UEP/WRS/Pages/Commercial-Services/Development-Permits-Waste-Recycling.aspx>

Garbage, recyclable materials and food and yard (organics) waste and recycling storage and/or collection areas shall be maintained and clear of snow and ice.

Secondary suites may not be eligible to receive a separate set of waste and recycling containers from The City of Calgary. Suites are expected to share the waste storage with the associated primary dwelling unit.

Note:

For further details, contact Waste and Recycling Services at 403-268-8445 or jc.lauzier@calgary.ca OR 403-268-8429 or steve.gorda@calgary.ca.

72. As advised by River Engineering (Part 1):

Building Opening Elevation for Development within the Flood Hazard Area: All building openings (basement windows, walk out basements, etc.) and adjacent landscaping grades are recommended to be at or above the 2020 AEPA 1:20 flood elevation. A 1:20 flood means a flood level that has a 5% chance of occurring in any year.

The 1:20 flood elevation is 1038.3m (geodetic).

Groundwater Seepage:

A portion of the proposed development lies adjacent to the Bow River. Due to the geography and nature of the soils in the area, groundwater levels are a concern for subgrade structures, and shall be considered in design. Structures with subsurface components, including parking garages and basements, should be designed for structural stability under elevated groundwater conditions during river flooding, or so that the foundation of such structures is above the groundwater elevation during a 1:100 river flood.

The following should be considered in basement design:

- a. Design the building to prevent structural damage from elevated groundwater levels by floodwaters. Elevated groundwater levels may impact foundation dewatering, foundation water proofing, and structural design.
- b. Basements should not be utilized for the storage of immovable or hazardous materials that are flammable, explosive, or toxic.
- c. A sump pump with battery backup should be installed in the basement.
- d. The sump pump outfall pipe should be looped and discharged above the designated flood elevation of 1039.8m (geodetic).
- e. A separate electrical circuit should be installed for the sump pump with the operating switch located above the designated flood elevation of 1039.8 m m (geodetic).

- f. Installation of backflow prevention valve(s) on sewer lines or the elimination of gravity flow basement drains.
- g. No primary living spaces (i.e. bedrooms) below the designated flood elevation of 1039.8 m m (geodetic).
- h. A water alarm should be installed in the basement to warn of groundwater seepage.

The designated flood elevation is 1039.8m (geodetic).

73. As advised by River Engineering (Part 2):

Inglewood Barrier:

Based on information gathered in the 2013 flood event, and analysis contained in the 2020 draft Alberta Environment and Protected Areas inundation maps, the Inglewood Flood Barrier provides mitigation up to a 1:100 flood. Design up to the 1:100 flood will increase resilience to flooding, but because of the decreased risk, River Engineering would support a relaxation of the designated flood elevation to the 1:20 flood elevation or higher.

The designated flood elevation is 1039.8m (geodetic).

The 1:20 flood elevation is 1038.3m (geodetic).

Below Grade Secondary Suites:

River Engineering strongly recommends against placing secondary suites below the designated flood elevation in flood prone areas. Under B.6.a of the Policy to Guide Discretion for Secondary Suites and Backyard Suites (2018), Secondary Suites are encouraged to be above grade when located in the Flood Fringe. Should the suite be located below grade, it must comply with the flood mitigation rules of the Land Use Bylaw. Water can enter basements rapidly during a flood from groundwater and/or overland flows and become a life safety hazard, resulting in evacuations, and damage to the building and suite contents.

Densification:

Densification as a result of this development increases the risks associated with life safety, property damage and losses, as well as resident displacement during a flood. It is recommended that emergency plans for egress are put in place in the event of a flood. For information on how to prepare for emergencies, please refer to <https://www.calgary.ca/emergencies/preparedness.html>.

Province of Alberta Disaster Recovery - Province of Alberta

The design of the building on the parcel may affect its ability to qualify for the Province of Alberta Disaster Recovery Program assistance, therefore it is recommended that the applicant contact the Alberta Emergency Management Agency at 1-888-671-1111 or drp.info@gov.ab.ca, to review any pertinent matters about the subject development. Note recent changes to the disaster assistance program in 2021 implemented a \$500,000 funding cap per homeowner application, and a one-time limit on disaster financial assistance per property.

Province of Alberta Flood Hazard Map Update:

Be advised that the Province of Alberta has recently updated the provincial flood hazard maps which form the basis for The City of Calgary's Land Use Bylaw flood hazard areas. These updates include a new approach to defining the flood

hazard areas along the Bow and Elbow Rivers. For more information on the Provinces project, please see www.floodhazard.alberta.ca.

These updates may result in changes to the regulatory zones and designated flood elevations for the proposed development area. Changes to the Land Use Bylaw in response to the updated flood hazard maps are anticipated to be completed in 2025. For more information, please see <https://www.calgary.ca/rivervalleys>.

74. As advised by River Engineering (Part 3):

The proposed development location is within the 1:100 Flood Fringe, as per Council approved regulatory flood maps located at:
<https://www.calgary.ca/pda/pd/calgary-land-use-bylaw-1p2007/land-use-bylaw-1p2007-maps.html>.

As such, the proposed development is subject to the Land Use Bylaw (LUB), Part 3, Division 3, Clauses 55, 59, & 60.

The official designated flood level (1:100 flood elevation) is 1039.8m (geodetic).

The Draft 2020 AEP model 1:20 flood elevation is 1038.3m (geodetic).

For parcels located in the floodway, flood fringe or overland flow area, the requirements of this Division apply and prevail when there is any conflict between the requirements of this Division and any other requirements of this Bylaw.

Only those goods that are easily moveable may be stored on a parcel in the flood fringe or the overland flow area.

All buildings in the flood fringe must be designed in the following manner:

- (a) to prevent structural damage by floodwaters.
- (b) the first floor of all buildings must be constructed at or above the designated flood level; and
- (c) all electrical and mechanical equipment within a building must be located at or above the designated flood level; and
- (d) a sewer back up valve must be installed in every building.

Mobility Engineering

- 75. Garage aprons / parkade access / loading areas / parking stalls at rear must tie to the existing lane grades. Lane grades will be provided on the grade slip issued by Development Servicing. It is the responsibility of developer, contractor, or homeowner to set the elevations of the garage slab based on the lot grading and to ensure that garage is operationally accessible and that it ties to established land grades. Lane grades are not to be altered without the approval of Roads.
- 76. The City does not grant approval for the placement of underground irrigation sprinkler systems in City owned lands or boulevards that are adjacent to the development site and are installed at the developers risk. The City of Calgary will not assume liability or responsibility for repair or replacement in event it has

been damaged or destroyed during construction on City owned lands or boulevards by city workers or its authorized contractors.



322-24 - Frank Cerato - 1509 & 1511 8 Ave SE 5+5

December 2, 2024

JOHN TRINH & ASSOCIATES

Trinh, John



Dear Applicant:

RE: Detailed Review (DR)

Development Permit Number: DP2024-07430

Based on the plans received, your application has been reviewed in order to determine compliance with the Land Use Bylaw and applicable City policies. Any variance from the Land Use Bylaw or City policies may require further discussion or revision prior to a decision being rendered.

The City endeavors to render decisions on applications within specific service standards. Please assist us in meeting these targets by ensuring your resubmission is complete and made in a timely manner. Please submit a digital set of the amended plan, in PDF format, along with a detailed response letter on how each of the Prior to Decision and/or Prior to Release conditions have been addressed and/or resolved.

This information must be received, in its entirety, no later than January 31, 2025. If a complete submission is not received by this date, the development permit may be inactivated and subject to a reactivation fee. If the development permit application is not reactivated, it may be cancelled by Administration as per Land Use Bylaw 1P2007, Section 41.1. If you require additional time to respond to the conditions outlined in this Detailed Review document, please let me know by contacting me.

Should you have any questions or concerns, please contact me at 403-200-8575 or by email at Wallace.Leung@calgary.ca.

Sincerely,

WALLACE LEUNG

Senior Planner



322-24 - Frank Cerato - 1509 & 1511 8 Ave SE 5+5

Detailed Review 1 – Development Permit

Application Number:	DP2024-07430
Application Description:	New: Dwelling Unit (2 buildings), Accessory Residential Building (garage)
Land Use District:	Residential - Grade-Oriented Infill
Use Type:	Permitted
Site Address:	1511 8 AV SE
Community:	INGLEWOOD
Applicant:	JOHN TRINH & ASSOCIATES
Date DR Sent:	December 2, 2024
Response Due Date:	January 31, 2025
Development Applications Review Team	
Planning:	WALLACE LEUNG 403-200-8575 Wallace.Leung@calgary.ca
Utility Engineering:	CHRIS FLEETWOOD 587-576-4329 Chris.Fleetwood@calgary.ca
Mobility Engineering:	IRIS YE 403-268-1657 Iris.Ye@calgary.ca

General Comments

This application is proposing to develop two residential buildings with 5 dwelling units and 5 secondary suites and detached garage with 5 parking stalls. The site is located in the community of Inglewood in proximity to the 9 Avenue SE Neighbourhood Mains Street area.

A land use amendment application (LOC2024-0223, under review) proposes to redesignate the site to the Housing – Grade-Oriented (H-GO) District to allow for this development. The proposal meets the location criteria of the H-GO District as the subject site is located within the Inner City areas and is within approximately 50 metres of the 9 Avenue SE Main Street.

Comments on Relevant City Policies

Municipal Development Plan (Statutory – 2009)

The Municipal Development Plan (MDP) identifies this site as part of the Neighbourhood Main Street area (Map 1: Urban Structure). Sections 3.4.1 and 3.4.3 encourage sensitive and moderate intensification of land in the Neighbourhood Main Street area and the use of urban design to create a pedestrian-friendly streetscape. Ground-oriented housing is encouraged within the Neighbourhood Main Street area. The proposed H-GO District complies with relevant MDP policies and allows for moderate, context-sensitive intensification.

Track your application on-line with VISTA. Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

Inglewood Area Redevelopment Plan (Statutory – 1993)

The Inglewood Area Redevelopment Plan (ARP) generally identifies this site as Residential (Map 6: Generalized Land Use – Future). Development goals of the ARP include encouraging new residential development to increase the community’s population, promoting a healthy physical environment, and protecting and enhancing Inglewood’s unique context.

Section 2.2 notes that a prime objective of the ARP is to: “Encourage the construction of more housing to increase the population.” (pg. 22) and section 2.3. contains policies are applicable to this site.

2.3.1 The R-2 and R-2A designations on the existing low density residential areas should be retained. Exceptions should fall within the guidelines of 2.4.6.

2.3.2 New residential development should respect the surrounding housing and contribute to an attractive streetscape.

2.3.5 The redesignation of privately-owned lands in the community from R-2/R-2A (low density detached housing) to RM-1 or RM-2 (low density/family oriented townhousing) for small sites (.4 ha. or less) on a limited basis is in the best interest of the community if they meet the conditions set out in the Implementation Section (2.4.).

2.4.6 The redesignation of privately-owned lands in the community from R-2/R-2A (low density detached housing) to RM-1 or RM-2 (low density/family oriented townhousing) for small sites (.4 ha+ or less) is supported in principle on a limited basis.

The following conditions should be met in any such redesignation:

- a. Area residents must be fully involved in the redesignation and development permit process.
- b. The site is either currently vacant, substantially underdeveloped or developed with housing which has substantially deteriorated and the site is not completely surrounded by lower density housing. Generally sites on the edges of lower density areas are most appropriate for this type of redesignation.
- c. Traffic and other impacts have been thoroughly analyzed and can be minimized.
- d. The appearance of new developments should be compatible with existing nearby development. The edges of new developments are very important and should be attractively designed or screened to enhance to the area.

NOTE: The Historic East Calgary Communities Local Area Plan (LAP) is currently paused as part of the local area planning activities

Bylaw Discrepancies		
Regulation	Standard	Provided
1395 Building Setback from Front Property Line	The minimum building setback from a front property line is 3.0m	Plans indicate a north setback of 2.97m (-0.03m). Amend plans to address bylaw discrepancies. Amended Setback 0.03m on siteplan.
1398 Projections Into Setback Area	(1) Unless otherwise referenced in subsections (2) through (9), a building or air conditioning units must not be located in any setback area.	Plans indicate portions of building in the north setback area. Amend plans to address bylaw discrepancies. Amended Setback 0.03m on siteplan.

Track your application on-line with VISTA. Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

1402 Landscaping Requirements	(3) All setback areas adjacent to a street, except for those portions specifically required for motor	Plans indicate portions of building in the north setback area. Amended Setback 0.03m on siteplan.
-------------------------------	---	---

	vehicle access, must be a landscaped area.	Amend plans to address bylaw discrepancies. Amended Setback 0.03m on siteplan.
1399 Building Height	(2) Where a building setback is required from a property line shared with another parcel designated with a low density residential district, H-GO or the M-CG District, the maximum building height: (a) is the greater of: (ii) 8.0m from grade;	Plans indicate portions of building 1 above the height chamfer cut from the east side property line, and building 2 from both the east and west side property lines. Amend plans to address bylaw discrepancies. Revised building to comply with chamfer.
60 Flood Fringe	(1) All buildings in the flood fringe must be designed in the following manner: (d) a sewer back up valve must be installed in every building.	Plans do not indicate. Amend plans to address bylaw discrepancies. Amended on plans.

Prior to Decision Requirements

The following issues must be addressed by the Applicant through a written submission and amended plans prior to a decision by the Approving Authority:

Planning

1. Submit a complete digital set of the amended plans in PDF format and a separate PDF response letter that provides a point-by-point explanation as to how each of the Prior to Decision conditions were addressed and/or resolved. If Prior to Release conditions have been addressed in the amended plans, include a point-by-point explanation for these items as well. The submitted plans must comprehensively address the Prior to Decision conditions as specified in the DTR document. Ensure that all plans affected by the revisions are amended accordingly. To arrange the digital submission, please contact the File Manager directly.

This information must be received, in its entirety, no later than 60 days from the date this DTR form was sent to the applicant and owner. If a complete submission is not received within the 60 day time frame, the development permit may be inactivated. Upon inactivation, the applicant and owner will receive written notice of the inactivation and of a further 30 day time frame within which the application may be reactivated subject to a reactivation fee. If the development permit application is not reactivated as per the written notification, it may be cancelled by Administration as per Land Use Bylaw 1P2007, Section 41.1.

In the event that the application needs to be recirculated, a recirculation fee may be applied.

2. Amend plans to address the bylaw discrepancies noted in this document. Alternatively, provide planning rationale in a written submission supporting any proposed relaxations to address the bylaw discrepancies noted in this document.

3. The Inglewood Area Redevelopment Plan indicates that the appearance of new developments should be compatible with existing nearby development and the edges of new developments are very important and should be attractively designed or screened to enhance to the area. Amend plans and provide the following:
1. Amend plans and improve the development and building interface with the adjacent Park. Provide a written response on how the proposed development have considered contributing to a visually interesting and active interface with the park. **We have small balconies on the rear of building B to take advantage of the view into the park. Size limits are to comply with building code regulations pertaining to fire safety.**
 2. Amend plans and provide dwelling units above the garages. If this has been explored, provide rationales on why this is not provided in the DP and how this could be explored at the future planning stages.
 3. Amend plans to indicate the windows locations and size on the site plan to better demonstrate that there no overlooking with the adjacent developments. Provide a written response on how the proposed development have considered privacy/overlooking onto adjacent properties.

There are no windows on the side setback for building #1 and the window that exists on the loft floor for building #2 is a transom that is high to avoid on looking. The window is labelled on the site plan.
4. Ward 9 Councillor's Office is generally supportive of the proposed development and provided comments as summarized below. Provide a response to the Councillor's Office comments and how the comments are considered and addressed.
- There is an opportunity for this proposal to better address the southern aspect / site design / building interface with Mills Park more appropriately. Amend plans and provide units above the garage doors to improve the interface with the park.
- Backyard suite will not meet bylaw as you will need a 5m separation from the main building and the garage suite. We also will not meet the parking requirements of the bylaw. The proposed development is intended to be as contextual as possible without the need for bylaw relaxations to avoid possible complications for appeals.**
5. The Inglewood Community Association is opposed to the proposed development and provided comments. Provide a response to the CA's comments and how they were considered and could be addressed where possible.
- The Inglewood Planning Committee has reviewed the application regarding the New Dwelling (2 buildings), Accessory Residential Building (garage) and are opposed to this development. DP2024-07430 is not supported by the Inglewood ARP.
 - The proposed development is mid block completely surrounded by lower density housing does not respect the adjacent housing or contribute to an attractive streetscape, Inglewood ARP Sections 2.3.2 and 2.4.6.
 - The ARP further prescribes that while this sort of development may be

Track your application on-line with VISTA. Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

appropriate, it should be located on the edges of lower density areas, Inglewood ARP 2.3.6 and 2.4.6

The development is an appropriate transitional building being proposed in an area undergoing redevelopment. Down the street there are plenty of higher density buildings. There are also a lot of amenities to support modest densification. Parks and businesses are located within walking distance. The proposed development has a contextual front setback with an attractive streetscape.

6. The land use amendment application (LOC2024-0223) is anticipated to be recommended to Calgary Planning Commission in January 2025 and Council Public Hearing in March 2025. Pending Council's decision on the land use amendment, administration will be able to proceed with approval on this development permit.

Note: Concurrent applications are defined as a land use amendment and development permit, on the same site, where both applications are ready for a decision at the same time.

7. The Site Plan/Landscaping Plan illustrates existing public trees: T1, T2, T4, T5, and T6. You do not have permission to remove public trees. Amend the plans to state, "To Stay." **Amended on landscape plan.**

Also, amend the Site Plan/Landscape Plan to indicate all existing public trees within 6.0m of the development site. As per the Tree Protection Bylaw, provide the following information:

- a. Tree species,
- b. Caliper of tree trunk (dbh),
- c. Height of tree,
- d. Location of the centre point of the tree trunk,
- e. Scaled outline of the tree canopy dripline,
- f. Indicate whether the tree is to remain or to be removed.

You will find information on The City Urban Forestry Public Tree Map website at: <https://maps.calgary.ca/TreeSchedule/> **Amended on landscape plan.**

8. T3, which is a shrub, should be allowed. Amend the plans to state, "To Be Removed." This will allow the service connections (water, sanitary and storm) to shift the alignment to the East increasing separation from existing public trees. Also, amend the plans to relocate utilities to the East to provide additional room for T4. **Amended on landscape plan.**
9. Site Plan/Landscape Plan illustrates gas service connection coming in from the front and also from the rear. Confirm and amend the plans to show the true location of this service connection. **The gas line only shows the connection coming from the front.**

There is an existing public shrub located between T5 and T4. This shrub may require removal for gas service install. Amend plans to illustrate location of this shrub, and to state, "To Be Removed." **Amended on landscape plan.**

Utility Engineering

10. Submit an electronic Fire Flow Letter, for review and acceptance.

The fire flow letter must be prepared by a qualified professional engineer under seal and permit to practice stamp, to the satisfaction of the Coordinator, Utility Specialists. **Would it be possible to move this condition to a PTR the same as the DSSP? The Fire Flow Letter is provided to us from the engineers as a part of the DSSP package.**

Said letters are to be emailed (electronically) directly to:
WA-ResourcesDevelopmentApprovals@calgary.ca

The fire flow letter shall identify the type of the development, address of the development, DP application and the fire flow required for the developing property (based on the Fire Underwriters Survey calculations). If the City watermain does not have the flows available to meet the fire flow requirements of

Track your application on-line with VISTA. Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

the developing property the City main must be upgraded at the cost of the developer. The letter must reference the Fire Underwriters Survey.

The Internal system will need to be designed accordingly in-order-to ensure adequate water supply and fire protection.

Note:

The fire flow available in the adjacent City water network is 15,000 L/min, at 15m residual pressure, under normal operating conditions.

For further information, contact Utility Specialists at:
WA-ResourcesDevelopmentApprovals@calgary.ca OR 403-268-2693 OR
jennifer.derbywagner@calgary.ca.

11. Amend all relevant plans/details to:

River Engineering (Flood Fringe):

- a. Provide a note which states the following:

"The proposed building will be designed as to prevent structural damage by floodwaters". **Note added on block plan.**

- b. Provide a note which states the following:

"The proposed development will include the installation of a sewer back-up valve". **Note added on block plan.**

Note:

The proposed development location is within the 1:100 Flood Fringe, as per Council approved regulatory flood maps located at:
<https://www.calgary.ca/pda/pd/calgary-land-use-bylaw-1p2007/land-use-bylaw-1p2007-maps.html>.

As such, the proposed development is subject to the Land Use Bylaw (LUB), Part 3, Division 3, Clauses 55, 59, & 60.

12. Amend the plans to:

Water Servicing:

- a. Indicate (show / label) an adequate Water Meter Area, where the services (50mm and smaller) enter each building, internal to each building.

Water meter location added in mechanical rooms on architectural plans.

Note:

For further information, contact Utility Specialists at:
WA-ResourcesDevelopmentApprovals@calgary.ca OR 403-268-2693 OR
jennifer.derbywagner@calgary.ca.

Prior to Release Requirements

The following requirements shall be met prior to the release of the permit. All requirements shall be resolved to the satisfaction of the Approving Authority:

Planning

13. Submit a complete digital set of the amended plans in PDF format and a separate PDF that provides a point-by-point explanation as to how each of the Prior to Release conditions were addressed and/or resolved. The submitted plans must comprehensively address the Prior to Release conditions as specified in this document. Ensure that all plans affected by the revisions are amended accordingly. To arrange the digital submission, please contact your File Manager directly.
14. Amend the plans to include a note stating 'An Urban Forestry Technician must be on-site during the removal of the existing walkway within the public boulevard, in order to mitigate any damage to adjacent public trees. Contact Urban Forestry by phoning 311 at least three (3) business days in advance of excavation.' If canopies or root systems are damaged to the point where the tree becomes unstable, then Urban Forestry will require their removal using an approved indemnified tree contractor at applicant's expense, plus compensation for the removed tree(s). **added on landscape plan.**

Utility Engineering

15. Submit an electronic Development Site Servicing Plan (DSSP) circulation, for review and acceptance, as required by Section 5 (2) of the Utility Site Servicing Bylaw 33M2005. **acknowledged**

For further information, refer to the following:

Development Site Servicing Plan Webpage

<https://www.calgary.ca/uep/water/specifications/water-development-resources/development-site-servicing-plans.html>

Development Site Servicing Plans CARL (requirement list)

<http://www.calgary.ca/PDA/pd/Pages/Permits/carl-building-development-permit-search.aspx>

Note:

For further information, contact Utility Specialists at:
WA-ResourcesDevelopmentApprovals@calgary.ca OR 403-268-2693 OR
jennifer.derbywagner@calgary.ca.

16. After the Development Permit is approved but prior to its release, the landowner shall execute an Off-Site Levy Agreement for the payment of off-site levies pursuant to Bylaw 1H2024.

Track your application on-line with VISTA. Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

Based on the information provided with the initial submission, the preliminary estimate is \$9,420.80. **acknowledged**

Note(s):

-Should payment be made prior to release of the development permit, an Off-Site Levy Agreement will not be required.

-Include the completed Payment Submission Form, which was emailed to the applicant.

-Only certified cheques or bank drafts made payable to the City of Calgary are acceptable.

To obtain an off-site levy agreement or for further information, contact the Infrastructure Strategist, Development Commitments, at 587-215-6253 OR yunpeng.qin@calgary.ca OR offsitel Levy@calgary.ca.

Mobility Engineering

17. The desirable grade for a walkway should be under 8%, revise the design grade for the proposed sidewalks along the side of the house is suggested.

Amended on site plan

Permanent Conditions

The following permanent conditions shall apply:

Planning

18. The Permanent Conditions will be finalized at the time of Development Authority decision.
19. All rules of Land Use Bylaw 1P2007 apply, subject to any relaxations approved by the Development Authority in this development permit.
20. The development shall be completed in its entirety, in accordance with the approved plans and conditions. The stamped and signed plans are a legal document.
21. No changes to the approved plans shall take place unless authorized by the Development Authority. If changes to the development occur or are proposed, a new development permit or revised plan application may be required.
22. A development completion permit must be issued for the development before the use is commenced or the development occupied. A development completion permit is independent from the requirements of City of Calgary Building Regulations inspections and permission for occupancy. Request a development completion permit inspection by visiting inspections.calgary.ca or call 403-268-5311.
23. When the main floor of each building is constructed, submit the geodetic elevation to Geodetic.Review@Calgary.ca

Utility Engineering

24. Single retaining walls 1.2m in height or greater or terraced retaining walls 1.2m in height or greater with a horizontal separation between walls of less than 3.6m (3x height) require the approval of a Building Permit prior to construction.

For retaining wall(s) that meet these criteria, the developer may either:

- a. Include the retaining walls with the Building Permit for the building, or
- b. Apply for a separate Building Permit for the retaining walls.

It should be noted that the Building Permit for the building on site will not be released until the separate Building Permit for site retaining walls is approved.

25. For all soil disturbing projects, the developer, or their representative, shall designate a person to inspect all erosion and sediment control practices a minimum of every seven (7) days and during, or within 24 hours of, the onset of significant precipitation (> 12mm of rain in 24 hours, or rain on wet or thawing soils) or snowmelt events. Note that some practices may require daily or more

frequent inspection. Erosion and sediment control practices shall be adjusted to meet changing site and winter conditions.

26. Stormwater runoff must be contained and managed in accordance with the Stormwater Management & Design Manual all to the satisfaction of the Manager, Development Engineering.
27. The grades indicated on the approved Development Site Servicing Plan(s) must match the grades on the approved Development Permit plans. Upon a request from the Development Authority, the developer or owner of the titled parcel must confirm under seal from a Consulting Engineer or Alberta Land Surveyor, that the development was constructed in accordance with the grades submitted on the Development Permit and Development Site Servicing Plan.
28. If during construction of the development, the developer, the owner of the titled parcel, or any of their agents or contractors becomes aware of any contamination,
 - a. the person discovering such contamination shall immediately report the contamination to the appropriate regulatory agency including, but not limited to, Alberta Environment, Alberta Health Services and The City of Calgary (311).
 - b. on City of Calgary lands or utility corridors, The City of Calgary, Environmental and Safety Management division shall be immediately notified (311).
29. No trees, shrubs, buildings, permanent structures or unauthorized grade changes are permitted within utility rights-of-way.
30. The development site lies within the Flood Fringe and as such must conform to Land Use Bylaw 1P2007, Part 3, Division 3.
31. Pursuant to Bylaw 1H2024, off-site levies are applicable.

After approval of the Development Permit but prior to issuance of a Development Completion Permit or any occupancy of the building, payment shall be made for off-site levies pursuant to Bylaw 1H2024.

Note(s):

-Include the completed Payment Submission Form, which was emailed to the applicant.

-Only certified cheques or bank drafts made payable to the City of Calgary are acceptable.

To obtain a final estimate contact the Infrastructure Strategist, Development Commitments, at 587-215-6253 OR yunpeng.qin@calgary.ca OR offsitelevy@calgary.ca.

Mobility Engineering

32. The developer shall be responsible for the cost of public work and any damage during construction in City road right-of-ways, as required by the Manager, Development Engineering. All work performed on public property shall be done in accordance with City standards.

Advisory Comments

The following advisory comments are provided as a courtesy to the Applicant and registered property owner. The comments represent some, but not all of the requirements contained in the Land Use Bylaw that must be complied with as part of this approval.

Planning

33. The Advisory Comments will be finalized at the time of Development Authority decision.
34. The Applicant may appeal the decision of the Development Authority, including any of the conditions of the development permit. If you decide to file an appeal, please refer to the notification of decision letter for the appropriate appeal body and appeal process.
35. The approval of this development permit does not limit in any way the application of any federal, provincial, or municipal law, policy, code, regulation, bylaw, and/or guideline, nor does it constitute any permit or permission under any federal, provincial, or municipal law, policy, code, regulation, bylaw, and/or guideline.
36. In addition to this development permit, building permits may also be required. Building permit applications may be submitted upon approval of the associated development permit. Contact Building Regulations at 403-268-5311 for further information.
37. This development permit has not been reviewed for potential issues with the National Building Code - current Alberta Edition. You may require a Building Permit in addition to this development permit in which case compliance with the Code will be assessed through a Building Permit application. Should a Building Permit review require changes to the approved development permit, the changes must be to the satisfaction of the Development Authority and are potentially subject to a new development permit.
38. There are many types of caveats and other agreements that can be registered on the title of the property that can restrict the ability to develop. The City has not reviewed or considered all instruments registered on the title to this property. Property owners must evaluate whether this development is in compliance with any documents registered on title.
39. The Streets Bylaw (20M88) and the Tree Protection Bylaw (23M2002) contain clauses intended to protect trees growing on Public Land. No person shall remove, move, cut, or prune a Public Tree or cause a Public Tree to be removed, moved, cut or pruned without prior written authorization from the Director, Parks. A copy of the bylaw can be found at www.calgary.ca. Parks does not permit the removal of public trees to facilitate development unless all options to retain and protect are exhausted.
40. If clearance pruning of public trees is required, Urban Forestry must be notified (minimum two business days notice) and an indemnified contractor must be used

Track your application on-line with VISTA. Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

at the applicants expense. Please contact Urban Forestry at 311 for more information.

41. An Urban Forestry Technician must be on-site to mitigate possible root damage to adjacent public trees during the removal of the existing walkway within the public boulevard. Prior to construction, contact Urban Forestry at 311 and ask to speak to an Urban Forestry Technician. Urban Forestry requires minimum two business days notice prior to meeting onsite.
42. As part of the Tree Protection Bylaw, a Tree Protection Plan will be required when a development, construction activity, or a disturbance occurring on the City Boulevard is within 6 metres of a boulevard tree. For more information about submitting your tree protection plan visit www.calgary.ca and search protecting trees during construction and development; alternatively, call 311 or email tree.protection@calgary.ca. Applicant is to apply for tree protection plan prior to demolition.
43. The applicant will be required to provide compensation to the City of Calgary for any Public Trees that are removed or damaged. Individual Public Trees can have values ranging in the thousands of dollars depending on size and species. For example, a 50-cm diameter American Elm can have a value of **\$11,500**. For further information on tree value and compensation please call 311 or visit www.calgary.ca/parks. Applicants that are unfamiliar with tree protection or tree appraisal are advised to consult an arborist.
44. The applicant will be required to provide compensation to the City of Calgary for any Public Trees that are removed or damaged. The Public Tree(s) adjacent to this development is/are valued at **\$5860.57**. Applicants that are unfamiliar with tree protection or tree appraisal are advised to consult an arborist.
45. Services should be shown on the plans in accordance with the Grade Slip granted by the City. If the servicing trench will be located within the dripline of an existing public tree, the applicant shall contact Urban Forestry or contact Development Site Servicing through 311 in attempt to avoid this conflict.
46. No stockpiling or dumping of construction materials is permitted on the boulevard.

Utility Engineering

47. The developer is responsible for ensuring that:
 - a. The environmental conditions of the subject property and associated utility corridors meet appropriate regulatory criteria and appropriate environmental assessment, remediation or risk management is undertaken.
 - b. Appropriate environmental assessment(s) of the property has been undertaken and, if required, a suitable remedial action plan and/or risk management plan has been prepared, reviewed and accepted by the appropriate regulatory agency(s) including but not limited to Alberta Environment and Alberta Health Services.
 - c. The development conforms to any reviewed and accepted remedial action plan/risk management plans.

Track your application on-line with VISTA. Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

d. All reports are prepared by a qualified professional in accordance with accepted guidelines, practices and procedures that include but are not limited to those in the most recent versions of the Canadian Standards Association and City of Calgary Phase I & II Environmental Site Assessment Terms of Reference.

e. The development is in compliance with applicable environmental approvals (e.g. Alberta Environment Approvals, Registrations, etc), Energy Resources Conservation Board approvals and related setback requirements, and landfill setback requirements as set out in the Subdivision and Development Regulation.

If the potential for methane generation or vapours from natural or contaminated soils and groundwater has been identified on the property, the developer is responsible for ensuring appropriate environmental assessment(s) of the property has been undertaken and appropriate measures are in place to protect the building(s) and utilities from the entry of methane or other vapours.

Issuance of this permit does not absolve the developer from complying with and ensuring the property is developed in accordance to applicable environmental legislation.

48. Prior to the commencement of construction, alteration or demolition operations, a fire safety plan, accepted in writing by the Fire Department and the authority-having jurisdiction, shall be prepared for the site and conform to the requirements of the AFC 2014, Division B, 5.6.1.3. This document is required as a Building Permit condition for approval.

Note:

For further details, contact Fire Department Technical Services at ryan.smith@calgary.ca OR 403-801-6595.

49. Fire access and/or proximities shall be in accordance with current Calgary Fire Department Access Standards and / or current applicable code(s) articles. See below.

For context:

- a) Access for fire department equipment shall be provided to each building by means of a street, private roadway or yard. Appropriate code reference 9.10.20.3.(1).
- b) Special variations could be permitted for a house or residential building that is protected with an automatic sprinkler system. The sprinkler system must be designed in accordance with the appropriate NFPA standard and there must be assurance that water supply pressure and quantity are unlikely to fail. These considerations could apply to buildings that are located on the sides of hills and are not conveniently accessible by roads designed for firefighting equipment and also to infill housing units that are located behind other buildings on a given property. Appropriate code reference A 9.10.20.3.(1) Fire Department Access Route Modification.

Some units / buildings may be subject to having to be sprinklered.

1.3.3.4. Building Size Determination

1) Where a firewall divides a building, each portion of the building so divided shall be considered as a separate building, except when this requirement is specifically modified in other parts of this Code.

c) Where access to a building as required and is provided by means of a roadway or yard, the design and location of such roadway or yard shall take into account connection with public thoroughfares, weight of firefighting equipment, width of roadway, radius of curves, overhead clearance, location of fire hydrants, location of fire department connections and vehicular parking.

d) For residential buildings, including townhouse complexes, the distance of the principle entrance from a street should not exceed 45m (as per RB14-042). Each dwelling unit (secondary suites included) must be within 45m travel distance to from street (fire access lane) to principle entrance.

Fire Professional involvement, NBC(AE) 2.4.2.1(4)

Residential buildings with 5 to 20 dwelling units must be imprinted with the seals or stamps of either a registered architectural professional, or one or more registered engineering professionals.

Note:

For further details regarding fire access requirements, see the below link:

<http://www.calgary.ca/CSPS/Fire/Documents/Fire-Department-Access-Standard.pdf>

For further details, contact Fire Department Technical Services at 403-801-6595 or Ryan.Smith@calgary.ca.

50. Site Servicing (hydrant location plan) is to be submitted and approved by the Fire Department prior to the Development Site Servicing Plan stage. One stamped plan is to be submitted with the Development Site Servicing Plan submission.

For further details, contact Fire Department Technical Services at 403-801-6595 or Ryan.Smith@calgary.ca.

51. Water, sanitary and storm connections are available from 8 AV SE.

Note:

For further information, contact Utility Specialists at:

WA-ResourcesDevelopmentApprovals@calgary.ca OR 403-268-2693 OR jennifer.derbywagner@calgary.ca.

52. A new service will be crossing, exposing and excavated within 3.0m of the 1800mm Critical collection main. Hydrovacating will be required for the determination of alignment, elevation, pipe diameter, pipe support, backfill and clearances. A detail of this information will be required to be shown on the Development Site Servicing Plan with respect to working in proximity of this critical collection main. Contact the Capital Works Engineer at 403-268-5752 for approval, notification, shutdown periods, tunnelling and auguring options.

Note:

For further information, contact Utility Specialists at:

WA-ResourcesDevelopmentApprovals@calgary.ca OR 403-268-2693 OR jennifer.derbywagner@calgary.ca.

53. Show details of servicing and metering on Development Site Servicing Plan. Provide adequate water meter locations (100mm or larger, room adjacent to an

exterior wall, 50mm or less, label water meter location) where services enter building. If static pressure exceeds 550 kPa install pressure reducing device after meter.

Note:

For further information, contact Utility Specialists at:
WA-ResourcesDevelopmentApprovals@calgary.ca OR 403-268-2693 OR
jennifer.derbywagner@calgary.ca.

54. Maintain a 3.0m separation between Enmax facilities (power poles, light standards, transformer pads, catch basins, etc.) with the proposed water service.
55. Redundant services are to be disconnected at the source and new service installed at the owners expense.
56. Each unit must be individually metered.
57. Each titled parcel must have separate (direct) service connections to public mains.

Note:

For further information, contact Utility Specialists at:
WA-ResourcesDevelopmentApprovals@calgary.ca OR 403-268-2693 OR
jennifer.derbywagner@calgary.ca.

58. Ensure that the water service separation from the foundation wall or piles is:
 - a. 4.0m (100mm service or larger), or
 - b. 3.0m (50mm service or smaller), or
 - c. 2.0m when the foundation wall or piles extends vertically a minimum of 2.0m below the invert of the water pipe.
59. The applicant must apply for water and sewer connections as per City Standards.
60. The allowable stormwater run-off coefficient shall be 50 L/s/ha.

Note:

For further information, contact Utility Specialists at:
WA-ResourcesDevelopmentApprovals@calgary.ca OR 403-268-2693 OR
jennifer.derbywagner@calgary.ca.

61. Surface ponding (trapped lows) should be designed to contain all the flow generated from the 100 year storm events.
62. Where possible, discharge of roof leaders should be directed onto grassed or pervious areas to help reduce the volume of runoff. Alternatively, the roof leaders may be directed to the on-site storm sewer system.
63. Controlled stormwater discharge is required for the subject site.
64. All on-site sewers are to be designed to City of Calgary specifications.
65. Storm Redevelopment Fees (\$84 / m frontage) will be required at the service connection stage.

Note:

For further information, contact Utility Specialists at:
 WA-ResourcesDevelopmentApprovals@calgary.ca OR 403-268-2693 OR
 jennifer.derbywagner@calgary.ca.

66. Ensure elevations of building slab and/or any building openings are 0.3m minimum above trap low spill elevations or the 100 year elevation, whichever is higher. The minimum grade within the lot adjacent to trap low must be 0.3m higher than the 1:100 year elevation in the trap low or spill elevation, whichever is higher. This minimum grade must be achieved within a 6.0m distance from the common property line of the lot and the road right-of-way.
67. As per The City of Calgary Drainage Bylaw 37M2005, the developer, and those under their control, are responsible for ensuring that a Drainage Permit is obtained from Water Resources prior to discharging impounded runoff (caused by rainfall and/or snowmelt) seepage or groundwater from construction site excavations or other areas to a storm sewer. The developer, and those under their control, is responsible for adhering to all conditions and requirements stipulated in the Drainage Permit at all times. For further information, contact the Corporate Call Centre at 311 or visit <http://www.calgary.ca/UEP/Water/Pages/Watersheds-and-rivers/Erosion-and-sediment-control/Report-and-Drawings-Templates-and-Guides.aspx> (Drainage Permit applications can be downloaded from this website).
68. Stormwater emergency escape routes must be to a public roadway.
69. Locate any / all services and / or utilities in the field.

Coordinate with the utility owner(s) for the removal and/or relocation of existing utilities located within the subject parcel or the registration of an easement, or utility right of way for the protection of the utilities. All of the above is contingent to the satisfaction of the affected utility owner(s).

70. Any / all tree planting proposed to be located within road rights of way shall require a line assignment from Utility Line Assignments. This application consists of a letter, on letterhead, requesting approval to plant trees in the boulevard and six (6) scaleable landscape plans (1:250 or 1:500 preferred) indicating the following information:
 - a. Property lines
 - b. Curb/sidewalks
 - c. Species and caliper of proposed trees (evergreen and poplar trees are not permitted in boulevards)
 - d. Existing features (streetlight poles, hydrants, existing trees, utilities, etc.)
 - e. Dimensions from property line to all of the above features

Include the Development Permit number in your letter. Shrub and flowerbeds are not permitted in City boulevards. Due to the number of applications reviewed by this office, it will typically take two weeks for a response. The letter can be addressed to the Supervisor, Utility Line Assignments, 6th floor, 800 Macleod Trail SE, Calgary, Alberta T2P 2M5, Location #8026. Alternatively, the required information can be submitted to the ULA Support email as a PDF at ulasupport@calgary.ca.

Track your application on-line with VISTA. Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

For further details, contact ulasupport@calgary.ca.

71. For questions and concerns regarding waste storage facilities, refer to the Development Reviews: Design Standards for the Storage and Collection of Waste, found at:

<http://www.calgary.ca/UEP/WRS/Pages/Commercial-Services/Development-Permits-Waste-Recycling.aspx>

Garbage, recyclable materials and food and yard (organics) waste and recycling storage and/or collection areas shall be maintained and clear of snow and ice.

Secondary suites may not be eligible to receive a separate set of waste and recycling containers from The City of Calgary. Suites are expected to share the waste storage with the associated primary dwelling unit.

Note:

For further details, contact Waste and Recycling Services at 403-268-8445 or jc.lauzier@calgary.ca OR 403-268-8429 or steve.gorda@calgary.ca.

72. As advised by River Engineering (Part 1):

Building Opening Elevation for Development within the Flood Hazard Area: All building openings (basement windows, walk out basements, etc.) and adjacent landscaping grades are recommended to be at or above the 2020 AEPA 1:20 flood elevation. A 1:20 flood means a flood level that has a 5% chance of occurring in any year.

The 1:20 flood elevation is 1038.3m (geodetic).

Groundwater Seepage:

A portion of the proposed development lies adjacent to the Bow River. Due to the geography and nature of the soils in the area, groundwater levels are a concern for subgrade structures, and shall be considered in design. Structures with subsurface components, including parking garages and basements, should be designed for structural stability under elevated groundwater conditions during river flooding, or so that the foundation of such structures is above the groundwater elevation during a 1:100 river flood.

The following should be considered in basement design:

- a. Design the building to prevent structural damage from elevated groundwater levels by floodwaters. Elevated groundwater levels may impact foundation dewatering, foundation water proofing, and structural design.
- b. Basements should not be utilized for the storage of immovable or hazardous materials that are flammable, explosive, or toxic.
- c. A sump pump with battery backup should be installed in the basement.
- d. The sump pump outfall pipe should be looped and discharged above the designated flood elevation of 1039.8m (geodetic).
- e. A separate electrical circuit should be installed for the sump pump with the operating switch located above the designated flood elevation of 1039.8 m m (geodetic).

- f. Installation of backflow prevention valve(s) on sewer lines or the elimination of gravity flow basement drains.
- g. No primary living spaces (i.e. bedrooms) below the designated flood elevation of 1039.8 m m (geodetic).
- h. A water alarm should be installed in the basement to warn of groundwater seepage.

The designated flood elevation is 1039.8m (geodetic).

73. As advised by River Engineering (Part 2):

Inglewood Barrier:

Based on information gathered in the 2013 flood event, and analysis contained in the 2020 draft Alberta Environment and Protected Areas inundation maps, the Inglewood Flood Barrier provides mitigation up to a 1:100 flood. Design up to the 1:100 flood will increase resilience to flooding, but because of the decreased risk, River Engineering would support a relaxation of the designated flood elevation to the 1:20 flood elevation or higher.

The designated flood elevation is 1039.8m (geodetic).

The 1:20 flood elevation is 1038.3m (geodetic).

Below Grade Secondary Suites:

River Engineering strongly recommends against placing secondary suites below the designated flood elevation in flood prone areas. Under B.6.a of the Policy to Guide Discretion for Secondary Suites and Backyard Suites (2018), Secondary Suites are encouraged to be above grade when located in the Flood Fringe. Should the suite be located below grade, it must comply with the flood mitigation rules of the Land Use Bylaw. Water can enter basements rapidly during a flood from groundwater and/or overland flows and become a life safety hazard, resulting in evacuations, and damage to the building and suite contents.

Densification:

Densification as a result of this development increases the risks associated with life safety, property damage and losses, as well as resident displacement during a flood. It is recommended that emergency plans for egress are put in place in the event of a flood. For information on how to prepare for emergencies, please refer to <https://www.calgary.ca/emergencies/preparedness.html>.

Province of Alberta Disaster Recovery - Province of Alberta

The design of the building on the parcel may affect its ability to qualify for the Province of Alberta Disaster Recovery Program assistance, therefore it is recommended that the applicant contact the Alberta Emergency Management Agency at 1-888-671-1111 or drp.info@gov.ab.ca, to review any pertinent matters about the subject development. Note recent changes to the disaster assistance program in 2021 implemented a \$500,000 funding cap per homeowner application, and a one-time limit on disaster financial assistance per property.

Province of Alberta Flood Hazard Map Update:

Be advised that the Province of Alberta has recently updated the provincial flood hazard maps which form the basis for The City of Calgary's Land Use Bylaw flood hazard areas. These updates include a new approach to defining the flood

hazard areas along the Bow and Elbow Rivers. For more information on the Provinces project, please see www.floodhazard.alberta.ca.

These updates may result in changes to the regulatory zones and designated flood elevations for the proposed development area. Changes to the Land Use Bylaw in response to the updated flood hazard maps are anticipated to be completed in 2025. For more information, please see <https://www.calgary.ca/rivervalleys>.

74. As advised by River Engineering (Part 3):

The proposed development location is within the 1:100 Flood Fringe, as per Council approved regulatory flood maps located at:
<https://www.calgary.ca/pda/pd/calgary-land-use-bylaw-1p2007/land-use-bylaw-1p2007-maps.html>.

As such, the proposed development is subject to the Land Use Bylaw (LUB), Part 3, Division 3, Clauses 55, 59, & 60.

The official designated flood level (1:100 flood elevation) is 1039.8m (geodetic).

The Draft 2020 AEP model 1:20 flood elevation is 1038.3m (geodetic).

For parcels located in the floodway, flood fringe or overland flow area, the requirements of this Division apply and prevail when there is any conflict between the requirements of this Division and any other requirements of this Bylaw.

Only those goods that are easily moveable may be stored on a parcel in the flood fringe or the overland flow area.

All buildings in the flood fringe must be designed in the following manner:

- (a) to prevent structural damage by floodwaters.
- (b) the first floor of all buildings must be constructed at or above the designated flood level; and
- (c) all electrical and mechanical equipment within a building must be located at or above the designated flood level; and
- (d) a sewer back up valve must be installed in every building.

Mobility Engineering

75. Garage aprons / parkade access / loading areas / parking stalls at rear must tie to the existing lane grades. Lane grades will be provided on the grade slip issued by Development Servicing. It is the responsibility of developer, contractor, or homeowner to set the elevations of the garage slab based on the lot grading and to ensure that garage is operationally accessible and that it ties to established land grades. Lane grades are not to be altered without the approval of Roads.

76. The City does not grant approval for the placement of underground irrigation sprinkler systems in City owned lands or boulevards that are adjacent to the development site and are installed at the developers risk. The City of Calgary will not assume liability or responsibility for repair or replacement in event it has

been damaged or destroyed during construction on City owned lands or boulevards by city workers or its authorized contractors.



March 3, 2025

JOHN TRINH & ASSOCIATES

Trinh, John



Dear Applicant:

RE: Detailed Review (DR)

Development Permit Number: DP2024-07430

Based on the plans received, your application has been reviewed in order to determine compliance with the Land Use Bylaw and applicable City policies. Any variance from the Land Use Bylaw or City policies may require further discussion or revision prior to a decision being rendered.

The City endeavors to render decisions on applications within specific service standards. Please assist us in meeting these targets by ensuring your resubmission is complete and made in a timely manner. Please submit a digital set of the amended plan, in PDF format, along with a detailed response letter on how each of the Prior to Decision and/or Prior to Release conditions have been addressed and/or resolved.

This information must be received, in its entirety, no later than May 2, 2025. If a complete submission is not received by this date, the development permit may be inactivated and subject to a reactivation fee. If the development permit application is not reactivated, it may be cancelled by Administration as per Land Use Bylaw 1P2007, Section 41.1. If you require additional time to respond to the conditions outlined in this Detailed Review document, please let me know by contacting me.

Should you have any questions or concerns, please contact me at (403) 200-8575 or by email at Wallace.Leung@calgary.ca.

Sincerely,

WALLACE LEUNG

Senior Planner



Detailed Review 2 – Development Permit

Application Number:	DP2024-07430
Application Description:	New: Dwelling Unit (2 buildings), Accessory Residential Building (garage)
Land Use District:	Residential - Grade-Oriented Infill
Use Type:	Permitted
Site Address:	1511 8 AV SE
Community:	INGLEWOOD
Applicant:	JOHN TRINH & ASSOCIATES
Date DR Sent:	March 3, 2025
Response Due Date:	May 2, 2025
Development Applications Review Team	
Planning:	WALLACE LEUNG (403) 200-8575 Wallace.Leung@calgary.ca
Utility Engineering:	CHRIS FLEETWOOD (403) 268-5690 Chris.Fleetwood@calgary.ca
Mobility Engineering:	IRIS YE 403-268-1657 Iris.Ye@calgary.ca

Prior to Decision Requirements

The following issues must be addressed by the Applicant through a written submission and amended plans prior to a decision by the Approving Authority:

Planning

1. Submit a complete digital set of the amended plans in PDF format and a separate PDF response letter that provides a point-by-point explanation as to how each of the Prior to Decision conditions were addressed and/or resolved. If Prior to Release conditions have been addressed in the amended plans, include a point-by-point explanation for these items as well. The submitted plans must comprehensively address the Prior to Decision conditions as specified in the DTR document. Ensure that all plans affected by the revisions are amended accordingly. To arrange the digital submission, please contact the File Manager directly.

This information must be received, in its entirety, no later than 60 days from the date this DTR form was sent to the applicant and owner. If a complete submission is not received within the 60 day time frame, the development permit may be inactivated. Upon inactivation, the applicant and owner will receive written notice of the inactivation and of a further 30 day time frame within which

the application may be reactivated subject to a reactivation fee. If the development permit application is not reactivated as per the written notification, it may be cancelled by Administration as per Land Use Bylaw 1P2007, Section 41.1.

In the event that the application needs to be recirculated, a recirculation fee may be applied.

2. The Inglewood Area Redevelopment Plan provides policy direction that the appearance of new developments should respect the surrounding developments and should contribute to an attractive streetscape (2.3.2).

Amend plans to provide the following:

1. Improve the development and building interface with Mills Park (e.g. additional architectural articulations).
2. Explore and integrate the rear Building #2 (Unit 4 and Unit 5) to be constructed above the proposed detached garage. See examples provided below and in separate attachments.

Note:

- The Inglewood ARP, policies 2.3.6 multi-unit housing, encourages new townhousing development in the range of 12 to 30 units per acre (upa), with a maximum of 3 storey. The H-GO District does not have a density modifier but H-GO District regulates building intensity by Floor Area Ratio (FAR). The DP proposes 5 dwelling units, which equals to 65 uph (or 26 upa) complies with the ARP.
- The amended plans will need to be circulated DART for further review (e.g. land use bylaw, safety codes regulations, levies, subdivision requirements).



Examples from Currie Barracks, Calgary

3. The Inglewood Community Association is opposed to the proposed development and provided comments. Provide a response to the CA's comments below and how they were considered and could be addressed where possible.

INGELWOOD COMMUNITY ASSOCIATION
1740 24TH AVE SE
CALGARY, ALBERTA
T2G 1P9

Track your application on-line with VISTA. Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

19 February 2025

Re: DP2024-07430

The Inglewood Planning Committee has reviewed the application regarding the Development Permit DP2024-07430 and hereby submit our objections to this permit. Both the Municipal Development Plan (MDP) and the Inglewood Area Redevelopment Plan (IARP) direct densification as to be compatible and sensitive to the community in mid-block in low-density areas. The relevant policies are:

MDP Policy.

Section 2.2.5, Strong Residential Neighbourhoods, encourages growth and change that is similar in scale and built form.

Section 2.3.2a, Respecting and Enhancing Neighbourhood Character, requires that development respect the existing character of low-density residential areas.

Section 2.3.2b, ensures that there is an appropriate transition in development intensity, uses and built forms between low-density areas and more intensive multi-residential areas.

Section 2.3.2c, ensures that new development complements the established character of the area and does not create dramatic contrasts in the physical development pattern.

ARP Policy.

Section 2.3.2 States the new development should respect the surrounding housing and contribute to an attractive streetscape.

Section 2.3.6. Talks about increasing density intensity up to 30 units/acre (74 units/ha) at sites 'not surrounded by existing developments' This application far exceeds that limit at 144 units/ha.

Section 2.4.6. Addresses redesignation conditions deemed inappropriate where new development is completely surrounded by lower density housing.

The Inglewood Community Association submits that DP2024-07430 does not take into consideration any of these policies. The 'proposed development does not complement the established character of the area and creates a dramatic contrast in physical development patterns to what is found in the area.'¹ Further the 'intensification of the proposed mid-block development compared with the neighbourhood is insensitive to the surrounding area; noncompliant with section 2.2.5 of the MDP'¹ and multiple sections of the ARP. As to the density of the project it has been ruled that although development meets the requirements under a Land Use District that a proposed development can be 'just too large for the parcel and is not sensitive to and is not compatible with the existing housing on the block'¹

Further concerns on this number of dwellings in close proximity to the Little Treasures Daycare and the Mills Park and its playground present an increased risk of safety to children in the area. We ask that the Development Authority consider the multiple uses adjacent to the development and the safety implications of traffic entering and exiting the parking spots.

Lastly, we are concerned with the increased density combined with the lower parking ratio of this increased density and the effect it will have on the daily lives of current and future residents. The cumulative affects already approved projects

like the Stewart Livery Stables, 806 14 St SE will present challenges that we do not feel have been addressed.

If you have any questions, you can reach me at design@icacalgary.com

Yours truly,

INGLEWOOD COMMUNITY ASSOCIATION
Planning Committee
Glen Kerr, Planning Chair.

1. SDAB2024-0060(Re), 2024 CGYSDAB 60 (CanLII)
4. Ward 9 Councillor's Office expresses concerns over the proposed design and development interface with the adjacent park (Mills Park) and provided additional comments as summarized below.

Provide a response to the Councillor's Office comments and how they were considered and could be addressed where possible.

- Provide dwelling units above the garage facing Mills Park. By relocating the second building to be constructed over the garage, this could potentially create a better central amenity space for residents where the second building currently sits.

5. The land use amendment application (LOC2024-0223) is rescheduled for Council Public Hearing on March 4 2025. Following the outcome of the public hearing, additional comments relevant to the development permit may be provided to the applicant.
6. Based on the comments received on this proposed development, Administration recommends the applicant to consider additional opportunity for public engagement on proposal. Provide an updated Engagement Summary, if applicable, pending any further applicant engagement. If this is not feasible, please provide rationales for why additional community engagement is not completed.

Prior to Release Requirements

The following requirements shall be met prior to the release of the permit. All requirements shall be resolved to the satisfaction of the Approving Authority:

Planning

7. Submit a complete digital set of the amended plans in PDF format and a separate PDF that provides a point-by-point explanation as to how each of the Prior to Release conditions were addressed and/or resolved. The submitted plans must comprehensively address the Prior to Release conditions as specified in this document. Ensure that all plans affected by the revisions are amended accordingly. To arrange the digital submission, please contact your File Manager directly.

Utility Engineering

8. Amend the plans to:

Water Servicing:

- a. Indicate (show / label) adequate Water Meter Area(s), where the services (50mm and smaller) enter each building, internal to each building (within the basement levels of each building).

Note / update:

-Water meter areas are to typically be located where the services enter each building (i.e. in the basement level for each building).

If there is a basement for each building, the water meter areas shall not be shown / proposed within the main floor levels. Also, water meter areas must not be located beneath stairs and / or are to be proposed in areas with a minimum 2.0m vertical clearance.

-Water meter areas (re: considered plumbing) can be proposed in basement levels (even in Flood Fringe flood regulated zones / sites).

-Primary mechanical and electrical equipment and / or rooms (which does not include water meters and / or water meter areas) cannot be located below the designated flood elevation, for Flood Fringe flood regulated sites. Mechanical and electrical equipment and / or rooms must be located at / above the designated flood elevation, as per bylaw (re: Flood Fringe). It appears that the applicant may have confused meters / water meter areas for mechanical and electrical equipment with the recent resubmission.

-The water meter area (for each building) shall also house all meters for each building.

For further information, contact Utility Specialists at:

WA-ResourcesDevelopmentApprovals@calgary.ca OR 403-268-2693 OR
jennifer.derbywagner@calgary.ca.

9. Submit an electronic Development Site Servicing Plan (DSSP) circulation, for review and acceptance, as required by Section 5 (2) of the Utility Site Servicing Bylaw 33M2005.

For further information, refer to the following:

Development Site Servicing Plan Webpage

<https://www.calgary.ca/uep/water/specifications/water-development-resources/development-site-servicing-plans.html>

Development Site Servicing Plans CARL (requirement list)

<http://www.calgary.ca/PDA/pd/Pages/Permits/carl-building-development-permit-search.aspx>

Note:

For further information, contact Utility Specialists at:
WA-ResourcesDevelopmentApprovals@calgary.ca OR 403-268-2693 OR
jennifer.derbywagner@calgary.ca.

10. After the Development Permit is approved but prior to its release, the landowner shall execute an Off-Site Levy Agreement for the payment of off-site levies pursuant to Bylaw 1H2024.

Based on the information provided with the initial submission, the preliminary estimate is \$9,420.80.

Note(s):

- Should payment be made prior to release of the development permit, an Off-Site Levy Agreement will not be required.
- Include the completed Payment Submission Form, which was emailed to the applicant.
- Only certified cheques or bank drafts made payable to the City of Calgary are acceptable.

To obtain an off-site levy agreement or for further information, contact the Infrastructure Strategist, Development Commitments, at 587-215-6253 OR
yunpeng.qin@calgary.ca OR offsitelevy@calgary.ca.

Permanent Conditions

The following permanent conditions shall apply:

Planning

11. The Permanent Conditions will be finalized at the time of Development Authority decision.
12. All rules of Land Use Bylaw 1P2007 apply, subject to any relaxations approved by the Development Authority in this development permit.
13. The development shall be completed in its entirety, in accordance with the approved plans and conditions. The stamped and signed plans are a legal document.
14. No changes to the approved plans shall take place unless authorized by the Development Authority. If changes to the development occur or are proposed, a new development permit or revised plan application may be required.
15. A development completion permit must be issued for the development before the use is commenced or the development occupied. A development completion permit is independent from the requirements of City of Calgary Building Regulations inspections and permission for occupancy. Request a development completion permit inspection by visiting inspections.calgary.ca or call 403-268-5311.
16. When the main floor of each building is constructed, submit the geodetic elevation to Geodetic.Review@Calgary.ca
17. No stockpiling or dumping of construction materials is permitted on the boulevard.
18. Any damage to public parks, boulevards or trees resulting from development activity, construction staging or materials storage, or construction access will require restoration at the developer's expense. The disturbed area shall be maintained until planting is established and approved by the Parks Development Inspector. Contact the Development Inspector, Jackie Swartz at 403-620-3216, for an inspection.

Any surface or subterranean damage to public parks resulting from the installation of building construction tie-backs or other construction practices requires remediation at the developer's expense, to the satisfaction of the Director, Parks. All materials associated with the encroachments must be removed and any subterranean and surface disturbances to the parcel must be remediated. All site remediations must be approved by the Parks Development Inspector. Contact the Development Inspector, Jackie Swartz at 403-620-3216, for an inspection.

19. There shall be no construction access through the adjacent boulevard / park / municipal reserve.
20. In order to ensure the integrity of existing public trees and roots, construction access is only permitted through the rear lane and outside the dripline of public tree(s), per the approved Tree Protection Plan.
21. Public trees located on the park / municipal reserve / boulevard adjacent to the development site shall be retained and protected unless otherwise authorized by Urban Forestry. Prior to construction, install a temporary fence around the extent of the branches ("drip line") and ensure no construction materials are stored inside this fence.
22. In order to ensure the integrity of existing public trees and roots, no grade changes are permitted in the boulevard within the drip lines of the trees.
23. In order to ensure the integrity of existing public trees and roots, there shall be a minimum 3 metre separation, ideally the full length of the canopy, between the trunk and any new/proposed structures, (i.e. driveways and walkways).

Utility Engineering

24. Single retaining walls 1.2m in height or greater or terraced retaining walls 1.2m in height or greater with a horizontal separation between walls of less than 3.6m (3x height) require the approval of a Building Permit prior to construction.

For retaining wall(s) that meet these criteria, the developer may either:

- a. Include the retaining walls with the Building Permit for the building, or
- b. Apply for a separate Building Permit for the retaining walls.

It should be noted that the Building Permit for the building on site will not be released until the separate Building Permit for site retaining walls is approved.

25. For all soil disturbing projects, the developer, or their representative, shall designate a person to inspect all erosion and sediment control practices a minimum of every seven (7) days and during, or within 24 hours of, the onset of significant precipitation (> 12mm of rain in 24 hours, or rain on wet or thawing soils) or snowmelt events. Note that some practices may require daily or more frequent inspection. Erosion and sediment control practices shall be adjusted to meet changing site and winter conditions.
26. Stormwater runoff must be contained and managed in accordance with the Stormwater Management & Design Manual all to the satisfaction of the Manager, Development Engineering.
27. The grades indicated on the approved Development Site Servicing Plan(s) must match the grades on the approved Development Permit plans. Upon a request from the Development Authority, the developer or owner of the titled parcel must confirm under seal from a Consulting Engineer or Alberta Land Surveyor, that the development was constructed in accordance with the grades submitted on the Development Permit and Development Site Servicing Plan.

28. If during construction of the development, the developer, the owner of the titled parcel, or any of their agents or contractors becomes aware of any contamination,
- a. the person discovering such contamination shall immediately report the contamination to the appropriate regulatory agency including, but not limited to, Alberta Environment, Alberta Health Services and The City of Calgary (311).
 - b. on City of Calgary lands or utility corridors, The City of Calgary, Environmental and Safety Management division shall be immediately notified (311).
29. No trees, shrubs, buildings, permanent structures or unauthorized grade changes are permitted within utility rights-of-way.
30. The development site lies within the Flood Fringe and as such must conform to Land Use Bylaw 1P2007, Part 3, Division 3.
31. Pursuant to Bylaw 1H2024, off-site levies are applicable.

After approval of the Development Permit but prior to issuance of a Development Completion Permit or any occupancy of the building, payment shall be made for off-site levies pursuant to Bylaw 1H2024.

Note(s):

-Include the completed Payment Submission Form, which was emailed to the applicant.

-Only certified cheques or bank drafts made payable to the City of Calgary are acceptable.

To obtain a final estimate contact the Infrastructure Strategist, Development Commitments, at 587-215-6253 OR yunpeng.qin@calgary.ca OR offsitelevy@calgary.ca.

Mobility Engineering

32. The developer shall be responsible for the cost of public work and any damage during construction in City road right-of-ways, as required by the Manager, Development Engineering. All work performed on public property shall be done in accordance with City standards.

Advisory Comments

The following advisory comments are provided as a courtesy to the Applicant and registered property owner. The comments represent some, but not all of the requirements contained in the Land Use Bylaw that must be complied with as part of this approval.

Planning

33. The Advisory Comments will be finalized at the time of Development Authority decision.
34. The Applicant may appeal the decision of the Development Authority, including any of the conditions of the development permit. If you decide to file an appeal, please refer to the notification of decision letter for the appropriate appeal body and appeal process.
35. The approval of this development permit does not limit in any way the application of any federal, provincial, or municipal law, policy, code, regulation, bylaw, and/or guideline, nor does it constitute any permit or permission under any federal, provincial, or municipal law, policy, code, regulation, bylaw, and/or guideline.
36. In addition to this development permit, building permits may also be required. Building permit applications may be submitted upon approval of the associated development permit. Contact Building Regulations at 403-268-5311 for further information.
37. This development permit has not been reviewed for potential issues with the National Building Code - current Alberta Edition. You may require a Building Permit in addition to this development permit in which case compliance with the Code will be assessed through a Building Permit application. Should a Building Permit review require changes to the approved development permit, the changes must be to the satisfaction of the Development Authority and are potentially subject to a new development permit.
38. There are many types of caveats and other agreements that can be registered on the title of the property that can restrict the ability to develop. The City has not reviewed or considered all instruments registered on the title to this property. Property owners must evaluate whether this development is in compliance with any documents registered on title.
39. The Streets Bylaw (20M88) and the Tree Protection Bylaw (23M2002) contain clauses intended to protect trees growing on Public Land. No person shall remove, move, cut, or prune a Public Tree or cause a Public Tree to be removed, moved, cut or pruned without prior written authorization from the Director, Parks. A copy of the bylaw can be found at www.calgary.ca. Parks does not permit the removal of public trees to facilitate development unless all options to retain and protect are exhausted.
40. If clearance pruning of public trees is required, Urban Forestry must be notified (minimum two business days notice) and an indemnified contractor must be used

at the applicants expense. Please contact Urban Forestry at 311 for more information.

41. An Urban Forestry Technician must be on-site to mitigate possible root damage to adjacent public trees during the removal of the existing walkway within the public boulevard. Prior to construction, contact Urban Forestry at 311 and ask to speak to an Urban Forestry Technician. Urban Forestry requires minimum two business days notice prior to meeting onsite.
42. As part of the Tree Protection Bylaw, a Tree Protection Plan will be required when a development, construction activity, or a disturbance occurring on the City Boulevard is within 6 metres of a boulevard tree. For more information about submitting your tree protection plan visit www.calgary.ca and search protecting trees during construction and development; alternatively, call 311 or email tree.protection@calgary.ca. Applicant is to apply for tree protection plan prior to demolition.
43. The applicant will be required to provide compensation to the City of Calgary for any Public Trees that are removed or damaged. The Public Tree(s) adjacent to this development is/are valued at **\$5860.57**. Applicants that are unfamiliar with tree protection or tree appraisal are advised to consult an arborist.
44. Services should be shown on the plans in accordance with the Grade Slip granted by the City. If the servicing trench will be located within the dripline of an existing public tree, the applicant shall contact Urban Forestry or contact Development Site Servicing through 311 in attempt to avoid this conflict.

Utility Engineering

45. The developer is responsible for ensuring that:
 - a. The environmental conditions of the subject property and associated utility corridors meet appropriate regulatory criteria and appropriate environmental assessment, remediation or risk management is undertaken.
 - b. Appropriate environmental assessment(s) of the property has been undertaken and, if required, a suitable remedial action plan and/or risk management plan has been prepared, reviewed and accepted by the appropriate regulatory agency(s) including but not limited to Alberta Environment and Alberta Health Services.
 - c. The development conforms to any reviewed and accepted remedial action plan/risk management plans.
 - d. All reports are prepared by a qualified professional in accordance with accepted guidelines, practices and procedures that include but are not limited to those in the most recent versions of the Canadian Standards Association and City of Calgary Phase I & II Environmental Site Assessment Terms of Reference.
 - e. The development is in compliance with applicable environmental approvals (e.g. Alberta Environment Approvals, Registrations, etc), Energy Resources Conservation Board approvals and related setback requirements, and landfill setback requirements as set out in the Subdivision and Development Regulation.

If the potential for methane generation or vapours from natural or contaminated soils and groundwater has been identified on the property, the developer is

responsible for ensuring appropriate environmental assessment(s) of the property has been undertaken and appropriate measures are in place to protect the building(s) and utilities from the entry of methane or other vapours.

Issuance of this permit does not absolve the developer from complying with and ensuring the property is developed in accordance to applicable environmental legislation.

46. Prior to the commencement of construction, alteration or demolition operations, a fire safety plan, accepted in writing by the Fire Department and the authority-having jurisdiction, shall be prepared for the site and conform to the requirements of the AFC 2014, Division B, 5.6.1.3. This document is required as a Building Permit condition for approval.

Note:

For further details, contact Fire Department Technical Services at ryan.smith@calgary.ca OR 403-801-6595.

47. Fire access and/or proximities shall be in accordance with current Calgary Fire Department Access Standards and / or current applicable code(s) articles. See below.

For context:

- a) Access for fire department equipment shall be provided to each building by means of a street, private roadway or yard. Appropriate code reference 9.10.20.3.(1).
- b) Special variations could be permitted for a house or residential building that is protected with an automatic sprinkler system. The sprinkler system must be designed in accordance with the appropriate NFPA standard and there must be assurance that water supply pressure and quantity are unlikely to fail. These considerations could apply to buildings that are located on the sides of hills and are not conveniently accessible by roads designed for firefighting equipment and also to infill housing units that are located behind other buildings on a given property. Appropriate code reference A 9.10.20.3.(1) Fire Department Access Route Modification.

Some units / buildings may be subject to having to be sprinklered.

1.3.3.4. Building Size Determination

1) Where a firewall divides a building, each portion of the building so divided shall be considered as a separate building, except when this requirement is specifically modified in other parts of this Code.

- c) Where access to a building as required and is provided by means of a roadway or yard, the design and location of such roadway or yard shall take into account connection with public thoroughfares, weight of firefighting equipment, width of roadway, radius of curves, overhead clearance, location of fire hydrants, location of fire department connections and vehicular parking.
- d) For residential buildings, including townhouse complexes, the distance of the principle entrance from a street should not exceed 45m (as per RB14-042). Each dwelling unit (secondary suites included) must be within 45m travel distance to from street (fire access lane) to principle entrance.

Fire Professional involvement, NBC(AE) 2.4.2.1(4)

Residential buildings with 5 to 20 dwelling units must be imprinted with the seals or stamps of either a registered architectural professional, or one or more registered engineering professionals.

Note:

For further details regarding fire access requirements, see the below link:
<http://www.calgary.ca/CSPS/Fire/Documents/Fire-Department-Access-Standard.pdf>

For further details, contact Fire Department Technical Services at 403-801-6595 or Ryan.Smith@calgary.ca.

48. Site Servicing (hydrant location plan) is to be submitted and approved by the Fire Department prior to the Development Site Servicing Plan stage. One stamped plan is to be submitted with the Development Site Servicing Plan submission.

For further details, contact Fire Department Technical Services at 403-801-6595 or Ryan.Smith@calgary.ca.

49. Water, sanitary and storm connections are available from 8 AV SE.

Note:

For further information, contact Utility Specialists at:
WA-ResourcesDevelopmentApprovals@calgary.ca OR 403-268-2693 OR jennifer.derbywagner@calgary.ca.

50. A new service will be crossing, exposing and excavated within 3.0m of the 1800mm Critical collection main. Hydrovac-ing will be required for the determination of alignment, elevation, pipe diameter, pipe support, backfill and clearances. A detail of this information will be required to be shown on the Development Site Servicing Plan with respect to working in proximity of this critical collection main. Contact the Capital Works Engineer at 403-268-5752 for approval, notification, shutdown periods, tunnelling and auguring options.

Note:

For further information, contact Utility Specialists at:
WA-ResourcesDevelopmentApprovals@calgary.ca OR 403-268-2693 OR jennifer.derbywagner@calgary.ca.

51. Show details of servicing and metering on Development Site Servicing Plan. Provide adequate water meter locations (100mm or larger, room adjacent to an exterior wall, 50mm or less, label water meter location) where services enter building. If static pressure exceeds 550 kPa install pressure reducing device after meter.

Note:

For further information, contact Utility Specialists at:
WA-ResourcesDevelopmentApprovals@calgary.ca OR 403-268-2693 OR jennifer.derbywagner@calgary.ca.

52. Maintain a 3.0m separation between Enmax facilities (power poles, light standards, transformer pads, catch basins, etc.) with the proposed water service.

53. Redundant services are to be disconnected at the source and new service installed at the owners expense.
54. Each unit must be individually metered.
55. Each titled parcel must have separate (direct) service connections to public mains.
- Note:
For further information, contact Utility Specialists at:
WA-ResourcesDevelopmentApprovals@calgary.ca OR 403-268-2693 OR
jennifer.derbywagner@calgary.ca.
56. Ensure that the water service separation from the foundation wall or piles is:
- 4.0m (100mm service or larger), or
 - 3.0m (50mm service or smaller), or
 - 2.0m when the foundation wall or piles extends vertically a minimum of 2.0m below the invert of the water pipe.
57. The applicant must apply for water and sewer connections as per City Standards.
58. The allowable stormwater run-off coefficient shall be 50 L/s/ha.
- Note:
For further information, contact Utility Specialists at:
WA-ResourcesDevelopmentApprovals@calgary.ca OR 403-268-2693 OR
jennifer.derbywagner@calgary.ca.
59. Surface ponding (trapped lows) should be designed to contain all the flow generated from the 100 year storm events.
60. Where possible, discharge of roof leaders should be directed onto grassed or pervious areas to help reduce the volume of runoff. Alternatively, the roof leaders may be directed to the on-site storm sewer system.
61. Controlled stormwater discharge is required for the subject site.
62. All on-site sewers are to be designed to City of Calgary specifications.
63. Storm Redevelopment Fees (\$84 / m frontage) will be required at the service connection stage.
- Note:
For further information, contact Utility Specialists at:
WA-ResourcesDevelopmentApprovals@calgary.ca OR 403-268-2693 OR
jennifer.derbywagner@calgary.ca.
64. Ensure elevations of building slab and/or any building openings are 0.3m minimum above trap low spill elevations or the 100 year elevation, whichever is higher. The minimum grade within the lot adjacent to trap low must be 0.3m higher than the 1:100 year elevation in the trap low or spill elevation, whichever is higher. This minimum grade must be achieved within a 6.0m distance from the common property line of the lot and the road right-of-way.

65. As per The City of Calgary Drainage Bylaw 37M2005, the developer, and those under their control, are responsible for ensuring that a Drainage Permit is obtained from Water Resources prior to discharging impounded runoff (caused by rainfall and/or snowmelt) seepage or groundwater from construction site excavations or other areas to a storm sewer. The developer, and those under their control, is responsible for adhering to all conditions and requirements stipulated in the Drainage Permit at all times. For further information, contact the Corporate Call Centre at 311 or visit <http://www.calgary.ca/UEP/Water/Pages/Watersheds-and-rivers/Erosion-and-sediment-control/Report-and-Drawings-Templates-and-Guides.aspx> (Drainage Permit applications can be downloaded from this website).

66. Stormwater emergency escape routes must be to a public roadway.

67. Locate any / all services and / or utilities in the field.

Coordinate with the utility owner(s) for the removal and/or relocation of existing utilities located within the subject parcel or the registration of an easement, or utility right of way for the protection of the utilities. All of the above is contingent to the satisfaction of the affected utility owner(s).

68. Any / all tree planting proposed to be located within road rights of way shall require a line assignment from Utility Line Assignments. This application consists of a letter, on letterhead, requesting approval to plant trees in the boulevard and six (6) scaleable landscape plans (1:250 or 1:500 preferred) indicating the following information:

- a. Property lines
- b. Curb/sidewalks
- c. Species and caliper of proposed trees (evergreen and poplar trees are not permitted in boulevards)
- d. Existing features (streetlight poles, hydrants, existing trees, utilities, etc.)
- e. Dimensions from property line to all of the above features

Include the Development Permit number in your letter. Shrub and flowerbeds are not permitted in City boulevards. Due to the number of applications reviewed by this office, it will typically take two weeks for a response. The letter can be addressed to the Supervisor, Utility Line Assignments, 6th floor, 800 Macleod Trail SE, Calgary, Alberta T2P 2M5, Location #8026. Alternatively, the required information can be submitted to the ULA Support email as a PDF at ulasupport@calgary.ca.

For further details, contact ulasupport@calgary.ca.

69. For questions and concerns regarding waste storage facilities, refer to the Development Reviews: Design Standards for the Storage and Collection of Waste, found at:

<http://www.calgary.ca/UEP/WRS/Pages/Commercial-Services/Development-Permits-Waste-Recycling.aspx>

Garbage, recyclable materials and food and yard (organics) waste and recycling storage and/or collection areas shall be maintained and clear of snow and ice.

Secondary suites may not be eligible to receive a separate set of waste and recycling containers from The City of Calgary. Suites are expected to share the waste storage with the associated primary dwelling unit.

Note:

For further details, contact Waste and Recycling Services at 403-268-8445 or jc.lauzier@calgary.ca OR 403-268-8429 or steve.gorda@calgary.ca.

70. As advised by River Engineering (Part 1):

Building Opening Elevation for Development within the Flood Hazard Area:
All building openings (basement windows, walk out basements, etc.) and adjacent landscaping grades are recommended to be at or above the 2020 AEPA 1:20 flood elevation. A 1:20 flood means a flood level that has a 5% chance of occurring in any year.

The 1:20 flood elevation is 1038.3m (geodetic).

Groundwater Seepage:

A portion of the proposed development lies adjacent to the Bow River. Due to the geography and nature of the soils in the area, groundwater levels are a concern for subgrade structures, and shall be considered in design. Structures with subsurface components, including parking garages and basements, should be designed for structural stability under elevated groundwater conditions during river flooding, or so that the foundation of such structures is above the groundwater elevation during a 1:100 river flood.

The following should be considered in basement design:

- a. Design the building to prevent structural damage from elevated groundwater levels by floodwaters. Elevated groundwater levels may impact foundation dewatering, foundation water proofing, and structural design.
- b. Basements should not be utilized for the storage of immovable or hazardous materials that are flammable, explosive, or toxic.
- c. A sump pump with battery backup should be installed in the basement.
- d. The sump pump outfall pipe should be looped and discharged above the designated flood elevation of 1039.8m (geodetic).
- e. A separate electrical circuit should be installed for the sump pump with the operating switch located above the designated flood elevation of 1039.8 m m (geodetic).
- f. Installation of backflow prevention valve(s) on sewer lines or the elimination of gravity flow basement drains.
- g. No primary living spaces (i.e. bedrooms) below the designated flood elevation of 1039.8 m m (geodetic).
- h. A water alarm should be installed in the basement to warn of groundwater seepage.

The designated flood elevation is 1039.8m (geodetic).

71. As advised by River Engineering (Part 2):

Inglewood Barrier:

Based on information gathered in the 2013 flood event, and analysis contained in the 2020 draft Alberta Environment and Protected Areas inundation maps, the Inglewood Flood Barrier provides mitigation up to a 1:100 flood. Design up to the 1:100 flood will increase resilience to flooding, but because of the decreased risk, River Engineering would support a relaxation of the designated flood elevation to the 1:20 flood elevation or higher.

The designated flood elevation is 1039.8m (geodetic).
The 1:20 flood elevation is 1038.3m (geodetic).

Below Grade Secondary Suites:

River Engineering strongly recommends against placing secondary suites below the designated flood elevation in flood prone areas. Under B.6.a of the Policy to Guide Discretion for Secondary Suites and Backyard Suites (2018), Secondary Suites are encouraged to be above grade when located in the Flood Fringe. Should the suite be located below grade, it must comply with the flood mitigation rules of the Land Use Bylaw. Water can enter basements rapidly during a flood from groundwater and/or overland flows and become a life safety hazard, resulting in evacuations, and damage to the building and suite contents.

Densification:

Densification as a result of this development increases the risks associated with life safety, property damage and losses, as well as resident displacement during a flood. It is recommended that emergency plans for egress are put in place in the event of a flood. For information on how to prepare for emergencies, please refer to <https://www.calgary.ca/emergencies/preparedness.html>.

Province of Alberta Disaster Recovery - Province of Alberta

The design of the building on the parcel may affect its ability to qualify for the Province of Alberta Disaster Recovery Program assistance, therefore it is recommended that the applicant contact the Alberta Emergency Management Agency at 1-888-671-1111 or drp.info@gov.ab.ca, to review any pertinent matters about the subject development. Note recent changes to the disaster assistance program in 2021 implemented a \$500,000 funding cap per homeowner application, and a one-time limit on disaster financial assistance per property.

Province of Alberta Flood Hazard Map Update:

Be advised that the Province of Alberta has recently updated the provincial flood hazard maps which form the basis for The City of Calgary's Land Use Bylaw flood hazard areas. These updates include a new approach to defining the flood hazard areas along the Bow and Elbow Rivers. For more information on the Provinces project, please see www.floodhazard.alberta.ca.

These updates may result in changes to the regulatory zones and designated flood elevations for the proposed development area. Changes to the Land Use Bylaw in response to the updated flood hazard maps are anticipated to be completed in 2025. For more information, please see <https://www.calgary.ca/rivervalleys>.

72. As advised by River Engineering (Part 3):

The proposed development location is within the 1:100 Flood Fringe, as per Council approved regulatory flood maps located at:
<https://www.calgary.ca/pda/pd/calgary-land-use-bylaw-1p2007/land-use-bylaw-1p2007-maps.html>.

As such, the proposed development is subject to the Land Use Bylaw (LUB), Part 3, Division 3, Clauses 55, 59, & 60.

The official designated flood level (1:100 flood elevation) is 1039.8m (geodetic).

The Draft 2020 AEP model 1:20 flood elevation is 1038.3m (geodetic).

For parcels located in the floodway, flood fringe or overland flow area, the requirements of this Division apply and prevail when there is any conflict between the requirements of this Division and any other requirements of this Bylaw.

Only those goods that are easily moveable may be stored on a parcel in the flood fringe or the overland flow area.

All buildings in the flood fringe must be designed in the following manner:

- (a) to prevent structural damage by floodwaters.
- (b) the first floor of all buildings must be constructed at or above the designated flood level; and
- (c) all electrical and mechanical equipment within a building must be located at or above the designated flood level; and
- (d) a sewer back up valve must be installed in every building.

Mobility Engineering

73. Garage aprons / parkade access / loading areas / parking stalls at rear must tie to the existing lane grades. Lane grades will be provided on the grade slip issued by Development Servicing. It is the responsibility of developer, contractor, or homeowner to set the elevations of the garage slab based on the lot grading and to ensure that garage is operationally accessible and that it ties to established land grades. Lane grades are not to be altered without the approval of Roads.
74. The City does not grant approval for the placement of underground irrigation sprinkler systems in City owned lands or boulevards that are adjacent to the development site and are installed at the developers risk. The City of Calgary will not assume liability or responsibility for repair or replacement in event it has been damaged or destroyed during construction on City owned lands or boulevards by city workers or its authorized contractors.



March 3, 2025

JOHN TRINH & ASSOCIATES

Trinh, John



Dear Applicant:

RE: Detailed Review (DR)

Development Permit Number: DP2024-07430

Based on the plans received, your application has been reviewed in order to determine compliance with the Land Use Bylaw and applicable City policies. Any variance from the Land Use Bylaw or City policies may require further discussion or revision prior to a decision being rendered.

The City endeavors to render decisions on applications within specific service standards. Please assist us in meeting these targets by ensuring your resubmission is complete and made in a timely manner. Please submit a digital set of the amended plan, in PDF format, along with a detailed response letter on how each of the Prior to Decision and/or Prior to Release conditions have been addressed and/or resolved.

This information must be received, in its entirety, no later than May 2, 2025. If a complete submission is not received by this date, the development permit may be inactivated and subject to a reactivation fee. If the development permit application is not reactivated, it may be cancelled by Administration as per Land Use Bylaw 1P2007, Section 41.1. If you require additional time to respond to the conditions outlined in this Detailed Review document, please let me know by contacting me.

Should you have any questions or concerns, please contact me at (403) 200-8575 or by email at Wallace.Leung@calgary.ca.

Sincerely,

WALLACE LEUNG

Senior Planner



Detailed Review 2 – Development Permit

Application Number:	DP2024-07430
Application Description:	New: Dwelling Unit (2 buildings), Accessory Residential Building (garage)
Land Use District:	Residential - Grade-Oriented Infill
Use Type:	Permitted
Site Address:	1511 8 AV SE
Community:	INGLEWOOD
Applicant:	JOHN TRINH & ASSOCIATES
Date DR Sent:	March 3, 2025
Response Due Date:	May 2, 2025
Development Applications Review Team	
Planning:	WALLACE LEUNG (403) 200-8575 Wallace.Leung@calgary.ca
Utility Engineering:	CHRIS FLEETWOOD (403) 268-5690 Chris.Fleetwood@calgary.ca
Mobility Engineering:	IRIS YE 403-268-1657 Iris.Ye@calgary.ca

Prior to Decision Requirements

The following issues must be addressed by the Applicant through a written submission and amended plans prior to a decision by the Approving Authority:

Planning

1. Submit a complete digital set of the amended plans in PDF format and a separate PDF response letter that provides a point-by-point explanation as to how each of the Prior to Decision conditions were addressed and/or resolved. If Prior to Release conditions have been addressed in the amended plans, include a point-by-point explanation for these items as well. The submitted plans must comprehensively address the Prior to Decision conditions as specified in the DTR document. Ensure that all plans affected by the revisions are amended accordingly. To arrange the digital submission, please contact the File Manager directly.

This information must be received, in its entirety, no later than 60 days from the date this DTR form was sent to the applicant and owner. If a complete submission is not received within the 60 day time frame, the development permit may be inactivated. Upon inactivation, the applicant and owner will receive written notice of the inactivation and of a further 30 day time frame within which

Track your application on-line with VISTA. Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

the application may be reactivated subject to a reactivation fee. If the development permit application is not reactivated as per the written notification, it may be cancelled by Administration as per Land Use Bylaw 1P2007, Section 41.1.

In the event that the application needs to be recirculated, a recirculation fee may be applied.

Acknowledged.

2. The Inglewood Area Redevelopment Plan provides policy direction that the appearance of new developments should respect the surrounding developments and should contribute to an attractive streetscape (2.3.2).

Amend plans to provide the following:

1. Improve the development and building interface with Mills Park (e.g. additional architectural articulations).
2. Explore and integrate the rear Building #2 (Unit 4 and Unit 5) to be constructed above the proposed detached garage. See examples provided below and in separate attachments.

Note:

- The Inglewood ARP, policies 2.3.6 multi-unit housing, encourages new townhousing development in the range of 12 to 30 units per acre (upa), with a maximum of 3 storey. The H-GO District does not have a density modifier but H-GO District regulates building intensity by Floor Area Ratio (FAR). The DP proposes 5 dwelling units, which equals to 65 uph (or 26 upa) complies with the ARP.

- The amended plans will need to be circulated DART for further review (e.g. land use bylaw, safety codes regulations, levies, subdivision requirements).

Amended. As discussed with File Manager on a meeting, the site layout and building designs have been revised to comply with ARP Policy 2.3.2. Enhancements were made to the rear elevation of Building B, which faces Mills Park, to create a more visually appealing street façade through increased glazing and architectural articulation. The garage elevation facing the lane was also improved to enhance visual interest and better align with the provided examples. It looks like a front elevation when viewed from the lane. Refer to A-2.1 and A-3.1.



Examples from Currie Barracks, Calgary

Track your application on-line with VISTA. Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

3. The Inglewood Community Association is opposed to the proposed development and provided comments. Provide a response to the CA's comments below and how they were considered and could be addressed where possible.

INGELWOOD COMMUNITY ASSOCIATION
 1740 24TH AVE SE
 CALGARY, ALBERTA
 T2G 1P9
 19 February 2025

Re: DP2024-07430

The Inglewood Planning Committee has reviewed the application regarding the Development Permit DP2024-07430 and hereby submit our objections to this permit. Both the Municipal Development Plan (MDP) and the Inglewood Area Redevelopment Plan (IARP) direct densification as to be compatible and sensitive to the community in mid-block in low-density areas. The relevant policies are:

MDP Policy.

Section 2.2.5, Strong Residential Neighbourhoods, encourages growth and change that is similar in scale and built form.

The proposed development is composed of one duplex, one three-unit townhouse and a detached garage. This development is similar in scale to other buildings in the neighborhood. The Inglewood community has grown a lot in the latest years. There are several infills, duplexes and multiplexes in the adjacent blocks.

Section 2.3.2a, Respecting and Enhancing Neighbourhood Character, requires that development respect the existing character of low-density residential areas.

The proposed development complies with the maximum density allowed by the Bylaw. Additionally, in the last years Inglewood has been progressively increasing its density. Due to its close proximity to downtown, densification is key in this area.

Section 2.3.2b, ensures that there is an appropriate transition in development intensity, uses and built forms between low-density areas and more intensive multi-residential areas.

The densification we are proposing complies with the Bylaw. We are proposing a low-density development, we are not proposing a condo building with dozens of units.

Section 2.3.2c, ensures that new development complements the established character of the area and does not create dramatic contrasts in the physical development pattern.

Amended. We designed the street-facing elevations to provide a design that follows the patterns seen in the Inglewood Community. Additionally, we are going a step forward, by providing high-quality materials and articulation to enhance the look of the buildings and make the development more appealing from the streets.

ARP Policy.

Section 2.3.2 States the new development should respect the surrounding housing and contribute to an attractive streetscape.

The proposed development respects its surroundings and will enhance the streetscape. We are providing a building with high-quality façade materials, providing a combination of brick, board and batten, and hardieboard siding.

Section 2.3.6. Talks about increasing density intensity up to 30 units/acre (74

Track your application on-line with VISTA. Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

units/ha) at sites 'not surrounded by existing developments' This application far exceeds that limit at 144 units/ha.

The proposed density is 66 units/ha, not 144 units/ha. Refer to S.01.

Section 2.4.6. Addresses redesignation conditions deemed inappropriate where new development is completely surrounded by lower density housing.

The Inglewood Community Association submits that DP2024-07430 does not take into consideration any of these policies. The 'proposed development does not complement the established character of the area and creates a dramatic contrast in physical development patterns to what is found in the area.' 1 Further the 'intensification of the proposed mid-block development compared with the neighbourhood is insensitive to the surrounding area; noncompliant with section 2.2.5 of the MDP¹ and multiple sections of the ARP. As to the density of the project it has been ruled that although development meets the requirements under a Land Use District that a proposed development can be 'just too large for the parcel and is not sensitive to and is not compatible with the existing housing on the block'¹

Further concerns on this number of dwellings in close proximity to the Little Treasures Daycare and the Mills Park and its playground present an increased risk of safety to children in the area. We ask that the Development Authority consider the multiple uses adjacent to the development and the safety implications of traffic entering and exiting the parking spots.

The proposed development won't negatively impact the Little Treasures Daycare or the Mills Park. We are only proposing 5 new units. There are several multi-residential developments with a density significantly higher than our proposed building. Additionally, the daycare is facing 9 AVE SE, which is Inglewood's main road. The amount of cars that drive in front of the Little Treasures Daycare is exponentially higher than the 5 cars that will drive into our proposed garage. Moreover, the proposed garage will be almost 200ft away from the daycare. We designed the garage to be more appealing from the lane and Mills park. The proposed site will look like it has two front elevations, one facing 8 AVE SE and the other one facing Mills Park. Refer to rear elevation:



Lastly, we are concerned with the increased density combined with the lower parking ratio of this increased density and the effect it will have on the daily lives of current and future residents. The cumulative affects already approved projects like the Stewart Livery Stables, 806 14 St SE will present challenges that we do not feel have been addressed.

The proposed development complies with the parking requirements from the Bylaw.

If you have any questions, you can reach me at design@icacalgary.com

Yours truly,

INGLEWOOD COMMUNITY ASSOCIATION
Planning Committee
Glen Kerr, Planning Chair.

- 1. SDAB2024-0060(Re), 2024 CGYSDAB 60 (CanLII)
- 4. Ward 9 Councillor's Office expresses concerns over the proposed design and development interface with the adjacent park (Mills Park) and provided additional comments as summarized below.

Provide a response to the Councillor's Office comments and how they were considered and could be addressed where possible.

- Provide dwelling units above the garage facing Mills Park. By relocating the second building to be constructed over the garage, this could potentially create a better central amenity space for residents where the second building currently sits.

Amended. As discussed in a meeting with the File Manager, proposing dwelling units above the garage is not feasible for this project. However, we amended the design to be more oriented towards the lane. We rotated the rear residential building to face the park and increase the glazing, architectural articulation and material palette to be more appealing. The garage was also significantly enhanced, with high-quality materials and a rooftop amenity space. Overall, the development is now more oriented towards the park and creates a more welcoming environment at the rear of the parcel. Refer to attached pictures:



Track your application on-line with VISTA. Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

5. The land use amendment application (LOC2024-0223) is rescheduled for Council Public Hearing on March 4 2025. Following the outcome of the public hearing, additional comments relevant to the development permit may be provided to the applicant.
Acknowledged.

6. Based on the comments received on this proposed development, Administration recommends the applicant to consider additional opportunity for public engagement on proposal. Provide an updated Engagement Summary, if applicable, pending any further applicant engagement. If this is not feasible, please provide rationales for why additional community engagement is not completed.
Acknowledged. We filled the Community Outreach Assessment Tool and determined our project's score is 1B. Considering the proposed development is located in the Inglewood Community, which has plenty of infill projects and redevelopments, and the proposal aligns with the ARP, we will follow the usual path of getting the project in advertising after it's approved and respond/amend the drawings based on the Community feedback. The Community Outreach Assessment Tool is attached to the submission. We replied to the comments from the Community Association and amended the design as per the Ward Councilor comments.

Prior to Release Requirements

The following requirements shall be met prior to the release of the permit. All requirements shall be resolved to the satisfaction of the Approving Authority:

Planning

7. Submit a complete digital set of the amended plans in PDF format and a separate PDF that provides a point-by-point explanation as to how each of the Prior to Release conditions were addressed and/or resolved. The submitted plans must comprehensively address the Prior to Release conditions as specified in this document. Ensure that all plans affected by the revisions are amended accordingly. To arrange the digital submission, please contact your File Manager directly.

Utility Engineering

8. Amend the plans to:

Water Servicing:

- a. Indicate (show / label) adequate Water Meter Area(s), where the services (50mm and smaller) enter each building, internal to each building (within the basement levels of each building).

Note / update:

- Water meter areas are to typically be located where the services enter each building (i.e. in the basement level for each building).
- If there is a basement for each building, the water meter areas shall not be shown / proposed within the main floor levels. Also, water meter areas must not be located beneath stairs and / or are to be proposed in areas with a minimum 2.0m vertical clearance.
- Water meter areas (re: considered plumbing) can be proposed in basement levels (even in Flood Fringe flood regulated zones / sites).
- Primary mechanical and electrical equipment and / or rooms (which does not include water meters and / or water meter areas) cannot be located below the designated flood elevation, for Flood Fringe flood regulated sites. Mechanical and electrical equipment and / or rooms must be located at / above the designated flood elevation, as per bylaw (re: Flood Fringe). It appears that the applicant may have confused meters / water meter areas for mechanical and electrical equipment with the recent resubmission.
- The water meter area (for each building) shall also house all meters for each building.

For further information, contact Utility Specialists at:
 WA-ResourcesDevelopmentApprovals@calgary.ca OR 403-268-2693 OR
 jennifer.derbywagner@calgary.ca.

9. Submit an electronic Development Site Servicing Plan (DSSP) circulation, for review and acceptance, as required by Section 5 (2) of the Utility Site Servicing Bylaw 33M2005.

For further information, refer to the following:

Development Site Servicing Plan Webpage

<https://www.calgary.ca/uep/water/specifications/water-development-resources/development-site-servicing-plans.html>

Development Site Servicing Plans CARL (requirement list)

<http://www.calgary.ca/PDA/pd/Pages/Permits/carl-building-development-permit-search.aspx>

Note:

For further information, contact Utility Specialists at:
WA-ResourcesDevelopmentApprovals@calgary.ca OR 403-268-2693 OR
jennifer.derbywagner@calgary.ca.

10. After the Development Permit is approved but prior to its release, the landowner shall execute an Off-Site Levy Agreement for the payment of off-site levies pursuant to Bylaw 1H2024.

Based on the information provided with the initial submission, the preliminary estimate is \$9,420.80.

Note(s):

- Should payment be made prior to release of the development permit, an Off-Site Levy Agreement will not be required.
- Include the completed Payment Submission Form, which was emailed to the applicant.
- Only certified cheques or bank drafts made payable to the City of Calgary are acceptable.

To obtain an off-site levy agreement or for further information, contact the Infrastructure Strategist, Development Commitments, at 587-215-6253 OR
yunpeng.qin@calgary.ca OR offsitelevy@calgary.ca.

Permanent Conditions

The following permanent conditions shall apply:

Planning

11. The Permanent Conditions will be finalized at the time of Development Authority decision.
12. All rules of Land Use Bylaw 1P2007 apply, subject to any relaxations approved by the Development Authority in this development permit.
13. The development shall be completed in its entirety, in accordance with the approved plans and conditions. The stamped and signed plans are a legal document.
14. No changes to the approved plans shall take place unless authorized by the Development Authority. If changes to the development occur or are proposed, a new development permit or revised plan application may be required.
15. A development completion permit must be issued for the development before the use is commenced or the development occupied. A development completion permit is independent from the requirements of City of Calgary Building Regulations inspections and permission for occupancy. Request a development completion permit inspection by visiting inspections.calgary.ca or call 403-268-5311.
16. When the main floor of each building is constructed, submit the geodetic elevation to Geodetic.Review@Calgary.ca
17. No stockpiling or dumping of construction materials is permitted on the boulevard.
18. Any damage to public parks, boulevards or trees resulting from development activity, construction staging or materials storage, or construction access will require restoration at the developer's expense. The disturbed area shall be maintained until planting is established and approved by the Parks Development Inspector. Contact the Development Inspector, Jackie Swartz at 403-620-3216, for an inspection.

Any surface or subterranean damage to public parks resulting from the installation of building construction tie-backs or other construction practices requires remediation at the developer's expense, to the satisfaction of the Director, Parks. All materials associated with the encroachments must be removed and any subterranean and surface disturbances to the parcel must be remediated. All site remediations must be approved by the Parks Development Inspector. Contact the Development Inspector, Jackie Swartz at 403-620-3216, for an inspection.

19. There shall be no construction access through the adjacent boulevard / park / municipal reserve.
20. In order to ensure the integrity of existing public trees and roots, construction access is only permitted through the rear lane and outside the dripline of public tree(s), per the approved Tree Protection Plan.
21. Public trees located on the park / municipal reserve / boulevard adjacent to the development site shall be retained and protected unless otherwise authorized by Urban Forestry. Prior to construction, install a temporary fence around the extent of the branches ("drip line") and ensure no construction materials are stored inside this fence.
22. In order to ensure the integrity of existing public trees and roots, no grade changes are permitted in the boulevard within the drip lines of the trees.
23. In order to ensure the integrity of existing public trees and roots, there shall be a minimum 3 metre separation, ideally the full length of the canopy, between the trunk and any new/proposed structures, (i.e. driveways and walkways).

Utility Engineering

24. Single retaining walls 1.2m in height or greater or terraced retaining walls 1.2m in height or greater with a horizontal separation between walls of less than 3.6m (3x height) require the approval of a Building Permit prior to construction.

For retaining wall(s) that meet these criteria, the developer may either:

- a. Include the retaining walls with the Building Permit for the building, or
- b. Apply for a separate Building Permit for the retaining walls.

It should be noted that the Building Permit for the building on site will not be released until the separate Building Permit for site retaining walls is approved.

25. For all soil disturbing projects, the developer, or their representative, shall designate a person to inspect all erosion and sediment control practices a minimum of every seven (7) days and during, or within 24 hours of, the onset of significant precipitation (> 12mm of rain in 24 hours, or rain on wet or thawing soils) or snowmelt events. Note that some practices may require daily or more frequent inspection. Erosion and sediment control practices shall be adjusted to meet changing site and winter conditions.
26. Stormwater runoff must be contained and managed in accordance with the Stormwater Management & Design Manual all to the satisfaction of the Manager, Development Engineering.
27. The grades indicated on the approved Development Site Servicing Plan(s) must match the grades on the approved Development Permit plans. Upon a request from the Development Authority, the developer or owner of the titled parcel must confirm under seal from a Consulting Engineer or Alberta Land Surveyor, that the development was constructed in accordance with the grades submitted on the Development Permit and Development Site Servicing Plan.

28. If during construction of the development, the developer, the owner of the titled parcel, or any of their agents or contractors becomes aware of any contamination,
 - a. the person discovering such contamination shall immediately report the contamination to the appropriate regulatory agency including, but not limited to, Alberta Environment, Alberta Health Services and The City of Calgary (311).
 - b. on City of Calgary lands or utility corridors, The City of Calgary, Environmental and Safety Management division shall be immediately notified (311).
29. No trees, shrubs, buildings, permanent structures or unauthorized grade changes are permitted within utility rights-of-way.
30. The development site lies within the Flood Fringe and as such must conform to Land Use Bylaw 1P2007, Part 3, Division 3.
31. Pursuant to Bylaw 1H2024, off-site levies are applicable.

After approval of the Development Permit but prior to issuance of a Development Completion Permit or any occupancy of the building, payment shall be made for off-site levies pursuant to Bylaw 1H2024.

Note(s):

-Include the completed Payment Submission Form, which was emailed to the applicant.

-Only certified cheques or bank drafts made payable to the City of Calgary are acceptable.

To obtain a final estimate contact the Infrastructure Strategist, Development Commitments, at 587-215-6253 OR yunpeng.qin@calgary.ca OR offsitelevy@calgary.ca.

Mobility Engineering

32. The developer shall be responsible for the cost of public work and any damage during construction in City road right-of-ways, as required by the Manager, Development Engineering. All work performed on public property shall be done in accordance with City standards.

Advisory Comments

The following advisory comments are provided as a courtesy to the Applicant and registered property owner. The comments represent some, but not all of the requirements contained in the Land Use Bylaw that must be complied with as part of this approval.

Planning

33. The Advisory Comments will be finalized at the time of Development Authority decision.
34. The Applicant may appeal the decision of the Development Authority, including any of the conditions of the development permit. If you decide to file an appeal, please refer to the notification of decision letter for the appropriate appeal body and appeal process.
35. The approval of this development permit does not limit in any way the application of any federal, provincial, or municipal law, policy, code, regulation, bylaw, and/or guideline, nor does it constitute any permit or permission under any federal, provincial, or municipal law, policy, code, regulation, bylaw, and/or guideline.
36. In addition to this development permit, building permits may also be required. Building permit applications may be submitted upon approval of the associated development permit. Contact Building Regulations at 403-268-5311 for further information.
37. This development permit has not been reviewed for potential issues with the National Building Code - current Alberta Edition. You may require a Building Permit in addition to this development permit in which case compliance with the Code will be assessed through a Building Permit application. Should a Building Permit review require changes to the approved development permit, the changes must be to the satisfaction of the Development Authority and are potentially subject to a new development permit.
38. There are many types of caveats and other agreements that can be registered on the title of the property that can restrict the ability to develop. The City has not reviewed or considered all instruments registered on the title to this property. Property owners must evaluate whether this development is in compliance with any documents registered on title.
39. The Streets Bylaw (20M88) and the Tree Protection Bylaw (23M2002) contain clauses intended to protect trees growing on Public Land. No person shall remove, move, cut, or prune a Public Tree or cause a Public Tree to be removed, moved, cut or pruned without prior written authorization from the Director, Parks. A copy of the bylaw can be found at www.calgary.ca. Parks does not permit the removal of public trees to facilitate development unless all options to retain and protect are exhausted.
40. If clearance pruning of public trees is required, Urban Forestry must be notified (minimum two business days notice) and an indemnified contractor must be used

Track your application on-line with VISTA. Go to: www.calgary.ca/vista and enter your JOB ACCESS CODE (JAC) from the application form or call Planning Services Counter at (403) 268-5311.

at the applicants expense. Please contact Urban Forestry at 311 for more information.

41. An Urban Forestry Technician must be on-site to mitigate possible root damage to adjacent public trees during the removal of the existing walkway within the public boulevard. Prior to construction, contact Urban Forestry at 311 and ask to speak to an Urban Forestry Technician. Urban Forestry requires minimum two business days notice prior to meeting onsite.
42. As part of the Tree Protection Bylaw, a Tree Protection Plan will be required when a development, construction activity, or a disturbance occurring on the City Boulevard is within 6 metres of a boulevard tree. For more information about submitting your tree protection plan visit www.calgary.ca and search protecting trees during construction and development; alternatively, call 311 or email tree.protection@calgary.ca. Applicant is to apply for tree protection plan prior to demolition.
43. The applicant will be required to provide compensation to the City of Calgary for any Public Trees that are removed or damaged. The Public Tree(s) adjacent to this development is/are valued at **\$5860.57**. Applicants that are unfamiliar with tree protection or tree appraisal are advised to consult an arborist.
44. Services should be shown on the plans in accordance with the Grade Slip granted by the City. If the servicing trench will be located within the dripline of an existing public tree, the applicant shall contact Urban Forestry or contact Development Site Servicing through 311 in attempt to avoid this conflict.

Utility Engineering

45. The developer is responsible for ensuring that:
 - a. The environmental conditions of the subject property and associated utility corridors meet appropriate regulatory criteria and appropriate environmental assessment, remediation or risk management is undertaken.
 - b. Appropriate environmental assessment(s) of the property has been undertaken and, if required, a suitable remedial action plan and/or risk management plan has been prepared, reviewed and accepted by the appropriate regulatory agency(s) including but not limited to Alberta Environment and Alberta Health Services.
 - c. The development conforms to any reviewed and accepted remedial action plan/risk management plans.
 - d. All reports are prepared by a qualified professional in accordance with accepted guidelines, practices and procedures that include but are not limited to those in the most recent versions of the Canadian Standards Association and City of Calgary Phase I & II Environmental Site Assessment Terms of Reference.
 - e. The development is in compliance with applicable environmental approvals (e.g. Alberta Environment Approvals, Registrations, etc), Energy Resources Conservation Board approvals and related setback requirements, and landfill setback requirements as set out in the Subdivision and Development Regulation.

If the potential for methane generation or vapours from natural or contaminated soils and groundwater has been identified on the property, the developer is

responsible for ensuring appropriate environmental assessment(s) of the property has been undertaken and appropriate measures are in place to protect the building(s) and utilities from the entry of methane or other vapours.

Issuance of this permit does not absolve the developer from complying with and ensuring the property is developed in accordance to applicable environmental legislation.

46. Prior to the commencement of construction, alteration or demolition operations, a fire safety plan, accepted in writing by the Fire Department and the authority-having jurisdiction, shall be prepared for the site and conform to the requirements of the AFC 2014, Division B, 5.6.1.3. This document is required as a Building Permit condition for approval.

Note:

For further details, contact Fire Department Technical Services at ryan.smith@calgary.ca OR 403-801-6595.

47. Fire access and/or proximities shall be in accordance with current Calgary Fire Department Access Standards and / or current applicable code(s) articles. See below.

For context:

- a) Access for fire department equipment shall be provided to each building by means of a street, private roadway or yard. Appropriate code reference 9.10.20.3.(1).
- b) Special variations could be permitted for a house or residential building that is protected with an automatic sprinkler system. The sprinkler system must be designed in accordance with the appropriate NFPA standard and there must be assurance that water supply pressure and quantity are unlikely to fail. These considerations could apply to buildings that are located on the sides of hills and are not conveniently accessible by roads designed for firefighting equipment and also to infill housing units that are located behind other buildings on a given property. Appropriate code reference A 9.10.20.3.(1) Fire Department Access Route Modification.

Some units / buildings may be subject to having to be sprinklered.

1.3.3.4. Building Size Determination

1) Where a firewall divides a building, each portion of the building so divided shall be considered as a separate building, except when this requirement is specifically modified in other parts of this Code.

c) Where access to a building as required and is provided by means of a roadway or yard, the design and location of such roadway or yard shall take into account connection with public thoroughfares, weight of firefighting equipment, width of roadway, radius of curves, overhead clearance, location of fire hydrants, location of fire department connections and vehicular parking.

d) For residential buildings, including townhouse complexes, the distance of the principle entrance from a street should not exceed 45m (as per RB14-042). Each dwelling unit (secondary suites included) must be within 45m travel distance to from street (fire access lane) to principle entrance.

Fire Professional involvement, NBC(AE) 2.4.2.1(4)

Residential buildings with 5 to 20 dwelling units must be imprinted with the seals or stamps of either a registered architectural professional, or one or more registered engineering professionals.

Note:

For further details regarding fire access requirements, see the below link:
<http://www.calgary.ca/CSPS/Fire/Documents/Fire-Department-Access-Standard.pdf>

For further details, contact Fire Department Technical Services at 403-801-6595 or Ryan.Smith@calgary.ca.

48. Site Servicing (hydrant location plan) is to be submitted and approved by the Fire Department prior to the Development Site Servicing Plan stage. One stamped plan is to be submitted with the Development Site Servicing Plan submission.

For further details, contact Fire Department Technical Services at 403-801-6595 or Ryan.Smith@calgary.ca.

49. Water, sanitary and storm connections are available from 8 AV SE.

Note:

For further information, contact Utility Specialists at:
WA-ResourcesDevelopmentApprovals@calgary.ca OR 403-268-2693 OR
jennifer.derbywagner@calgary.ca.

50. A new service will be crossing, exposing and excavated within 3.0m of the 1800mm Critical collection main. Hydrovacating will be required for the determination of alignment, elevation, pipe diameter, pipe support, backfill and clearances. A detail of this information will be required to be shown on the Development Site Servicing Plan with respect to working in proximity of this critical collection main. Contact the Capital Works Engineer at 403-268-5752 for approval, notification, shutdown periods, tunnelling and auguring options.

Note:

For further information, contact Utility Specialists at:
WA-ResourcesDevelopmentApprovals@calgary.ca OR 403-268-2693 OR
jennifer.derbywagner@calgary.ca.

51. Show details of servicing and metering on Development Site Servicing Plan. Provide adequate water meter locations (100mm or larger, room adjacent to an exterior wall, 50mm or less, label water meter location) where services enter building. If static pressure exceeds 550 kPa install pressure reducing device after meter.

Note:

For further information, contact Utility Specialists at:
WA-ResourcesDevelopmentApprovals@calgary.ca OR 403-268-2693 OR
jennifer.derbywagner@calgary.ca.

52. Maintain a 3.0m separation between Enmax facilities (power poles, light standards, transformer pads, catch basins, etc.) with the proposed water service.

53. Redundant services are to be disconnected at the source and new service installed at the owners expense.
54. Each unit must be individually metered.
55. Each titled parcel must have separate (direct) service connections to public mains.
- Note:
For further information, contact Utility Specialists at:
WA-ResourcesDevelopmentApprovals@calgary.ca OR 403-268-2693 OR
jennifer.derbywagner@calgary.ca.
56. Ensure that the water service separation from the foundation wall or piles is:
- 4.0m (100mm service or larger), or
 - 3.0m (50mm service or smaller), or
 - 2.0m when the foundation wall or piles extends vertically a minimum of 2.0m below the invert of the water pipe.
57. The applicant must apply for water and sewer connections as per City Standards.
58. The allowable stormwater run-off coefficient shall be 50 L/s/ha.
- Note:
For further information, contact Utility Specialists at:
WA-ResourcesDevelopmentApprovals@calgary.ca OR 403-268-2693 OR
jennifer.derbywagner@calgary.ca.
59. Surface ponding (trapped lows) should be designed to contain all the flow generated from the 100 year storm events.
60. Where possible, discharge of roof leaders should be directed onto grassed or pervious areas to help reduce the volume of runoff. Alternatively, the roof leaders may be directed to the on-site storm sewer system.
61. Controlled stormwater discharge is required for the subject site.
62. All on-site sewers are to be designed to City of Calgary specifications.
63. Storm Redevelopment Fees (\$84 / m frontage) will be required at the service connection stage.
- Note:
For further information, contact Utility Specialists at:
WA-ResourcesDevelopmentApprovals@calgary.ca OR 403-268-2693 OR
jennifer.derbywagner@calgary.ca.
64. Ensure elevations of building slab and/or any building openings are 0.3m minimum above trap low spill elevations or the 100 year elevation, whichever is higher. The minimum grade within the lot adjacent to trap low must be 0.3m higher than the 1:100 year elevation in the trap low or spill elevation, whichever is higher. This minimum grade must be achieved within a 6.0m distance from the common property line of the lot and the road right-of-way.

65. As per The City of Calgary Drainage Bylaw 37M2005, the developer, and those under their control, are responsible for ensuring that a Drainage Permit is obtained from Water Resources prior to discharging impounded runoff (caused by rainfall and/or snowmelt) seepage or groundwater from construction site excavations or other areas to a storm sewer. The developer, and those under their control, is responsible for adhering to all conditions and requirements stipulated in the Drainage Permit at all times. For further information, contact the Corporate Call Centre at 311 or visit <http://www.calgary.ca/UEP/Water/Pages/Watersheds-and-rivers/Erosion-and-sediment-control/Report-and-Drawings-Templates-and-Guides.aspx> (Drainage Permit applications can be downloaded from this website).

66. Stormwater emergency escape routes must be to a public roadway.

67. Locate any / all services and / or utilities in the field.

Coordinate with the utility owner(s) for the removal and/or relocation of existing utilities located within the subject parcel or the registration of an easement, or utility right of way for the protection of the utilities. All of the above is contingent to the satisfaction of the affected utility owner(s).

68. Any / all tree planting proposed to be located within road rights of way shall require a line assignment from Utility Line Assignments. This application consists of a letter, on letterhead, requesting approval to plant trees in the boulevard and six (6) scaleable landscape plans (1:250 or 1:500 preferred) indicating the following information:

- Property lines
- Curb/sidewalks
- Species and caliper of proposed trees (evergreen and poplar trees are not permitted in boulevards)
- Existing features (streetlight poles, hydrants, existing trees, utilities, etc.)
- Dimensions from property line to all of the above features

Include the Development Permit number in your letter. Shrub and flowerbeds are not permitted in City boulevards. Due to the number of applications reviewed by this office, it will typically take two weeks for a response. The letter can be addressed to the Supervisor, Utility Line Assignments, 6th floor, 800 Macleod Trail SE, Calgary, Alberta T2P 2M5, Location #8026. Alternatively, the required information can be submitted to the ULA Support email as a PDF at ulasupport@calgary.ca.

For further details, contact ulasupport@calgary.ca.

69. For questions and concerns regarding waste storage facilities, refer to the Development Reviews: Design Standards for the Storage and Collection of Waste, found at:

<http://www.calgary.ca/UEP/WRS/Pages/Commercial-Services/Development-Permits-Waste-Recycling.aspx>

Garbage, recyclable materials and food and yard (organics) waste and recycling storage and/or collection areas shall be maintained and clear of snow and ice.

Secondary suites may not be eligible to receive a separate set of waste and recycling containers from The City of Calgary. Suites are expected to share the waste storage with the associated primary dwelling unit.

Note:

For further details, contact Waste and Recycling Services at 403-268-8445 or jc.lauzier@calgary.ca OR 403-268-8429 or steve.gorda@calgary.ca.

70. As advised by River Engineering (Part 1):

Building Opening Elevation for Development within the Flood Hazard Area:
All building openings (basement windows, walk out basements, etc.) and adjacent landscaping grades are recommended to be at or above the 2020 AEPA 1:20 flood elevation. A 1:20 flood means a flood level that has a 5% chance of occurring in any year.

The 1:20 flood elevation is 1038.3m (geodetic).

Groundwater Seepage:

A portion of the proposed development lies adjacent to the Bow River. Due to the geography and nature of the soils in the area, groundwater levels are a concern for subgrade structures, and shall be considered in design. Structures with subsurface components, including parking garages and basements, should be designed for structural stability under elevated groundwater conditions during river flooding, or so that the foundation of such structures is above the groundwater elevation during a 1:100 river flood.

The following should be considered in basement design:

- a. Design the building to prevent structural damage from elevated groundwater levels by floodwaters. Elevated groundwater levels may impact foundation dewatering, foundation water proofing, and structural design.
- b. Basements should not be utilized for the storage of immovable or hazardous materials that are flammable, explosive, or toxic.
- c. A sump pump with battery backup should be installed in the basement.
- d. The sump pump outfall pipe should be looped and discharged above the designated flood elevation of 1039.8m (geodetic).
- e. A separate electrical circuit should be installed for the sump pump with the operating switch located above the designated flood elevation of 1039.8 m m (geodetic).
- f. Installation of backflow prevention valve(s) on sewer lines or the elimination of gravity flow basement drains.
- g. No primary living spaces (i.e. bedrooms) below the designated flood elevation of 1039.8 m m (geodetic).
- h. A water alarm should be installed in the basement to warn of groundwater seepage.

The designated flood elevation is 1039.8m (geodetic).

71. As advised by River Engineering (Part 2):

Inglewood Barrier:

Based on information gathered in the 2013 flood event, and analysis contained in the 2020 draft Alberta Environment and Protected Areas inundation maps, the Inglewood Flood Barrier provides mitigation up to a 1:100 flood. Design up to the 1:100 flood will increase resilience to flooding, but because of the decreased risk, River Engineering would support a relaxation of the designated flood elevation to the 1:20 flood elevation or higher.

The designated flood elevation is 1039.8m (geodetic).
The 1:20 flood elevation is 1038.3m (geodetic).

Below Grade Secondary Suites:

River Engineering strongly recommends against placing secondary suites below the designated flood elevation in flood prone areas. Under B.6.a of the Policy to Guide Discretion for Secondary Suites and Backyard Suites (2018), Secondary Suites are encouraged to be above grade when located in the Flood Fringe. Should the suite be located below grade, it must comply with the flood mitigation rules of the Land Use Bylaw. Water can enter basements rapidly during a flood from groundwater and/or overland flows and become a life safety hazard, resulting in evacuations, and damage to the building and suite contents.

Densification:

Densification as a result of this development increases the risks associated with life safety, property damage and losses, as well as resident displacement during a flood. It is recommended that emergency plans for egress are put in place in the event of a flood. For information on how to prepare for emergencies, please refer to <https://www.calgary.ca/emergencies/preparedness.html>.

Province of Alberta Disaster Recovery - Province of Alberta

The design of the building on the parcel may affect its ability to qualify for the Province of Alberta Disaster Recovery Program assistance, therefore it is recommended that the applicant contact the Alberta Emergency Management Agency at 1-888-671-1111 or drp.info@gov.ab.ca, to review any pertinent matters about the subject development. Note recent changes to the disaster assistance program in 2021 implemented a \$500,000 funding cap per homeowner application, and a one-time limit on disaster financial assistance per property.

Province of Alberta Flood Hazard Map Update:

Be advised that the Province of Alberta has recently updated the provincial flood hazard maps which form the basis for The City of Calgarys Land Use Bylaw flood hazard areas. These updates include a new approach to defining the flood hazard areas along the Bow and Elbow Rivers. For more information on the Provinces project, please see www.floodhazard.alberta.ca.

These updates may result in changes to the regulatory zones and designated flood elevations for the proposed development area. Changes to the Land Use Bylaw in response to the updated flood hazard maps are anticipated to be completed in 2025. For more information, please see <https://www.calgary.ca/rivervalleys>.

72. As advised by River Engineering (Part 3):

The proposed development location is within the 1:100 Flood Fringe, as per Council approved regulatory flood maps located at:
<https://www.calgary.ca/pda/pd/calgary-land-use-bylaw-1p2007/land-use-bylaw-1p2007-maps.html>.

As such, the proposed development is subject to the Land Use Bylaw (LUB), Part 3, Division 3, Clauses 55, 59, & 60.

The official designated flood level (1:100 flood elevation) is 1039.8m (geodetic).

The Draft 2020 AEP model 1:20 flood elevation is 1038.3m (geodetic).

For parcels located in the floodway, flood fringe or overland flow area, the requirements of this Division apply and prevail when there is any conflict between the requirements of this Division and any other requirements of this Bylaw.

Only those goods that are easily moveable may be stored on a parcel in the flood fringe or the overland flow area.

All buildings in the flood fringe must be designed in the following manner:

- (a) to prevent structural damage by floodwaters.
- (b) the first floor of all buildings must be constructed at or above the designated flood level; and
- (c) all electrical and mechanical equipment within a building must be located at or above the designated flood level; and
- (d) a sewer back up valve must be installed in every building.

Mobility Engineering

- 73. Garage aprons / parkade access / loading areas / parking stalls at rear must tie to the existing lane grades. Lane grades will be provided on the grade slip issued by Development Servicing. It is the responsibility of developer, contractor, or homeowner to set the elevations of the garage slab based on the lot grading and to ensure that garage is operationally accessible and that it ties to established land grades. Lane grades are not to be altered without the approval of Roads.
- 74. The City does not grant approval for the placement of underground irrigation sprinkler systems in City owned lands or boulevards that are adjacent to the development site and are installed at the developers risk. The City of Calgary will not assume liability or responsibility for repair or replacement in event it has been damaged or destroyed during construction on City owned lands or boulevards by city workers or its authorized contractors.

District Title:

Housing District

The information contained herein is intended for information purposes only. Please refer to the Calgary Land Use Bylaw 1P2007 for a complete list of rules and regulations. This form has no legal status and cannot be used as an official interpretation of the Land Use Bylaw 1P2007.

Date:	November 20, 2024
Date Received:	October 18, 2024
BLC BY:	Christine Loxton
Review Required:	
	Complete ▼

D.P. #	2024-07430
---------------	-------------------

For Internal Distribution Only

Modifier(s):	F.A.R		Height		Density		ALL MODIFIER(S) ARE COMPULSORY (Cannot be relaxed)
---------------------	-------	--	--------	--	---------	--	---

Floodway/Floodfringe/Overland Flow

Floodfringe ▼

If applicable Complete Flood Sheet

Public Realm Setbacks

Rd / St / Av		Required		Provided	
Rd / St / Av		Required		Provided	
Rd / St / Av		Required		Provided	
Rd / St / Av		Required		Provided	

Main Floor Elevation(S):

Roof Peak Elevation(s):

BLD 1	1039.80	Unit 1	1050.78
BLD 2	1039.80	Unit 2	1050.23

Notes:

1039.8 Flood Step level

Housing – Grade Oriented (H-GO) District			D.P. # 2024-07430				
Rule	Requirements		Evaluation				
		Notes	Provided/Variance				
Part 4	If applicable please refer to Part 4 Form		See Attached	N/A	N/I		
1395 Building Setback from Front Property Line	The minimum building setback from a front property line is 3.0m		North To post as shown on floor plans	2.97	-0.03		
1396 Building Setback from Side Property Line	(1) Subject to subsections (2) through (5), the minimum building setback from any side property line is 1.2m		West BLD 1	1.52	0.32		
			East BLD 1	1.53	0.33		
			West BLD 2	1.51	0.31		
			East BLD 2	1.51	0.31		
	(2) There is no requirement for a building setback from a property line upon which a party wall is located.			Applies	N/A	N/I	
	(3) For a corner parcel, the minimum building setback from a side property line shared with a street is 0.6m			N/A			
1397 Building Setback from Rear Property Line	(1) Unless otherwise referenced in subsection (2) the minimum building setback from a rear property line is 5.0m			N/A			
	(2) On a corner parcel or a laned parcel, the minimum building setback from a rear property line is 1.2m		South to garage	1.22	0.02		
1398 Projections Into Setback Area	(1) Unless otherwise referenced in subsections (2) through (9), a building or air conditioning units must not be located in any setback area.			C	N/C	N/A	N/I
	(3) Portions of a building below the surface of the ground may extend without any limits into a setback area.			Applies	N/A		N/I
	(4) Patios may project without any limits into a setback area.			Applies	N/A		N/I
	(5) Wheelchair ramps may project without any limits into a setback area			Applies	N/A		N/I
	(6) Eaves may project a maximum of 0.6 metres, and window wells may project a maximum of 0.8 metres, into any setback area.	Window Wells	North	0.55		-0.25	
		Eaves	North	0.21		-0.39	
	(7) Landings not exceeding 2.5m ² , ramps other than wheelchair ramps and unenclosed stairs may project into any setback area			complies		#VALUE!	
	(9) Air conditioning equipment may project a maximum of 1.0m into any setback area that does not share a property line with a street.			N/A			
1409 Decks and Patios	(1) The height of a deck must not exceed 1.5m above grade at any point.			0.61		-0.89	
	(2) A privacy wall located on a deck or patio:	(a) must not exceed 2.0m in height when measured from the surface of the deck or patio; and		N/A			
		(b) must not be located between the foremost front façade of the main residential building and the front property line.		C	N/C	N/A	N/I

1410 Balconies	(1) Unless otherwise referenced in subsection (2), an open balcony must not project more than 1.85m from the building façade to which it is attached.		1.43	-0.42		
	(2) Where a balcony is located on the roof of the first or second storey and does not overhang any façade of the storey below the maximum area is equal to 50.0% of the horizontal cross section of the storey below.		Percentage (%)			
			#VALUE!	#VALUE!		
	Area of Storey Below Balcony (m²)		Area (m²)			
		complies	#VALUE!			
1405 Amenity Space	(1) Each unit and suite must have amenity space that is located outdoors and is labelled on the required landscape plan.		F/M Discretion	N/A	N/I	
	(2) Amenity space may be provided as common amenity space, private amenity space or a combination of both.		balconies and courtyard	Applies	N/A	N/I
1391 At Grade Orientation of Units	(1) All units must provide individual, separate, direct access to grade.		C	N/C	N/A	N/I
	(2) Units with an exterior wall facing a street must provide:	(a) an entrance that is visible from the street; and	C	N/C	N/A	N/I
		(b) sidewalks that provide direct exterior access to the unit.	C	N/C	N/A	N/I
1393 Building Depth and Separation	(1) Unless otherwise referenced in subsections (2) and (3) the maximum building depth is 65.0% of the parcel depth for a building containing a unit.		Building Depth (%)			
	37.59	Parcel Depth (m)	Building Depth (m)			
			N/A			
	(2) On a laned parcel, there is no maximum building depth for a main residential building wholly contained to the rear of 40.0% parcel depth where:	(a) there is more than one main residential building on the parcel;		2	1	
		(b) 50.0% or more of the units on the parcel are contained in main residential buildings located within the first 60.0% of the parcel depth; and		Number of Units within First 60.0% of Parcel Depth		
			37.59	Parcel Depth (m)		
		22.55	40% / 60.0% Parcel Depth (m)			
		5	Total Number of Units	3		
		3	Required Number of Units in Front 60.0%	0		
(c) where the minimum separation distance of the main residential buildings on the front portion of the parcel and the main residential buildings contained on the rear portion of the parcel is 6.5m			6.55	0.05		
(3) For a main residential building that is located on a corner parcel there is no maximum building depth where the minimum building setback from the side property line shared with another parcel is 3.0m for any portion of the building located between the rear property line and:	(a) 50.0 per cent parcel depth; or		Side Setback Dimension (m)			
		Parcel Depth	N/A			
	(b) the building depth of the main residential building on the adjoining parcel;					
		C.A.B. Building Depth				
whichever is closer to the rear property line.						
3.0m Building Side Setback Required beyond the rear property line and:						
		0.00	m	and the rear property line		
		Subsection (b) Applies				
1390 Floor Area Ratio	The maximum floor area ratio is 1.5.		Floor Area Ratio			
	756.38	Parcel Area (m²)	1.39	-0.11		
			Gross Floor Area (m²)			
		1051.98	-82.59			
	756.38	Parcel Area (m²)	X			
	5	Number of Units				
	(a) 45.0% of the area of the parcels subject to a single development permit for a development with a density of less than 40 units per hectare;		Parcel Coverage (%)			
			Area (m²)			
		Required Stalls				
	Max Coverage	340.37				
(b) 50.0% of the area of the parcels subject to a single development permit for a development		Parcel Coverage (%)				

	depths:	(c) 0.3m for all other planting areas.			N/A			
	(8) The soil depths referenced in (7) must cover an area equal to the mature spread of the planting material.				Requires review by planner or technician	N/A	N/I	
1399 Building Height	(1) Unless otherwise referenced in subsections (2), the maximum building height is 12.0m measured from grade.		BLD 1		complies	#VALUE!		
			BLD 2		complies	#VALUE!		
	(2) Where a building setback is required from a property line shared with another parcel designated with a low density residential district, H-GO or the M-CG District, the maximum building height:	(a) is the greater of:		BLD 1 east side		C	N/C	N/A
		(i) the highest geodetic elevation of a main residential building on the adjoining parcel; or		BLD 2 west				
(ii) 8.0m from grade;		BLD 2 east						
(b) increases at a 45 degree angle to a maximum of 12.0m measured from grade.		BLD 1 west						
1400 Solar Collector	(1) A solar collector may only be located on the wall or roof of a building.				Applies	N/A	N/I	
	(2) A solar collector mounted on a roof with a pitch of less than 4:12:	(a) may project a maximum of 2.0m from the surface of the roof; and			N/A			
		(b) must be located at least 1.0m from the edge of the roof.				N/A		
	(3) A solar collector mounted on a roof with a pitch of 4:12 or greater:	(a) may project a maximum of 1.3m from the surface of the roof; and				N/A		
		(b) must not extend beyond the outermost edge of the roof.				C	N/C	N/A
	(4) A solar collector that is mounted on a wall:	(a) must be located a minimum of 2.4m above grade; and				N/A		
(b) may project a maximum of 0.6m from the surface of that wall.					N/A			
1401 Accessory Residential Buildings	(1) An Accessory Residential Building:	(a) may have an amenity space in the form of a deck or a patio;			Applies	N/A	N/I	
		(b) Unless specified in subsection (4) must not be located in a required setback area; and			C	N/C	N/A	N/I
		(c) must not be located between any building and a public street.			C	N/C	N/A	N/I
	(2) Notwithstanding section 1399, the maximum height for an Accessory Residential Building is:	(a) 4.6m, when measured from grade at any point adjacent to the building; and				3.80	-0.80	
		(b) 3.0m to any eaveline, when measured from the finished floor of the building.				2.84	-0.16	
	(3) Notwithstanding section 1396, for an Accessory Residential Building, unless otherwise referenced in subsection (4), the minimum building setback from a side property line that is not shared with a street is 0.6m					N/A		
	(4) Notwithstanding section 1398, an Accessory Residential Building may be located in a setback area from another parcel where:	(a) the Accessory Residential Building is less than 10.0m ² gross floor area; or		Stucco garage east		Applies	N/A	N/I
(b) the wall of the Accessory Residential Building is constructed of maintenance-free materials and there is no overhang of eaves onto an adjacent parcel.								
(1) A driveway must not have direct access to a major street unless:	(a) there is no practical alternative method of vehicular access to the parcel; and				C	N/C	N/A	

1414 Driveway Length and Parking Areas		(d) a turning space is provided on the parcel to allow all vehicles exiting to face the major street.		C	N/C	N/A	N/I	
	(2) A driveway connecting to a street must:	(a) be a minimum of 6.0m in length, when measured along the intended direction of travel for vehicles from the back of the public sidewalk or curb; and		N/A				
		(b) be a minimum of 3.0m in width.		N/A				
	(3) A driveway connecting to a lane must:	(a) be a minimum of 0.60m in length, when measured along the intended direction of travel for vehicles; and	South	1.20	0.60			
		(b) be located between the property line shared with a lane and the vehicular entrance of the private garage.		C	N/C	N/A	N/I	
	(4) In the Developed Area a driveway accessing a street must not be constructed, altered or replaced except where:	(a) located on a laneless parcel; (b) located on a laned parcel and 50.0% or more parcels on same block face have an existing driveway accessing a street; or (c) legally existing driveway not being relocated or widened.		Percentage (%)				
				N/A				
				Homes w/ Exst. Driveway				
				Existing Driveway No Changes				
		Number of Parcels along Block Face						
1411 Motor Vehicle Parking Stalls	The minimum number of motor vehicle parking stalls is calculated based on the sum of all units and suites at a rate of 0.5 stalls per unit or suite.	10 Number of Units 5 Stalls Within a Private Garage 0 Stalls provided on Parking Pad		5	0			
1412 Mobility Storage	The minimum number of mobility storage lockers is calculated based on the sum of all units and suites at a rate of 0.5 lockers per unit or suite where a unit or suite is not provided a motor vehicle parking stall located in a private garage.	5 Number of Units		3	0			
1413 Bicycle Parking Stalls	The minimum number of bicycle parking stalls – class 1 is calculated based on the sum of all units and suites at a rate of 1.0 stall per unit or suite where a unit or suite is not provided a motor vehicle parking stall located in a private garage or mobility storage locker.	2 Number of Units		2	0			
13(90.3) Mobility Storage Locker	(a) has a door with a minimum width of 0.9m that has direct access to grade;			0.92	0.02			
	(b) has a minimum length of 2.8m;			3.05	0.25			
	(c) has a minimum width of 1.2m;			1.20	0.00			
	(d) has a minimum height of 1.8m			complies	#VALUE!			
1406 Retaining Walls	(1) A retaining wall must be less than 1.2m in height when measured from the lowest grade at any point adjacent to the retaining wall to the highest grade retained by the retaining wall.			complies	#VALUE!			
	(2) A minimum horizontal separation of 1.0m must be maintained between retaining walls.			N/A				
1407 Fences	The height of a fence above grade, at any point along a fence line, must not exceed:	(a) 1.2m for that portion of the fence extending beyond the foremost portion of all buildings on the parcel;		N/A				
		(b) 2.0m for that portion of the fence that does not extend beyond the foremost portion of all buildings on the parcel; and		2.00	0.00			
		(c) 2.5m to the highest point of a gateway, provided that the gateway does not exceed 2.5m in length.		Height (m)				
				N/A		Gateway Width (m)		
1415 Waste, Recycling and Organics	NOTE: Moloks are considered garbage enclosures; Earthbins, Dumpsters, etc. are NOT . Blue and black carts are an acceptable "garbage enclosure" for buildings with 4 or less units. Reminder: Ensure an area is dedicated to Waste; Recycling AND Organics							
	Garbage, recycling, and organics containers must be stored in a screened location shown on a site plan approved by the Development Authority.			C	N/C	N/A	N/I	

1408 Visibility Setback	Within a corner visibility triangle, buildings, fences, finished grade of a parcel and vegetation must not be located between 0.75 metres and 4.60 metres above the lowest elevation of the street.		C	N/C	N/A	N/I

						D.P. #	0				
Rule	Requirements					Evaluation					
						Notes		Provided/Variance			
122 Standards for Motor Vehicle Parking Stalls	Table 2: Minimum Dimensions for Motor Vehicle Parking Stalls										
	Parking Angle (degrees)	Aisle width (metres)	Stall depth perpendicular to aisle (metres)	Stall width parallel to aisle (metres)							
				Dwelling Unit	Other Uses						
	90.00	7.20	5.40	2.50	2.60			Applies	Not Applicable		
	75.00	6.12	5.64	2.59	2.69			Applies	Not Applicable		
	60.00	4.82	5.49	2.89	3.00			Applies	Not Applicable		
	45.00	4.00	5.00	3.54	3.68			Applies	Not Applicable		
								Applies	Not Applicable		
	(1.1) The minimum width of a motor vehicle parking stall when it abuts a physical barrier, is:		(a) 3.1m when a physical barrier abuts both sides; and					C	N/C	N/A	N/I
			(b) 2.85m when a physical barrier abuts only one side.					C	N/C	N/A	N/I
	(3) The minimum depth of a motor vehicle parking stall is 5.9m where it is required for:		(a) a Backyard Suite, Contextual Semi-detached Dwelling, Secondary Suite, Semi-detached Dwelling or Single Detached Dwelling; and					C	N/C	N/A	N/I
			(b) a Dwelling Unit where the stall is provided in a private garage intended to be used for the occupants of only one Dwelling Unit.					C	N/C	N/A	N/I
	(4) The minimum width of a motor vehicle parking stall required for a Dwelling Unit is:		(a) 3.0m where both sides of a stall abut a physical barrier;					C	N/C	N/A	N/I
			(b) 2.85m where one side of a stall abuts a physical barrier;					C	N/C	N/A	N/I
			(c) 2.5m in all other cases.					C	N/C	N/A	N/I
	(7) The minimum width of a motor vehicle parking stall for Multi-Residential Development, Multi-Residential Development - Minor a Townhouse or a Rowhouse provided for the exclusive use of a Dwelling Unit is reduced to 2.6m where:		(a) the stall is one of two or more motor vehicle parking stalls that are provided in a private garage;					Applies		Not Applicable	
			(b) the motor vehicle parking stalls in the private garage are for the sole use of the occupants of the Dwelling Unit; and					Applies		Not Applicable	
			(c) the motor vehicle parking stalls are only counted towards fulfilling the minimum motor vehicle parking stall requirements for that Dwelling Unit.					Applies		Not Applicable	
	(9) The minimum vertical clearance of a motor vehicle parking stall is 2.1m.						C	N/C	N/A	N/I	
	(10) Minimum required motor vehicle parking stall dimensions must be clear of all obstructions, other than wheel stops and structural columns.						C	N/C	N/A	N/I	
(11) Where structural columns encroach into a motor vehicle parking stall, such columns:		(a) must not encroach into the width of the motor vehicle parking stall by more than a total of 0.3m;					C	N/C	N/A	N/I	
		(b) must be located within 1.2m of either end of the motor vehicle parking stall; and					C	N/C	N/A	N/I	
		(c) must not encroach into a motor vehicle parking stall within 0.3m of a drive aisle.					C	N/C	N/A	N/I	
(14) Motor vehicle parking stalls must not be provided as tandem parking unless other wise allowed in this Bylaw.						C	N/C	N/A	N/I		
(15) Motor vehicle parking stalls for a Contextual Semi-detached Dwelling, Contextual Single Detached Dwelling, Duplex Dwelling, Semi-detached Dwelling and Single Detached Dwelling must be:		(a) hard surfaced; and					C	N/C	N/A	N/I	
		(b) located wholly on the subject parcel.					C	N/C	N/A	N/I	
123 Loading Stalls	(1) A loading stall must be located so that all motor vehicles using the stall can be parked and manoeuvred entirely within the boundary of the site before moving onto a street or a lane.							F/M Discretion		N/A	N/I
	(2) A loading stall must have:		(a) a minimum width of 3.1m;					C	N/C	N/A	N/I
			(b) a minimum depth of 9.2m; and					C	N/C	N/A	N/I
			(c) a minimum height of 4.3m.					C	N/C	N/A	N/I
(3) Minimum loading stall dimensions must be clear of all obstructions, other than wheel stops.						C	N/C	N/A	N/I		

Division 3: Floodway, Flood Fringe and Overland Flow				D.P. #		
Rule	Requirements			Evaluation		
				Provided/Variance		
<div style="border: 1px solid black; padding: 2px;"> Flood Fringe </div>						
59 Flood Fringe and Overland Flow Area Regulations	(1) Only those goods that are easily moveable may be stored on a parcel in the flood fringe or the overland flow area.			F/M Discretion	N/A	N/I
	(2) Unless stated in subsection (3), all buildings must be set back 6.0m from the edge of the floodway.			complies	#VALUE!	
	(3) Where a parcel was vacant on July 22, 1985, all buildings must be set back the greater of the following distances:	(a) 60.0m from the edge of the Bow River;		N/A		
		(b) 30.0m from the edge of the Elbow River, Nose Creek, West Nose Creek; or		N/A		
	(c) 6.0m from the edge of the floodway.		N/A			
New Buildings / Buildings Built June 9, 2014 and After						
60 Flood Fringe	(1) All buildings in the flood fringe must be designed in the following manner:	(a) to prevent structural damage by floodwaters;		F/M Discretion	N/A	N/I
		(b) the first floor of all buildings must be constructed at or above the designated flood level; and		C	N/C	N/A
		(c) all electrical and mechanical equipment within a building must be located at or above the designated flood level; and		C	N/C	N/A
		(d) a sewer back up valve must be installed in every building.		C	N/C	N/A
Additions to Buildings Existing Prior June 9, 2014						
				Percentage (%)		
				Area (m ²)		
Original Gross Floor Area of Building (m ²)						
60 Flood Fringe	(2) The rules regarding building design referenced in subsection (1) do not apply to:		(b) a fence, gate, deck, landing, patio, air conditioning unit, satellite dish, hot tub, above ground private swimming pool, and an Accessory Residential Building.	Applies		Not Applicable
	(a) an addition that does not increase the gross floor area of the building by more than 10.0% of the gross floor area legally existing as of June 09, 2014; and					
	(3) Notwithstanding subsection (1) and (2), in addition to the conditions listed in section 38, additions to buildings that increase the gross floor area of the building by more than 10.0% but less than 75.0% of the gross floor area legally existing as of June 09, 2014 must:	(a) provide electrical isolation for the entire building through the placement of the master switch above the designated flood level; and,		C	N/C	N/A
		(b) must have a sewer back up valve installed in every building.		C	N/C	N/A
(4) Notwithstanding subsection (1), (2), and 3, in addition to the conditions listed in section 38, additions to buildings that increase the gross floor area of the building by at least 75.0% of the gross floor area legally existing as of June 09, 2014 must:		(a) fully mitigate as per subsection (1).		See Subsection 1 (Above)		Not Applicable

District Title:

Housing District

The information contained herein is intended for information purposes only. Please refer to the Calgary Land Use Bylaw 1P2007 for a complete list of rules and regulations. This form has no legal status and cannot be used as an official interpretation of the Land Use Bylaw 1P2007.

Date:	February 16, 2025
Date Received:	January 29, 2025
BLC BY:	Christine Loxton
Review Required:	<input type="text" value="Partial"/>

D.P. #	2024-07430
---------------	-------------------

For Internal Distribution Only

Modifier(s):	F.A.R		Height		Density		ALL MODIFIER(S) ARE COMPULSORY (Cannot be relaxed)
---------------------	-------	--	--------	--	---------	--	---

Floodway/Floodfringe/Overland Flow

If applicable Complete Flood Sheet

Public Realm Setbacks

Rd / St / Av		Required		Provided	
Rd / St / Av		Required		Provided	
Rd / St / Av		Required		Provided	
Rd / St / Av		Required		Provided	

Main Floor Elevation(S):

Roof Peak Elevation(s):

BLD 1	1039.80	Unit 1	1050.78
BLD 2	1039.80	Unit 2	1050.23

Notes:

1039.8 Flood Step level

Housing – Grade Oriented (H-GO) District			D.P. # 2024-07430			
Rule	Requirements		Evaluation			
		Notes	Provided/Variance			
Part 4	If applicable please refer to Part 4 Form		See Attached	N/A	N/I	
1395 Building Setback from Front Property Line	The minimum building setback from a front property line is 3.0m		North To post as shown on elevations		3.01	0.01
1398 Projections Into Setback Area	(1) Unless otherwise referenced in subsections (2) through (9), a building or air conditioning units must not be located in any setback area.		C	N/C	N/A	N/I
1402 Landscaping Requirements	(3) All setback areas adjacent to a street, except for those portions specifically required for motor vehicle access, must be a landscaped area.		portions of building in front setback		C	N/C
					N/A	N/I
1399 Building Height	(2) Where a building setback is required from a property line shared with another parcel designated with a low density residential district, H-GO or the M-CG District, the maximum building height:	(a) is the greater of: (i) the highest geodetic elevation of a main residential building on the adjoining parcel; or	Both buildings comply			
		(ii) 8.0m from grade;				
	(b) increases at a 45 degree angle to a maximum of 12.0m measured from grade.	C	N/C	N/A	N/I	

151

Division 3: Floodway, Flood Fringe and Overland Flow				D.P. #			
Rule	Requirements			Evaluation			
				Provided/Variance			
<div style="border: 1px solid black; padding: 5px; display: inline-block;"> Flood Fringe ▼ </div>							
60 Flood Fringe	(1) All buildings in the flood fringe must be designed in the	(d) a sewer back up valve must be installed in every building.	unable to locate a note	C	N/C	N/A	N/I

District Title:

Housing District

The information contained herein is intended for information purposes only. Please refer to the Calgary Land Use Bylaw 1P2007 for a complete list of rules and regulations. This form has no legal status and cannot be used as an official interpretation of the Land Use Bylaw 1P2007.

Date:	May 9, 2025
Date Received:	May 6, 2025
BLC BY:	Christine Loxton
Review Required:	
	Complete ▼

D.P. #	2024-07430
---------------	-------------------

For Internal Distribution Only

Modifier(s):	F.A.R		Height		Density		ALL MODIFIER(S) ARE COMPULSORY (Cannot be relaxed)
---------------------	-------	--	--------	--	---------	--	---

Floodway/Floodfringe/Overland Flow

Floodfringe ▼

If applicable Complete Flood Sheet

Public Realm Setbacks

Rd / St / Av		Required		Provided	
Rd / St / Av		Required		Provided	
Rd / St / Av		Required		Provided	
Rd / St / Av		Required		Provided	

Main Floor Elevation(S):

Roof Peak Elevation(s):

BLD 1	1039.80	Unit 1	1050.78
BLD 2	1039.80	Unit 2	1050.23

Notes:

1039.8 Flood Step level

Housing – Grade Oriented (H-GO) District			D.P. # 2024-07430			
Rule	Requirements		Evaluation			
		Notes	Provided/Variance			
Part 4	If applicable please refer to Part 4 Form		See Attached	N/A	N/I	
1395 Building Setback from Front Property Line	The minimum building setback from a front property line is 3.0m	North To post as shown on floor plans	3.04	0.04		
1396 Building Setback from Side Property Line	(1) Subject to subsections (2) through (5), the minimum building setback from any side property line is 1.2m	West BLD 1	1.49	0.29		
		East BLD 1	1.50	0.30		
		West BLD 2	1.50	0.30		
		East BLD 2	1.50	0.30		
	(2) There is no requirement for a building setback from a property line upon which a party wall is located.		Applies	N/A	N/I	
				N/A		
	(3) For a corner parcel, the minimum building setback from a side property line shared with a street is 0.6m			N/A		
	(4) Unless otherwise referenced in subsection (5), on a laned parcel the minimum building setback from a side property line for a private garage attached to a main residential building is 0.6m			N/A		
(5) On a laned parcel, the minimum building setback for a private garage attached to a main residential building that does not share a side or rear property line with a street may be reduced to zero metres where the wall of the portion of the building that contains the private garage is constructed of maintenance-free materials and there is no overhang of eaves onto an adjacent parcel.			Applies	N/A	N/I	
1397 Building Setback from Rear Property Line	(1) Unless otherwise referenced in subsection (2) the minimum building setback from a rear property line is 5.0m		N/A			
	(2) On a corner parcel or a laned parcel, the minimum building setback from a rear property line is 1.2m	South to garage	1.20	0.00		
	(1) Unless otherwise referenced in subsections (2) through (9), a building or air conditioning units must not be located in any setback area.		C	N/C	N/A	N/I
	(3) Portions of a building below the surface of the ground may extend without any limits into a setback area.		Applies	N/A	N/I	
	(4) Patios may project without any limits into a setback area.		Applies	N/A	N/I	
(5) Wheelchair ramps may project without any limits into a setback area		Applies	N/A	N/I		
		North	0.53	-0.27		

1398 Projections Into Setback Area	(6) Eaves may project a maximum of 0.6 metres, and window wells may project a maximum of 0.8 metres, into any setback area.		<i>Window Wells</i>					
			<i>Eaves</i>	North	0.08	-0.52		
	(7) Landings not exceeding 2.5m ² , ramps other than wheelchair ramps and unenclosed stairs may project into any setback area					complies	#VALUE!	
	(9) Air conditioning equipment may project a maximum of 1.0m into any setback area that does not share a property line with a street.					N/A		
1409 Decks and Patios	(1) The height of a deck must not exceed 1.5m above grade at any point.				0.61	-0.89		
	(2) A privacy wall located on a deck or patio:	(a) must not exceed 2.0m in height when measured from the surface of the deck or patio; and			N/A			
		(b) must not be located between the foremost front façade of the main residential building and the front property line.		C	N/C	N/A	N/I	
1410 Balconies	(1) Unless otherwise referenced in subsection (2), an open balcony must not project more than 1.85m from the building façade to which it is attached.				1.48	-0.37		
	(2) Where a balcony is located on the roof of the first or second storey and does not overhang any façade of the storey below the maximum area is equal to 50.0% of the horizontal cross section of the storey below.				Percentage (%)			
					87.02%	37.02%		
		102.19	Area of Storey Below Balcony (m ²)			Area (m ²)		
				88.93	37.84			
1405 Amenity Space	(1) Each unit and suite must have amenity space that is located outdoors and is labelled on the required landscape plan.				F/M Discretion	N/A	N/I	
	(2) Amenity space may be provided as common amenity space, private amenity space or a combination of both.				Applies	N/A	N/I	
1391 At Grade Orientation of Units	(1) All units must provide individual, separate, direct access to grade.				C	N/C	N/A	N/I
	(2) Units with an exterior wall facing a street must provide:	(a) an entrance that is visible from the street; and			C	N/C	N/A	N/I
		(b) sidewalks that provide direct exterior access to the unit.			C	N/C	N/A	N/I
	(1) Unless otherwise referenced in subsections (2) and (3) the maximum building depth is 65.0% of the parcel depth for a building containing a unit.				Building Depth (%)			
				74.57%	9.57%			
				Building Depth (m)				
	37.59	Parcel Depth (m)		28.03	3.60			

1393 Building Depth and Separation	(2) On a laned parcel, there is no maximum building depth for a main residential building wholly contained to the rear of 40.0% parcel depth where:	(a) there is more than one main residential building on the parcel;	2	1								
		(b) 50.0% or more of the units on the parcel are contained in main residential buildings located within the first 60.0% of the parcel depth; and	Number of Units within First 60.0% of Parcel Depth									
		<table border="1" style="margin-left: auto; margin-right: auto;"> <tr> <td style="text-align: center;">37.59</td> <td>Parcel Depth (m)</td> </tr> <tr> <td style="text-align: center;">22.55</td> <td>40% / 60.0% Parcel Depth (m)</td> </tr> <tr> <td style="text-align: center;">5</td> <td>Total Number of Units</td> </tr> <tr> <td style="text-align: center;">3</td> <td>Required Number of Units in Front 60.0%</td> </tr> </table>	37.59	Parcel Depth (m)	22.55	40% / 60.0% Parcel Depth (m)	5	Total Number of Units	3	Required Number of Units in Front 60.0%	3	0
		37.59	Parcel Depth (m)									
22.55	40% / 60.0% Parcel Depth (m)											
5	Total Number of Units											
3	Required Number of Units in Front 60.0%											
(c) where the minimum separation distance of the main residential buildings on the front portion of the parcel and the main residential buildings contained on the rear portion of the parcel is 6.5m	5.03	-1.47										
(3) For a main residential building that is located on a corner parcel there is no maximum building depth where the minimum building setback from the side property line shared with another parcel is 3.0m for any portion of the building located between the rear property line and:	(a) 50.0 per cent parcel depth; or	(b) the building depth of the main residential building on the adjoining parcel;	Side Setback Dimension (m)									
	 Parcel Depth		N/A									
	 C.A.B. Building Depth											
	whichever is closer to the rear property line.											
3.0m Building Side Setback Required beyond												
0.00 m and the rear property line			Subsection (b) Applies									
1390 Floor Area Ratio	The maximum floor area ratio is 1.5.		Floor Area Ratio									
	756.38 Parcel Area (m ²)		1.41	-0.09								
			Gross Floor Area (m²)									
			1068.70	-65.87								
(1) Unless otherwise referenced in subsection (2), the maximum cumulative building coverage over all	756.38 Parcel Area (m ²)		Parcel Coverage (%)									
	5 Number of Units		Area (m²)									
	(a) 45.0% of the area of the parcels subject to a single development permit for a development with a density of less than 40 units per hectare;		 Required Stalls	 	 							
			340.37 Max Coverage	 	 							
	(b) 50.0% of the area of the parcels subject to a single development permit for a development with a density 40 units per hectare or greater and less than 50 units per hectare;		 Required Stalls	 	 							
			378.19 Max Coverage	 	 							
				Parcel Coverage (%)								
				Area (m²)								

1392 Parcel Coverage	the parcels subject to a single development permit containing one or more Dwelling Units is:	(c) 55.0% of the area of the parcels subject to a single development permit for a development with a density of 50 units per hectare or greater and less than 60 units per hectare; or		Parcel Coverage (%)					
				Area (m ²)					
			Required Stalls						
		416.01	Max Coverage						
			(d) 60.0% of the area of the parcels subject to a single development permit for a development with a density of 60 units per hectare or greater.	Garage-102.19	Parcel Coverage (%)				
				BLD 1-198.95	57.45%	-2.55%			
				BLD 2-129.37					
				shed-4	Area (m ²)				
					434.51	-19.32			
	(2) The maximum parcel coverage referenced in subsection (1), must be reduced by 21.0m ² for each motor vehicle parking stall provided on a parcel that is not located in a private garage.				Applies	N/A	N/I		
				Parcel Coverage (%)					
				Area (m ²)					
(3) In all other cases, the maximum parcel coverage is 45.0%				N/A					
1402 Landscaping Requirements	(2) All areas of a parcel, except for those portions specifically required for motor vehicle access, motor vehicle parking stalls, loading stalls, garbage facilities, or any purpose allowed by the Development Authority, must be a landscaped area.			C	N/C	N/A	N/I		
				C	N/C	N/A	N/I		
	(3) All setback areas adjacent to a street, except for those portions specifically required for motor vehicle access, must be a landscaped area.			C	N/C	N/A	N/I		
				C	N/C	N/A	N/I		
	(4) Amenity space provided outdoors at grade must be included in the calculation of a landscaped area.			Applies		N/A	N/I		
				Percentage (%)					
	(6) A minimum of 30.0% of the landscaped area must be covered with soft surfaced landscaping.			29.68%		-0.32%			
				Area (m ²)					
	282.15	landscaped area (m ²)	83.74		-0.91				
(7) All soft surfaced landscaped area must be irrigated by an underground irrigation system, unless otherwise provided by a low water irrigation system.			C	N/C	N/A	N/I			
			Low Water Irrigation Provided						
(8) Mechanical systems or equipment that are located outside of a building must be screened.			no mech shown						
			C	N/C	N/A	N/I			
(4) The requirement for the provision of 1.0 tree is met where:	(a) a deciduous tree has a minimum calliper of 60mm; or			Calliper (mm)					
		7	# Provided	75.00	15.00				
	(b) a coniferous tree has a minimum height of 2.0m			Height (m)					
			# Provided						
(5) The requirement for the provision of 2.0 trees is met	(a) a deciduous tree has a minimum calliper of 85mm; or			Calliper (mm)					
			# Provided						

1404 Planting Requirements	provision of 2.0 trees is met where:	(b) a coniferous tree has a minimum height of 4.0 metres.		Height (m)		
		# Provided				
	(6) The requirement for the provision of 3.0 trees is met where an existing deciduous tree with a calliper greater than 100mm is preserved.			Calliper (mm)		
		# Provided				
	(2) A minimum of 1.0 tree and 3.0 shrubs must be provided for each 110.0m ² of parcel area.			# of Trees		
		7 Required Trees		7	0	
		21 Required Shrubs		# of Shrubs		
				21	0	
(3) Shrubs must be a minimum height or spread of 0.6m at the time of planting.			0.61	0.01		
(7) For landscaped areas with a building below, planting areas must have the following minimum soil depths:	(a) 1.2m for trees;		N/A			
	(b) 0.6m for shrubs; an		N/A			
	(c) 0.3m for all other planting areas.		N/A			
(8) The soil depths referenced in (7) must cover an area equal to the mature spread of the planting material.			Requires review by planner or technician	N/A	N/I	
1399 Building Height	(1) Unless otherwise referenced in subsections (2), the maximum building height is 12.0m measured from grade.		BLD 1	complies	#VALUE!	
			BLD 2	complies	#VALUE!	
	(2) Where a building setback is required from a property line shared with another parcel designated with a low density residential district, H-GO or the M-CG District, the maximum building height:	(a) is the greater of:		BLD 1 east side	C	N/C
		(i) the highest geodetic elevation of a main residential building on the adjoining parcel; or		BLD 2 west		
		(ii) 8.0m from grade;		BLD 2 east		
(b) increases at a 45 degree angle to a maximum of 12.0m measured from grade.		BLD 1 west				
				N/A	N/I	
1400 Solar Collector	(1) A solar collector may only be located on the wall or roof of a building.			Applies	N/A	N/I
	(2) A solar collector mounted on a roof with a pitch of less than 4:12:	(a) may project a maximum of 2.0m from the surface of the roof; and		N/A		
		(b) must be located at least 1.0m from the edge of the roof.			N/A	
	(3) A solar collector mounted on a roof with a	(a) may project a maximum of 1.3m from the surface of the roof; and			N/A	

	mounted on a roof with a pitch of 4:12 or greater:	(b) must not extend beyond the outermost edge of the roof.		C	N/C	N/A	N/I
	(4) A solar collector that is mounted on a wall:	(a) must be located a minimum of 2.4m above grade; and		N/A			
		(b) may project a maximum of 0.6m from the surface of that wall.		N/A			
1401 Accessory Residential Buildings	(1) An Accessory Residential Building:	(a) may have an amenity space in the form of a deck or a patio;		Applies		N/A	N/I
		(b) Unless specified in subsection (4) must not be located in a required setback area; and		C	N/C	N/A	N/I
		(c) must not be located between any building and a public street.		C	N/C	N/A	N/I
	(2) Notwithstanding section 1399, the maximum height for an Accessory Residential Building is:	(a) 4.6m, when measured from grade at any point adjacent to the building; and		4.11		-0.49	
		(b) 3.0m to any eaveline, when measured from the finished floor of the building.		2.79		-0.21	
	(3) Notwithstanding section 1396, for an Accessory Residential Building, unless otherwise referenced in subsection (4), the minimum building setback from a side property line that is not shared with a street is 0.6m			N/A			
(4) Notwithstanding section 1398, an Accessory Residential Building may be located in a setback area from another parcel where:	(a) the Accessory Residential Building is less than 10.0m ² gross floor area; or	Smart board	Applies		N/A	N/I	
	(b) the wall of the Accessory Residential Building is constructed of maintenance-free materials and there is no overhang of eaves onto an adjacent parcel.						
(1) A driveway must not have direct access to a major street unless:	(a) there is no practical alternative method of vehicular access to the parcel; and		C	N/C	N/A	N/I	
	(b) a turning space is provided on the parcel to allow all vehicles exiting to face the major street.		C	N/C	N/A	N/I	
(2) A driveway connecting to a street must:	(a) be a minimum of 6.0m in length, when measured along the intended direction of travel for vehicles from the back of the public sidewalk or curb; and		N/A				
	(b) be a minimum of 3.0m in width.		N/A				

1414 Driveway Length and Parking Areas	(3) A driveway connecting to a lane must:	(a) be a minimum of 0.60m in length, when measured along the intended direction of travel for vehicles; and	South	1.20	0.60										
		(b) be located between the property line shared with a lane and the vehicular entrance of the private garage.		C	N/C	N/A	N/I								
	(4) In the Developed Area a driveway accessing a street must not be constructed, altered or replaced except where:	(a) located on a laneless parcel; (b) located on a laned parcel and 50.0% or more parcels on same block face have an existing driveway accessing a street; or (c) legally existing driveway not being relocated or widened.		Percentage (%)											
				N/A											
				Homes w/ Exst. Driveway											
			Existing Driveway No Changes												
1411 Motor Vehicle Parking Stalls	The minimum number of motor vehicle parking stalls is calculated based on the sum of all units and suites at a rate of 0.5 stalls per unit or suite.	<table border="1"> <tr> <td>10</td> <td>Number of Units</td> </tr> <tr> <td></td> <td>Stalls Within a Private Garage</td> </tr> <tr> <td>5</td> <td></td> </tr> <tr> <td></td> <td>Stalls provided on Parking Pad</td> </tr> <tr> <td>0</td> <td></td> </tr> </table>	10	Number of Units		Stalls Within a Private Garage	5			Stalls provided on Parking Pad	0			5	0
10	Number of Units														
	Stalls Within a Private Garage														
5															
	Stalls provided on Parking Pad														
0															
1412 Mobility Storage	The minimum number of mobility storage lockers is calculated based on the sum of all units and suites at a rate of 0.5 lockers per unit or suite where a unit or suite is not provided a motor vehicle parking stall located in a private garage.	<table border="1"> <tr> <td>5</td> <td>Number of Units</td> </tr> </table>	5	Number of Units		2	-1								
5	Number of Units														
1413 Bicycle Parking Stalls	The minimum number of bicycle parking stalls – class 1 is calculated based on the sum of all units and suites at a rate of 1.0 stall per unit or suite where a unit or suite is not provided a motor vehicle parking stall located in a private garage or mobility storage locker.	<table border="1"> <tr> <td>3</td> <td>Number of Units</td> </tr> </table>	3	Number of Units		2	-1								
3	Number of Units														
13(90.3) Mobility Storage Locker	(a) has a door with a minimum width of 0.9m that has direct access to grade;			0.91	0.01										
	(b) has a minimum length of 2.8m;			2.82	0.02										
	(c) has a minimum width of 1.2m;			1.22	0.02										
	(d) has a minimum height of 1.8m			complies	#VALUE!										
1406 Retaining Walls	(1) A retaining wall must be less than 1.2m in height when measured from the lowest grade at any point adjacent to the retaining wall to the highest grade retained by the retaining wall.			complies	#VALUE!										
	(2) A minimum horizontal separation of 1.0m must be maintained between retaining walls.			N/A											
		(a) 1.2m for that portion of the fence extending beyond the foremost portion of all buildings on		N/A											

1407 Fences	The height of a fence above grade, at any point along a fence line, must not exceed:	the parcel;					
		(b) 2.0m for that portion of the fence that does not extend beyond the foremost portion of all buildings on the parcel; and		2.00	0.00		
		(c) 2.5m to the highest point of a gateway, provided that the gateway does not exceed 2.5m in length.	Height (m)				
			N/A	Gateway Width (m)			
1415 Waste, Recycling and Organics	<p>NOTE: Moloks are considered garbage enclosures; Earthbins, Dumpsters, etc. are NOT. Blue and black carts are an acceptable "garbage enclosure" for buildings with 4 or less units.</p> <p>Reminder: Ensure an area is dedicated to Waste; Recycling AND Organics</p>						
	Garbage, recycling, and organics containers must be stored in a screened location shown on a site plan approved by the Development Authority.		C	N/C	N/A	N/I	
1408 Visibility Setback	Within a corner visibility triangle, buildings, fences, finished grade of a parcel and vegetation must not be located between 0.75 metres and 4.60 metres above the lowest elevation of the street.		C	N/C	N/A	N/I	

						D.P. #	0			
Rule	Requirements					Evaluation				
						Notes		Provided/Variance		
122 Standards for Motor Vehicle Parking Stalls	Table 2: Minimum Dimensions for Motor Vehicle Parking Stalls									
	Parking Angle (degrees)	Aisle width (metres)	Stall depth perpendicular to aisle (metres)	Stall width parallel to aisle (metres)						
				Dwelling Unit	Other Uses					
	90.00	7.20	5.40	2.50	2.60	Applies	Not Applicable			
	75.00	6.12	5.64	2.59	2.69	Applies	Not Applicable			
	60.00	4.82	5.49	2.89	3.00	Applies	Not Applicable			
	45.00	4.00	5.00	3.54	3.68	Applies	Not Applicable			
								Applies	Not Applicable	
	(1.1) The minimum width of a motor vehicle parking stall when it abuts a physical barrier, is:	(a) 3.1m when a physical barrier abuts both sides; and				C	N/C	N/A	N/I	
		(b) 2.85m when a physical barrier abuts only one side.				C	N/C	N/A	N/I	
	(3) The minimum depth of a motor vehicle parking stall is 5.9m where it is required for:	(a) a Backyard Suite, Contextual Semi-detached Dwelling, Secondary Suite, Semi-detached Dwelling or Single Detached Dwelling; and				C	N/C	N/A	N/I	
		(b) a Dwelling Unit where the stall is provided in a private garage intended to be used for the occupants of only one Dwelling Unit.				C	N/C	N/A	N/I	
	(4) The minimum width of a motor vehicle parking stall required for a Dwelling Unit is:	(a) 3.0m where both sides of a stall abut a physical barrier;				C	N/C	N/A	N/I	
		(b) 2.85m where one side of a stall abuts a physical barrier;		2.84		C	N/C	N/A	N/I	
		(c) 2.5m in all other cases.				C	N/C	N/A	N/I	
	(7) The minimum width of a motor vehicle parking stall for Multi-Residential Development, Multi-Residential Development - Minor a Townhouse or a Rowhouse provided for the exclusive use of a Dwelling Unit is reduced to 2.6m where:	(a) the stall is one of two or more motor vehicle parking stalls that are provided in a private garage;				Applies		Not Applicable		
		(b) the motor vehicle parking stalls in the private garage are for the sole use of the occupants of the Dwelling Unit; and				Applies		Not Applicable		
		(c) the motor vehicle parking stalls are only counted towards fulfilling the minimum motor vehicle parking stall requirements for that Dwelling Unit.				Applies		Not Applicable		
(9) The minimum vertical clearance of a motor vehicle parking stall is 2.1m.					C	N/C	N/A	N/I		
(10) Minimum required motor vehicle parking stall dimensions must be clear of all obstructions, other than wheel stops and structural columns.					C	N/C	N/A	N/I		
(11) Where structural columns encroach into a motor vehicle parking stall, such columns:	(a) must not encroach into the width of the motor vehicle parking stall by more than a total of 0.3m;				C	N/C	N/A	N/I		
	(b) must be located within 1.2m of either end of the motor vehicle parking stall; and				C	N/C	N/A	N/I		
	(c) must not encroach into a motor vehicle parking stall within 0.3m of a drive aisle.				C	N/C	N/A	N/I		
(14) Motor vehicle parking stalls must not be provided as tandem parking unless other wise allowed in this Bylaw.					C	N/C	N/A	N/I		

	(15) Motor vehicle parking stalls for a Contextual Semi-detached Dwelling, Contextual Single Detached Dwelling, Duplex Dwelling, Semi-detached Dwelling and Single Detached Dwelling must be:	(a) hard surfaced; and		C	N/C	N/A	N/I
		(b) located wholly on the subject parcel.		C	N/C	N/A	N/I
123 Loading Stalls	(1) A loading stall must be located so that all motor vehicles using the stall can be parked and manoeuvred entirely within the boundary of the site before moving onto a street or a lane.			F/M Discretion		N/A	N/I
	(2) A loading stall must have:	(a) a minimum width of 3.1m;		C	N/C	N/A	N/I
		(b) a minimum depth of 9.2m; and		C	N/C	N/A	N/I
		(c) a minimum height of 4.3m.		C	N/C	N/A	N/I
(3) Minimum loading stall dimensions must be clear of all obstructions, other than wheel stops.			C	N/C	N/A	N/I	

Division 3: Floodway, Flood Fringe and Overland Flow				D.P. #				
Rule	Requirements			Evaluation				
				Provided/Variance				
<div style="border: 1px solid black; padding: 2px;"> ▼ </div>								
59 Flood Fringe and Overland Flow Area Regulations	(1) Only those goods that are easily moveable may be stored on a parcel in the flood fringe or the overland flow area.			F/M Discretion	N/A	N/I		
	(2) Unless stated in subsection (3), all buildings must be set back 6.0m from the edge of the floodway.			complies	#VALUE!			
	(3) Where a parcel was vacant on July 22, 1985, all buildings must be set back the greater of the following distances:	(a) 60.0m from the edge of the Bow River;		N/A				
		(b) 30.0m from the edge of the Elbow River, Nose Creek, West Nose Creek; or		N/A				
			(c) 6.0m from the edge of the floodway.		N/A			
60 Flood Fringe	New Buildings / Buildings Built June 9, 2014 and After							
	(1) All buildings in the flood fringe must be designed in the following manner:	(a) to prevent structural damage by floodwaters;			F/M Discretion	N/A	N/I	
		(b) the first floor of all buildings must be constructed at or above the designated flood level; and		at flood level	C	N/C	N/A	N/I
		(c) all electrical and mechanical equipment within a building must be located at or above the designated flood level; and			C	N/C	N/A	N/I
		(d) a sewer back up valve must be installed in every building.			C	N/C	N/A	N/I
	Additions to Buildings Existing Prior June 9, 2014							
				Percentage (%)				
				Area (m ²)				
	Original Gross Floor Area of Building (m ²)							
	(2) The rules regarding building design referenced in subsection (1) do not apply to:	(a) an addition that does not increase the gross floor area of the building by more than 10.0% of the gross floor area legally existing as of June 09, 2014; and		(b) a fence, gate, deck, landing, patio, air conditioning unit, satellite dish, hot tub, above ground private swimming pool, and an Accessory Residential Building.	Applies		Not Applicable	
		(3) Notwithstanding subsection (1) and (2), in addition to the conditions listed in section 38, additions to buildings that increase the gross floor area of the building by more than 10.0% but less than 75.0% of the gross floor area legally existing as of June 09, 2014 must:	(a) provide electrical isolation for the entire building through the placement of the master switch above the designated flood level; and,		C	N/C	N/A	N/I
			(b) must have a sewer back up valve installed in every building.		C	N/C	N/A	N/I
		(4) Notwithstanding subsection (1), (2), and 3, in addition to the conditions listed in section 38, additions to buildings that increase the gross floor area of the building by at least 75.0% of the gross floor area legally existing as of June 09, 2014 must:	(a) fully mitigate as per subsection (1).			See Subsection 1 (Above)		Not Applicable

FILE: DP 2024-07430

DATE RECEIVED: October 18, 2024

Bylaw Discrepancies		
Regulation	Standard	Provided
1395 Building Setback from Front Property Line	The minimum building setback from a front property line is 3.0m	Plans indicate a north setback of 2.97m (-0.03m).
1398 Projections Into Setback Area	(1) Unless otherwise referenced in subsections (2) through (9), a building or air conditioning units must not be located in any setback area.	Plans indicate portions of building in the north setback area.
1402 Landscaping Requirements	(3) All setback areas adjacent to a street, except for those portions specifically required for motor vehicle access, must be a landscaped area.	Plans indicate portions of building in the north setback area.
1399 Building Height	(2) Where a building setback is required from a property line shared with another parcel designated with a low density residential district, H-GO or the M-CG District, the maximum building height: (a) is the greater of: (ii) 8.0m from grade;	Plans indicate portions of building 1 and 2 are above the height chamfer cut from both the east and west side property lines.
60 Flood Fringe	(1) All buildings in the flood fringe must be designed in the following manner: (d) a sewer back up valve must be installed in every building.	Plans do not indicate.

FILE: DP 2024-07430

DATE RECEIVED: January 29, 2025

Bylaw Discrepancies		
Regulation	Standard	Provided
None Noted.		

FILE: DP 2025-07430

DATE RECEIVED: May 6, 2025

Bylaw Discrepancies		
Regulation	Standard	Provided
1410 Balconies	(2) Where a balcony is located on the roof of the first or second storey and does not overhang any façade of the storey below the maximum area is equal to 50.0% of the horizontal cross section of the storey below.	Plans indicate an area of 87.02% (+37.02%), or 88.93m ² (+37.84m ²).
1393 Building Depth and Separation	(1) Unless otherwise referenced in subsections (2) and (3) the maximum building depth is 65.0% of the parcel depth for a building containing a unit.	Plans indicate a building depth of 28.03m (+3.6m), or 74.57% (+9.57%) of the parcel depth, where the conditions of (2) have not been met.
	(2) On a laned parcel, there is no maximum building depth for a main residential building wholly contained to the rear of 40.0% parcel depth where: (c) where the minimum separation distance of the main residential buildings on the front portion of the parcel and the main residential buildings contained on the rear portion of the parcel is 6.5m	Plans indicate a separation distance of 5.03m (-1.47m).
1402 Landscaping Requirements	(6) A minimum of 30.0% of the landscaped area must be covered with soft surfaced landscaping.	Plans indicate of the provided landscaping 29.68% (-0.32%), or 83.74m ² (-0.91m) is soft surface landscaping.
1412 Mobility Storage	The minimum number of mobility storage lockers is calculated based on the sum of all units and suites at a rate of 0.5 lockers per unit or suite where a unit or suite is not provided a motor vehicle parking stall located in a private garage.	Plans indicate 2 (-1) mobility storage lockers.
1413 Bicycle Parking Stalls	The minimum number of bicycle parking stalls – class 1 is calculated based on the sum of all units and suites at a rate of 1.0 stall per unit or suite where a unit or suite is not provided a motor vehicle parking stall located in a private garage or mobility storage locker.	Plans indicate 2 (-1) bicycle parking stalls – class 1.

122 Standards for Motor Vehicle Parking Stalls	(4) The minimum width of a motor vehicle parking stall required for a Dwelling Unit is: (b) 2.85m where one side of a stall abuts a physical barrier;	Plans indicate 2 stalls with a width of 2.84m (-0.01m), where one side abuts a physical barrier.
--	---	--

Samnick, Cyrille

From: Leung, Wallace C.
Sent: Tuesday, January 28, 2025 11:21 AM
To: 'Travis Trieu'
Subject: RE: 322-24 - Frank Cerato - 1509 & 1511 8 Ave SE 5+5 - DP2024-07430

I can grant a minor extensions on the amended plans too if required, please let me know,

Regards,
Wallace

From: Leung, Wallace C.
Sent: Tuesday, January 28, 2025 11:19 AM
To: Travis Trieu [REDACTED] a>
Subject: RE: 322-24 - Frank Cerato - 1509 & 1511 8 Ave SE 5+5 - DP2024-07430

Thanks again Travis for the call. Please add the rationales, additional renderings, and highlight all the changes on the amended plan for planning, utility and mobility engineering's review. Also, where possible please amend the plans to address the PTR as well. If not, please provide a note to indicate that it will be addressed at PTR stage.

Regards,

Wallace Leung
Senior Planner, South Area
Community Planning
Planning and Development
The City of Calgary
T 403-200-8575 E wallace.leung@calgary.ca
ISC: Protected

From: Travis Trieu [REDACTED] a>
Sent: Tuesday, January 28, 2025 9:58 AM
To: Leung, Wallace C. <Wallace.Leung@calgary.ca>
Subject: [External] Re: 322-24 - Frank Cerato - 1509 & 1511 8 Ave SE 5+5 - DP2024-07430

This Message Is From an External Sender

This message came from outside your organization.

ATTENTION: Do not click links or open attachments from external senders unless you are certain it is safe to do so. Please forward suspicious/concerning email to spam@calgary.ca

Sounds good.
You can reach me at 403-617-8720
-Travis

169

From: Leung, Wallace C. <Wallace.Leung@calgary.ca>

Sent: Tuesday, January 28, 2025 9:30 AM

To: Travis Trieu <[REDACTED]>

Cc: John Trinh <[\[REDACTED\]@calgary.ca](mailto:[REDACTED]@calgary.ca)>; Lei Wang <[REDACTED]>; Anneliese Sirju <[REDACTED]>

Subject: RE: 322-24 - Frank Cerato - 1509 & 1511 8 Ave SE 5+5 - DP2024-07430

Hi Travis,

Thanks so much for the information and explanation. Due to medical reason, I was away yesterday.

Based on my preliminary review, most of your DR response looks good. I can circulate the amended plans package to my team this week. However, I just have a few questions that needed some clarification.

Are you available for a call this morning at 11am?

Regards,

Wallace Leung

Senior Planner, South Area

Community Planning

Planning and Development

The City of Calgary

T 403-200-8575 E wallace.leung@calgary.ca

ISC: Protected

From: Travis Trieu <[REDACTED]>
Sent: Monday, January 27, 2025 9:20 AM
To: Leung, Wallace C. <Wallace.Leung@calgary.ca>
Cc: john [REDACTED] >
Subject: [External] Re: 322-24 - Frank Cerato - 1509 & 1511 8 Ave SE 5+5 - DP2024-07430

This Message Is From an External Sender

This message came from outside your organization.

ATTENTION: Do not click links or open attachments from external senders unless you are certain it is safe to do so. Please forward suspicious/concerning email to spam@calgary.ca

Hi Wallace,

I am sending you updated plans to include EV charging in the garage.

I have added a note on the title block explaining the solar ready garage roof as well.

We have also planted new landscaping as per the landscape plan.

I have responded to the comments from the community in the DTR.

We have a balcony coming off the rear units that take advantage of the view of the park.

Is there anything else you would like to see before we can get this DTR circulated?

-Travis

171

From: Travis Trieu <[REDACTED]>
Sent: Thursday, January 23, 2025 2:10 PM
To: Leung, Wallace C. <Wallace.Leung@calgary.ca>
Cc: John Trinh <[REDACTED]>
Subject: Re: 322-24 - Frank Cerato - 1509 & 1511 8 Ave SE 5+5 - DP2024-07430

Hi Wallace,

Just inquiring about the status of this DP?

-Travis

From: Travis Trieu <[tr\[REDACTED\]a](mailto:tr[REDACTED]a)>
Sent: Tuesday, January 14, 2025 9:22 AM
To: Leung, Wallace C. <Wallace.Leung@calgary.ca>
Cc: John Trinh <[REDACTED]>
[REDACTED] 24 - Frank Cerato - 1509 & 1511 8 Ave SE 5+5 - DP2024-07430

Hi Wallace,

I am sending you updated plans to include EV charging in the garage.

I have added a note on the title block explaining the solar ready garage roof as well.

We have also planted new landscaping as per the landscape plan.

I have responded to the comments from the community in the DTR.

We have a balcony coming off the rear units that take advantage of the view of the park.

Is there anything else you would like to see before we can get this DTR circulated?

-Travis

From: Leung, Wallace C. <Wallace.Leung@calgary.ca>
Sent: Tuesday, January 7, 2025 7:07 PM
To: Travis Trieu <[REDACTED]>
Cc: John Trinh <[REDACTED]>; Lei Wang <[REDACTED]>
Subject: RE: 322-24 - Frank Cerato - 1509 & 1511 8 Ave SE 5+5 - DP2024-07430

Hi Travis,

Thanks for your email. Lei Wang indicated in the land use applicant submission (LOC204-0223) the project will seek LEED Gold Certificate and measures like preserving existing mature trees, planting new landscaping, encouraging green roofs and walls, permeable pavement, EV charging and solar roof panels will be explored to improve project's climate resilience.

The latest plans (DP2024-07430) do not include green roof, permeable pavement, EV charging, solar roof panels. Most of the pavement are concrete walkway and are not permeable. Can you please amend plans and provide more clarity if your team has explore the feasibility for these climate resilience at the DP stage?

Also it would be good to demonstrate how the DP addresses some of the concerns/comments from the community and local councillor where feasible. I appreciate your response regarding laneway housing, but there may be other modest opportunities to enhance the rear building interface backing onto Mills Park. Did you explore the opportunity to provide opened balcony or other design elements? Can you please amend plans and provide more clarity if your team has explore the feasibility for these climate resilience at the DP stage?

It would be helpful to have this information as we are preparing the land use amendment application for CPC and Council. If these cannot be provided at the DP stage, can you provide some rationales and provide more specific details on why these cannot be achieved?

Regards,

Wallace Leung

Senior Planner, South Area

Community Planning

Planning and Development

The City of Calgary

T 403-200-8575 E wallace.leung@calgary.ca

ISC: Protected

From: Travis Trieu <[REDACTED]>
Sent: Friday, January 3, 2025 11:31 AM
To: Leung, Wallace C. <Wallace.Leung@calgary.ca>
Cc: john <[REDACTED]>; Tian Yu <[REDACTED]>; Santiago Paez Gil <[REDACTED]>; Will Nguyen <[REDACTED]>
Subject: [External] 322-24 - Frank Cerato - 1509 & 1511 8 Ave SE 5+5 - DP2024-07430

This Message Is From an External Sender

This message came from outside your organization.

ATTENTION: Do not click links or open attachments from external senders unless you are certain it is safe to do so. Please forward suspicious/concerning email to spam@calgary.ca

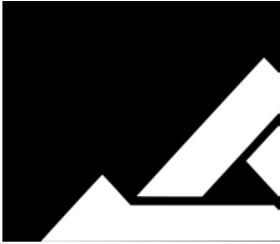
Hello Wallace,

Here is the DTR response for the DP2024-07430.

Let me know if you have any questions.

Good day,

Travis



Email: [REDACTED]

Phone: [REDACTED]

Web: www.johntrinh.ca

Office: 222 - 17 Ave SE

Calgary, AB T2G 1H4

Your Referrals Are Greatly Appreciated!

NOTICE -

This communication is intended ONLY for the use of the person or entity named above and may contain information that is confidential or legally privileged. If you are not the intended recipient named above or a person responsible for delivering messages or communications to the intended recipient, YOU ARE HEREBY NOTIFIED that any use, distribution, or copying of this communication or any of the information contained in it is strictly prohibited. If you have received this communication in error, please notify us immediately by telephone and then destroy or delete this communication, or return it to us by mail if requested by us. The City of Calgary thanks you for your attention and co-operation.



Re: DP2024-07430 COMPLETENESS REVIEW - 1511 8 AV SE

Dear Applicant,

I am the file manager who will be leading the review of your development permit application.

A review of your application has been undertaken and it has been determined that your application is a complete application. A comprehensive review is now underwa

For more information about the development permit process please visit www.calgary.ca/dpprocess.

Please track your application, using your Job Access Code (JAC) DP2024-07430-60793, at www.calgary.ca/vista.

Should you have any questions or concerns, please contact me at your convenience.

Regards,

WALLACE LEUNG
Senior Planner
Wallace.Leung@calgary.ca
403-200-8575
www.calgary.ca/PDMap

DP2024-07430

October 31, 2024

File: YYC 2498

The City of Calgary
Development & Building Approvals #8201
P.O. Box 2100 Station "M"
Calgary, Alberta, T2P 2M5

Attention: Wallace Leung
Development Permit DP2024-07430
1511 8 AV SE, New: Dwelling Unit (2 buildings), Accessory Residential Building (garage)

Dear Wallace Leung:

The purpose of this letter is to reply to your request of October 31, 2024, to review the Development Permit DP2024-07430 with respect to the proposed development to 1511 8 AV SE, New: Dwelling Unit (2 buildings), Accessory Residential Building (garage). Please be advised that the Calgary Airport Authority has the following comments:

Calgary International Airport Vicinity Protection Area (AVPA) Regulation

The proposed development is located within the 25-30 NEF (Noise Exposure Forecast) contours. Multi-Residential/ Residential- All Types are not considered prohibited uses within this area, however the City and Owner are responsible for ensuring uses are compatible with the AVPA. All buildings constructed on land in the Protection Area must comply with the acoustical requirements set out in the Alberta Building Code.

Building Height and Use of Cranes

The highest point above sea level of any building, structure or object is to be used when calculating the final height of the development. This includes parapets, rooftop equipment, antennas, and all other objects. The applicant must ensure there is adequate room for all objects to ensure conformity with the Calgary International Airport Zoning Regulations. It is also important to note that use of construction equipment such as cranes may also have an impact on Airport Zoning and cannot violate the regulations during the construction of these buildings. If the use of such equipment is required, please see the Calgary Airport Authority Crane Assessment section below.

Calgary International Airport Zoning Regulations

The proposed development is located within the **Runway 17R-35L Approach Surface** as defined in the Calgary International Airport Zoning Regulations and is therefore subject to regulated height restrictions. The maximum height for any structure in this area is 1219m above sea level.

The applicant must contact Transport Canada directly for a thorough review and determination of any restrictions on their proposal, for both the building and cranes that may be used during construction.

Transport Canada

Aerodrome Safety, Air Navigation and Airspace
Prairie and Northern Region
Email: casprn-sacrpn@tc.gc.ca
Website: <http://www.tc.gc.ca>

Calgary Airport Authority Crane Assessment

Prior to any construction involving large construction equipment such as cranes within the defined Calgary International Airport Zoning Regulation, you must have an approved YYC Crane Permit.

To initiate the YYC Crane Assessment process, you must complete and submit the required forms and assessments required by Nav Canada and Transport Canada. The response letters from these agencies are

DP2024-07430

an important part of the YYC Crane Assessment as they demonstrate that your project aligns with the Aviation Safety Standards. Applications assume full responsibility for providing accurate information regarding site location, ground elevation (above sea level), coordinate information and photographs. For more information about the YYC Crane Assessment please visit [Calgary Airport Authority Crane Assessment](#).

Bird Hazard Considerations

Incompatible land uses that attract bird activity by providing food sources or water must be avoided or mitigated. Calgary Airport Authority strongly discourages any fruit bearing trees and shrubs due to bird strike risk to Aviation Safety and proximity to the airport. For further information on mitigation measures please contact the Calgary Airport Authority Environmental Group at 403.735.1499.

Land Use in the Vicinity of Airports

As this development is occurring outside of the Calgary International Airport property boundary, the proposed development should ensure compatibility to the land use recommendations and guidelines as set out in *TP1247 – Land Use in the Vicinity of Airports*.

I trust that the above comments will be of use to you in your review of this proposal. Any questions should be directed to referrals@yyc.com.

Regards,



Maryam Shehzad
Development Services Co-op Student

Cc: Gord Falk, Calgary Airport Authority
Ola Pajak, Calgary Airport Authority





ENMAX Power Corporation
141 – 50 Avenue SE
Calgary, AB T2G 4S7
Tel (403) 514-3000
enmax.com

2025-02-24

File No: DP2024-07430 Recirculation

Location: 1511 8 AV SE

ENMAX Power Corporation (EPC) has reviewed the above permit application dated 2025-02-12 and based on the information provided and as of the above noted date the proposed development does not conflict with ENMAX facilities in respect of the requirements set forth in 10-002 Overhead System (Table 7) and 12-002 Underground Systems of the Alberta Electrical Utility Code (AEUC) under the *Safety Codes Act* (Alberta). This non-conflict letter does not reduce or limit responsibility to comply with all laws and regulations regarding utility facilities and all requirements under the *Alberta Occupational Health & Safety Act* (OHS) (*including any code or regulations thereunder*)(OHS) and the applicant shall observe all such laws and regulations when commencing any work related to the permit application. If a situation arises where there is a discrepancy between ENMAX required setbacks and the AEUC or the OHS, the stricter set of requirements shall govern. Please refer to ENMAX Ground Disturbance Guidelines while working near ENMAX Facilities.

Pursuant to Section 225(1) of Part 17 of the *OHS Code*, anyone working near overhead powerlines must maintain safe limits of approach as provided in Schedule 4, Table 1 of the *OHS Code* or Table 1 in the AEUC. Anyone excavating must contact Utilities Safety Partners for locations of all buried facilities. All contractors, prime or sub (excavating company) must contact hotdigs@enmax.com to obtain a permission letter prior to disturbing the ground within 2 metres of any ENMAX underground facility. As a condition of this no-conflict letter, and despite any existence of a permit, the applicant must contact EPC Lineinspection@enmax.com or call (403) 514-3117 prior to the commencement of any construction where any workers or equipment will be within 7.0m of existing overhead EPC facilities. If EPC is contacted in accordance with the above, no construction work shall be commenced thereafter unless and until EPC determines the minimum safe limit of approach distance in relation to the overhead facilities present at the project site.

****NOTE:** This letter provided by ENMAX Power Corporation is intended for information purposes only and is not in any manner intended to nor shall be construed to derogate from applicant's obligations to follow any applicable law. The provision of this no-conflict letter is not a representation that work will meet any legislative or regulatory obligations. This no-conflict letter is provided as of the date first note above – the applicant is still required to perform their own due diligence prior to any development activities and resolve any conflicts (new or existing) at the Developer's sole expense. ENMAX expressly disclaims any liability related to applicant's responsibility to comply with such laws and regulations and ENMAX's required setbacks.

If you require any additional information regarding this Development Permit, please contact the Project Administrator at EPC_Permits@enmax.com. **For new services inquiries, please contact ENMAX GetConnected at GetConnected@enmax.com.**

Sincerely,

Marcelo Singson P.Eng
Distribution Engineering

QR Code for ENMAX Ground
Disturbance Guidelines





ENMAX Power Corporation
 141 – 50 Avenue SE
 Calgary, AB T2G 4S7
 Tel (403) 514-3000
 enmax.com

2024-11-14

File No: DP2024-07430

Location: 1511 8 AV SE

ENMAX Power Corporation (EPC) has reviewed the above permit application dated 2024-10-31 and based on the information provided and as of the above noted date the proposed development does not conflict with ENMAX facilities in respect of the requirements set forth in 10-002 Overhead System (Table 7) and 12-002 Underground Systems of the Alberta Electrical Utility Code (AEUC) under the *Safety Codes Act* (Alberta). This non-conflict letter does not reduce or limit responsibility to comply with all laws and regulations regarding utility facilities and all requirements under the *Alberta Occupational Health & Safety Act* (OHS) (including any code or regulations thereunder)(OHS) and the applicant shall observe all such laws and regulations when commencing any work related to the permit application. If a situation arises where there is a discrepancy between ENMAX required setbacks and the AEUC or the OHS, the stricter set of requirements shall govern. Please refer to ENMAX Ground Disturbance Guidelines while working near ENMAX Facilities.

Pursuant to Section 225(1) of Part 17 of the *OHS Code*, anyone working near overhead powerlines must maintain safe limits of approach as provided in Schedule 4, Table 1 of the *OHS Code* or Table 1 in the AEUC. Anyone excavating must contact Utilities Safety Partners for locations of all buried facilities. All contractors, prime or sub (excavating company) must contact hotdigs@enmax.com to obtain a permission letter prior to disturbing the ground within 2 metres of any ENMAX underground facility. As a condition of this no-conflict letter, and despite any existence of a permit, the applicant must contact EPC Lineinspection@enmax.com or call (403) 514-3117 prior to the commencement of any construction where any workers or equipment will be within 7.0m of existing overhead EPC facilities. If EPC is contacted in accordance with the above, no construction work shall be commenced thereafter unless and until EPC determines the minimum safe limit of approach distance in relation to the overhead facilities present at the project site.

****NOTE:** This letter provided by ENMAX Power Corporation is intended for information purposes only and is not in any manner intended to nor shall be construed to derogate from applicant's obligations to follow any applicable law. The provision of this no-conflict letter is not a representation that work will meet any legislative or regulatory obligations. This no-conflict letter is provided as of the date first note above – the applicant is still required to perform their own due diligence prior to any development activities and resolve any conflicts (new or existing) at the Developer's sole expense. ENMAX expressly disclaims any liability related to applicant's responsibility to comply with such laws and regulations and ENMAX's required setbacks.

If you require any additional information regarding this Development Permit, please contact the Project Administrator at EPC_Permits@enmax.com. **For new services inquiries, please contact ENMAX GetConnected at GetConnected@enmax.com.**

Sincerely,

Will Du P.Eng
 Distribution Engineering

QR Code for ENMAX Ground
 Disturbance Guidelines





Serving a world in motion
 Au service d'un
 monde en mouvement
 navcanada.ca

November 4, 2024

Your file
 DP2024-07430 (1511 8 AV SE)
 Our file
 24-4170

Circulation Controller
 City of Calgary

Calgary, AB

RE: Building(s): Residential - Calgary, AB
(N51° 2' 21.91" W114° 1' 39.82" / 39.3700' AGL / 3449.0485' AMSL)

Dear Circulation Controller,

NAV CANADA has evaluated the captioned proposal and has no objection to the project as submitted.

The subject proposal data have been distributed to External Design Organizations (EDOs) for their assessment of possible effects on procedures they maintain. They will contact you directly if any concerns arise during their evaluation. If you have any questions or concerns pertaining to their assessment, please contact the EDO directly.

NAV CANADA does not require notification of construction; however, if you should decide not to proceed with this project, please advise us accordingly so that we may formally close the file. If you have any questions, contact Stakeholder and Commercial Relations by email at commercialrelations@navcanada.ca.

NAV CANADA's land use evaluation is based on information known as of the date of this letter and is valid for a period of 18 months, subject to any legislative changes impacting land use submissions. Our assessment is limited to the impact of the proposed physical structure on the air navigation system and installations; it neither constitutes nor replaces any approvals or permits required by Transport Canada, other Federal Government departments, Provincial or Municipal land use authorities or any other agency from which approval is required. Innovation, Science and Economic Development Canada addresses any spectrum management issues that may arise from your proposal and consults with NAV CANADA Engineering as deemed necessary.

This document contains information proprietary to NAV CANADA. Any disclosure or use of this information or any reproduction of this document for other than the specific purpose for which it is intended is expressly prohibited except as NAV CANADA may otherwise agree in writing.

Regards,

Stakeholder & Commercial Relations
NAV CANADA

cc NOPR - Northern and Prairie Region, Transport Canada
 CYYC - YYC CALGARY INTL
 CEL2 - CALGARY (CITY/BOW RIVER)(HELI)
 CEM2 - CALGARY (ROCKYVIEW HOSPITAL)(HELI)
 CLC3 - CALGARY (PETER LOUGHEED CENTRE)(HELI)
 CMT3 - CALGARY (FOOTHILLS HOSP MCCAIG TOWER)(HELI)
 Air Navigation Data
 C. Cormier
 JetPro

Samnick, Cyrille

From: Commercial Relations <CommercialRelations@navcanada.ca>
Sent: Monday, November 4, 2024 7:30 AM
To: DP Circ
Cc: Leung, Wallace C.; caspnr-sacrp; Marina Bouchie, CYYC - Calgary Airport Authority; Wade Hoffer; Tyrel Oostalander, Calgary Airport Authority - CYYC; Lauchlan Hay,; Brett Farrell, Calgary Airport; Operations , Calgary Airport Authority - CYYC; Laura Sturtevant; Hayes, Paul; Shannon Olmstead, Calgary Airport Authority - CYYC; Stefan Kutac, Calgary Airport Authority - CYYC; YYC MOA; Karen McGovern; Ola Pajak, Calgary Airport Authority - CYYC; ePermits Traffic; Steve Winter, Rockyview General Hospital (CEM2; Dan Ballantine, Peter Lougheed Heliport - CLC3; Steve Winter, Peter Lougheed Centre (Calgary) (CLC3) Filed; Ron German, RGHeliseservices; Bronwen Ainsworth, Air Navigation Data; chascorm; David Scott
Subject: [External] 24-4170: Residential (DP2024-07430 (1511 8 AV SE)) - Calgary, AB
Attachments: 24-4170 Letter to proponent.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

This Message Is From an External Sender

This message came from outside your organization.

ATTENTION: Do not click links or open attachments from external senders unless you are certain it is safe to do so. Please forward suspicious/concerning email to spam@calgary.ca

Hello Circulation Control,

Please find attached a letter from NAV CANADA regarding your residential (DP2024-07430 (1511 8 AV SE)) submitted by Wallace Leung on 2024-10-31.

If you have any questions, please don't hesitate to contact me.

The subject proposal data have been distributed to External Design Organizations (EDOs) for their assessment of possible effects on procedures they maintain.

They will contact you directly if any concerns arise during their evaluation. If you have any questions or concerns pertaining to their assessment, please contact the EDO directly.

NAV CANADA's land use evaluation is based on information known as of the date of this letter and is valid for a period of 18 months, subject to any legislative changes impacting land use submissions. Our assessment is limited to the impact of the proposed physical structure on the air navigation system and installations; it neither constitutes nor replaces any approvals or permits required by Transport Canada, other Federal Government departments, Provincial or Municipal land use authorities or any other agency from which approval is required. Innovation, Science and Economic Development Canada addresses any spectrum management issues that may arise from your proposal and consults with NAV CANADA Engineering as deemed necessary.

Regards,

Aleksandar Trandafilovski

Commercial Relations Coordinator / Coordonnateur des relations commerciales
Stakeholder & Commercial Relations NAV CANADA

Personal: [REDACTED]
Group: Commercialrelations@navcanada.ca
77 Metcalfe Street, Ottawa, ON K1P 5L6
C. [REDACTED]
www.navcanada.ca



This electronic message, as well as any transmitted files included in the electronic message, may contain sensitive information, including privileged or confidential information, and is intended solely for the use of the individual(s) or entity to which it is addressed. If you have received this electronic message in error, please notify the sender immediately and delete the electronic message. Any unauthorized use, copying, disclosure or distribution is strictly forbidden. NAV CANADA accepts no liability for any damage caused by any virus and/or other malicious code transmitted by this electronic communication.

Le présent message électronique, et tout fichier qui peut y être joint, peut contenir de l'information sensible, y compris des renseignements privilégiés ou confidentiels, destinée à l'usage exclusif des personnes ou des organismes à qui il s'adresse. Si vous avez reçu ce message électronique par erreur, veuillez en informer l'expéditrice ou l'expéditeur immédiatement et le supprimer. Toute utilisation, reproduction, divulgation ou distribution non autorisée de son contenu est strictement interdite. NAV CANADA n'assume aucune responsabilité en cas de dommage causé par tout virus ou autre programme malveillant transmis par ce message électronique.

Samnick, Cyrille

From: PNR Civ Av Services / Services Av Civ RPN <CASPNR-SACRPN@tc.gc.ca>
Sent: Thursday, October 31, 2024 11:20 AM
To: DP Circ
Subject: [External] RE: [External/Externe]: Electronic Submission for DP2024-07430 - 1511 8 AV SE

Follow Up Flag: Follow up
Flag Status: Flagged

This Message Is From an External Sender

This message came from outside your organization.

ATTENTION: Do not click links or open attachments from external senders unless you are certain it is safe to do so. Please forward suspicious/concerning email to spam@calgary.ca

UNCLASSIFIED / NON CLASSIFIÉ

Transport Canada does not issue any comments, approvals, or letters of non-opposition with respect to development plans, construction permits or proposed projects on private property unless there is an Aeronautical Assessment Form (AAF) submitted. The AAF in and of itself does not constitute an approval or permission but merely identifies whether an object/structure meets the criteria of an obstacle to air navigation and the regulatory requirement to mark/light that object should it meet those criteria.

Where the object/structure lies within the Airport Zoning Regulation (AZR) for an airport (can be found on the Land Title) the burden is upon the developer/builder to adhere to the limitations for height and type of development that may be contained in the AZR and pertinent on that parcel of land.

It would be wise to consult with the “owner” of that AZR – the airport - which it is designed to protect as they have intimate familiarity with it and the surrounding area with respect to affects upon its AZR.

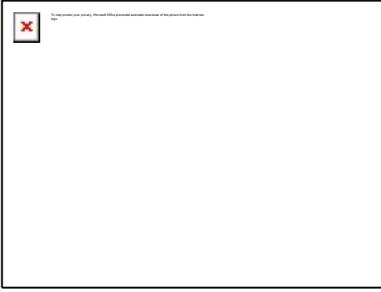
Here is a link to the application form the second page gives further guidance if an application form is required and to the Standards 621 for marking and lighting a structure. [Air navigation obstacle marking and lighting \(canada.ca\)](https://www.canada.ca/en/transport-canada/services/aviation-safety/aeronautical-assessment-form/air-navigation-obstacle-marking-and-lighting)

Transport Canada requires the finalized site layout that has been determined, only for the proponent who has received the approval from the Alberta Utilities Commission to construct to submit the Aeronautical Assessment form.

Corey Mills
Operational Support, Edmonton Operations Division
Transport Canada / Government of Canada

Commis Operationnel, Division Operationnel d’Edmonton
Transports Canada / Gouvernement du Canada

From: DP.circ@calgary.ca <DP.circ@calgary.ca>
Sent: Thursday, October 31, 2024 9:13 AM
To: DP.circ@calgary.ca
Cc: Wallace.Leung@calgary.ca
Subject: [External/Externe]: Electronic Submission for DP2024-07430 - 1511 8 AV SE



A **Development Permit** application has been submitted for **New: Dwelling Unit (2 buildings), Accessory Residential Building (garage)** to The City of Calgary. Please find the circulation package containing the application details, attached.

Councillor's Offices, please note that this circulation has been provided for your information only.

For all other circulation referees,

We kindly ask that you submit your comments through the [Development Map](#). Comments for DP2024-07430 are **due by November 21, 2024**, except when Council Approved Policy, such as Intermunicipal Development Plans, allows for alternate commenting timelines. If the application is for a Permitted use and you are unable to comment through the Development Map, please send comments to the Circulation Team at DP.circ@calgary.ca.

Submitting comments through the Development Map helps streamline the application process.

Sincerely,

The Circulation Team
DP.circ@calgary.ca

NOTICE -

This communication is intended ONLY for the use of the person or entity named above and may contain information that is confidential or legally privileged. If you are not the intended recipient named above or a person responsible for delivering messages or communications to the intended recipient, YOU ARE HEREBY NOTIFIED that any use, distribution, or copying of this communication or any of the information contained in it is strictly prohibited. If you have received this communication in error, please notify us immediately by telephone and then destroy or delete this communication, or return it to us by mail if requested by us. The City of Calgary thanks you for your attention and co-operation.

INGELWOOD COMMUNITY ASSOCIATION

1740 24TH AVE SE

CALGARY, ALBERTA

T2G 1P9

19 February 2025

Calgary Development Authority
Per developmentmap.ca
Development and Building Approvals

Dear Wallace Leung:

Re: DP2024-07430

The Inglewood Planning Committee has reviewed the application regarding the Development Permit DP2024-07430 and hereby submit our objections to this permit. Both the Municipal Development Plan (MDP) and the Inglewood Area Redevelopment Plan (IARP) direct densification as to be compatible and sensitive to the community in mid-block in low-density areas. The relevant policies are:

MDP Policy.

Section 2.2.5, Strong Residential Neighbourhoods, encourages growth and change that is similar in scale and built form.

Section 2.3.2a, Respecting and Enhancing Neighbourhood Character, requires that development respect the existing character of low-density residential areas.

Section 2.3.2b, ensures that there is an appropriate transition in development intensity, uses and built forms between low-density areas and more intensive multi-residential areas.

Section 2.3.2c, ensures that new development complements the established character of the area and does not create dramatic contrasts in the physical development pattern.

ARP Policy.

Section 2.3.2 States the new development should respect the surrounding housing and contribute to an attractive streetscape.

Section 2.3.6. Talks about increasing density intensity up to 30 units/acre (74 units/ha) at sites “not surrounded by existing development”. This application far exceeds that limit at 144 units/ha.

Section 2.4.6. Addresses redesignation conditions deemed inappropriate where new development is completely surrounded by lower density housing.

The Inglewood Community Association submits that DP2024-07430 does not take into consideration any of these policies. The “proposed development does not complement the established character of the area and creates a dramatic contrast in physical development patterns to what is found in the area.”¹ Further the “intensification of the proposed mid-block

development compared with the neighbourhood is insensitive to the surrounding area; noncompliant with section 2.2.5 of the MDP”¹ and multiple sections of the ARP. As to the density of the project it has been ruled that although development meets the requirements under a Land Use District that a proposed development can be “just too large for the parcel and is not sensitive to and is not compatible with the existing housing on the block”¹

Further concerns on this number of dwellings in close proximity to the Little Treasures Daycare and the Mills Park and its playground present an increased risk of safety to children in the area. We ask that the Development Authority consider the multiple uses adjacent to the development and the safety implications of traffic entering and exiting the parking spots.

Lastly, we are concerned with the increased density combined with the lower parking ratio of this increased density and the effect it will have on the daily lives of current and future residents. The cumulative affects already approved projects like the Stewart Livery Stables, 806 14 St SE will present challenges that we do not feel have been addressed.

If you have any questions, you can reach me at design@icacalgary.com

Yours truly,

INGLEWOOD COMMUNITY ASSOCIATION
Planning Committee
Glen Kerr, Planning Chair.

1. SDAB2024-0060(Re), 2024 CGYSDAB 60 (CanLII)



FLOOR AREA - UNIT #1	FLOOR AREA - UNIT #2	FLOOR AREA - UNIT #3
BASEMENT (SUITE) - 709.33 SQ. FT.	BASEMENT (SUITE) - 709.33 SQ. FT.	BASEMENT (SUITE) - 709.33 SQ. FT.
MAIN - 709.33 SQ. FT.	MAIN - 709.33 SQ. FT.	MAIN - 709.33 SQ. FT.
UPPER - 709.33 SQ. FT.	UPPER - 709.33 SQ. FT.	UPPER - 709.33 SQ. FT.
LOFT - 616.00 SQ. FT.	LOFT - 616.00 SQ. FT.	LOFT - 616.00 SQ. FT.
TOTAL - 2654.66 SQ. FT.	TOTAL - 2654.66 SQ. FT.	TOTAL - 2654.66 SQ. FT.

FLOOR AREA - UNIT #4	FLOOR AREA - UNIT #5
BASEMENT (SUITE) - 700.00 SQ. FT.	BASEMENT (SUITE) - 700.00 SQ. FT.
MAIN - 693.00 SQ. FT.	MAIN - 693.00 SQ. FT.
UPPER - 700.00 SQ. FT.	UPPER - 700.00 SQ. FT.
LOFT - 641.96 SQ. FT.	LOFT - 641.96 SQ. FT.
TOTAL - 2634.96 SQ. FT.	TOTAL - 2634.96 SQ. FT.

LIST OF DRAWINGS	
A-0.0	Cover Page
A-1.0	Foundation Plan
A-1.1	Basement Plan
A-1.2	Main Floor Plan
A-1.3	Upper Floor Plan
A-1.4	Loft Floor Plan
A-1.5	Roof Plan
A-2.0	Front & Rear Elevation (Front)
A-2.1	Front & Rear Elevation (Rear)
A-2.2	Left & Right Elevation
A-3.0	Garage Plan
A-3.1	Garage Elevations
A-3.2	Garage Sections

DEVELOPMENT PERMIT DECISION RENDERED ON THIS PLAN



GENERAL NOTES:

MUNICIPAL ADDRESS:
1509 & 1511 8 Ave S.E.

PROJECT:
5 - UNITS
CLUSTER HOUSE
PROJECT NUMBER:
322 - 24

DO NOT SCALE DRAWINGS. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION. JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL.

NO.	DATE(D/M/Y)	DETAIL	BY
01.	24/08/24	DP PLANS	---
02.	---	---	---
03.	---	---	---
04.	---	---	---
05.	---	---	---
06.	---	---	---

COPYRIGHT: ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT.

NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION.

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING.

AMENDED DRAWINGS
DP No: DP2024-07430 Date Received: MAY 6 2025
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

DRAWING SET:

SHEET NAME:
Cover Page

DESIGN BY: JT

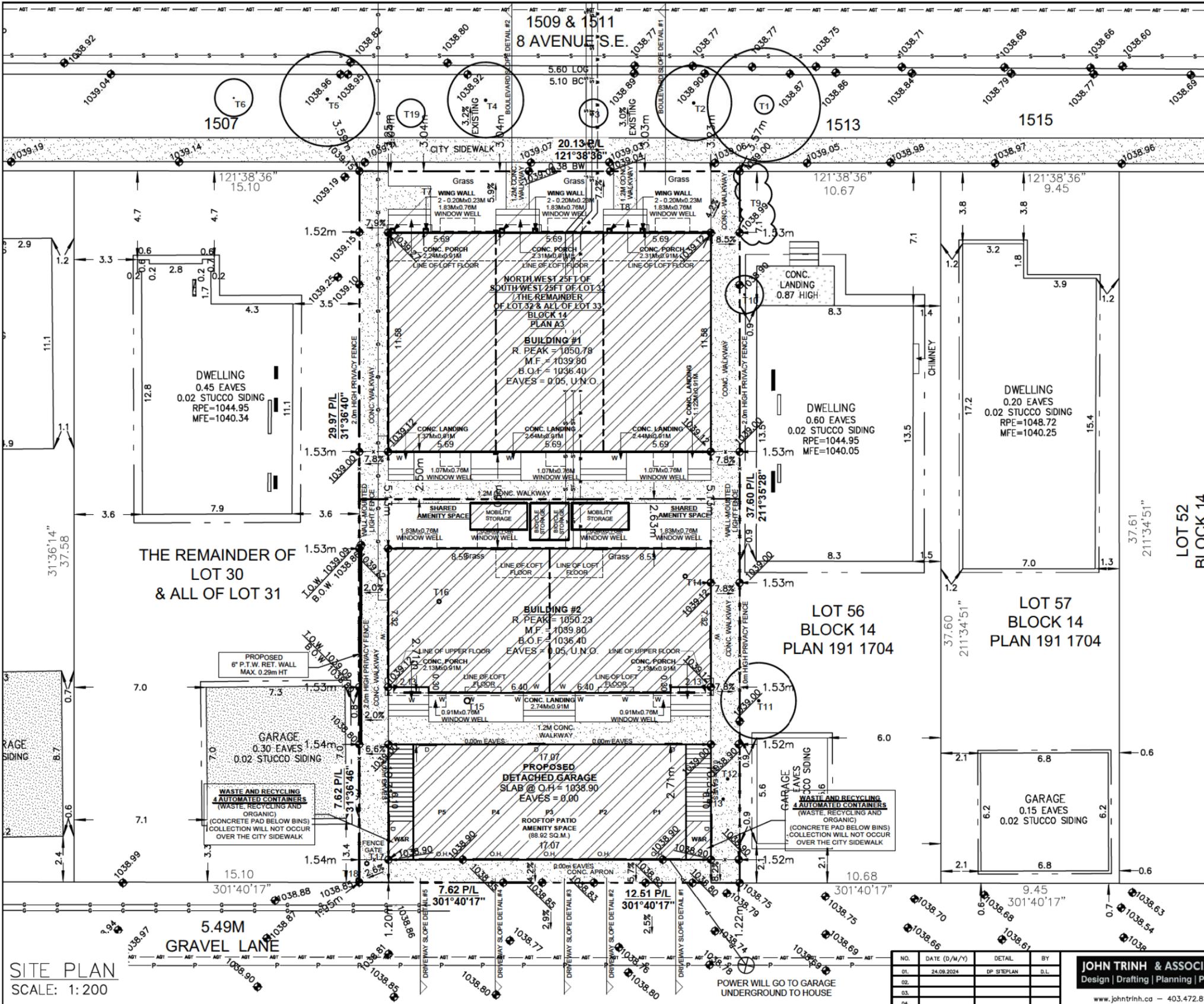
DRAWN BY: JT

LAST REVISION BY:

PRINTED: 2025-05-06 1:36:31 PM

SCALE:

PAGE: **A-0.0**



SITE PLAN

LEGEND

- denotes Calculation points
- denotes Water Valve
- denotes Gas Valve
- denotes Manhole
- ⊙ denotes Tree
- ⊕ denotes Power Pole
- △ denotes Sign
- ☀ denotes Light Standard
- X-X- denotes Fence
- S--- denotes Sanitary Line
- ST--- denotes Storm Line
- W--- denotes Water Line
- G--- denotes Gas Line
- denotes Electrical Line
- denotes A.G.T Line
- denotes Utility Right of Way Line
- denotes Property Line
- denotes Door
- denotes Main Floor Windows
- denotes Second Floor Windows
- denotes Basement Floor Windows
- denotes Shed Hatch
- denotes Detached Garage Hatch
- denotes Main Building Hatch
- denotes Concrete and Asphalt Hatch
- denotes Wood Hatch

'Cont.' denotes Controversies
 'Enc.' denotes Encroach(es)
 'BW' denotes Back of Walkway
 'BOW' denotes Bottom of Wall
 'Ret.' denotes Retaining
 'BC' denotes Back of Curb
 'TOW' denotes Top of Wall

Disclaimer
 The gas line information shown on this sheet is compiled from records maintained by ATCO GAS NO warrantee or guarantee is given as to the accuracy or completeness of those records. service lines, water lines, storm, sanitary, electrical and cable as shown are schematic representation only, and do not indicate the actual location or length of the service line. Dial-before-you-dig services should be utilized before commencement of any excavation or construction.

LAND USE: H-GO Housing
 Grade-Oriented

SCALE: 1:200

LEGAL DESCRIPTION:
 The North West 25 Feet of South West 25 Feet of Lot 32 / Remainder Of Lot 32 and All of Lot 33
 Block 14
 Plan A3

MUNICIPAL ADDRESS:
 1509 & 1511 - 8TH AVENUE S.E.
 Calgary, Alberta

LOT COVERAGE DETAIL:
 (CLUSTER HOUSING)
 LOT SIZE: 756.381 SQ M (0.075638 ha)
 BUILDING #1: 197.698 SQ M
 BUILDING #2: 126.764 SQ M
 MOBILITY STORAGE: 19,548 SQ M
 COVERED PORCH: 1,301 SQ M
 WING WALL: 0.320 SQ M
 GARAGE: 84,503 SQ M
 TOTAL: 432,133 / 756.381 = 57.13%

TOTAL UNITS: 5
 LOT SIZE: 756.381 SQ M (0.075638 ha)
 DENSITY: 66 UNITS/ha

PARKING:
 PARKING PROVIDED: 5 STALLS

FLOOR AREA RATIO:
 GROSS FLOOR AREA: 1049,2372 SQ M
 LOT SIZE: 756.381 SQ M
 RATIO: 1049.2372 / 756.381 = 1.39

NO.	DATE (D/M/Y)	DETAIL	BY
01.	24.09.2024	DP SITEPLAN	D.L.
02.			
03.			
04.			

JOHN TRINH & ASSOCIATES
 Design | Drafting | Planning | Permits
 www.johntrinh.ca - 403.472.8184

PROJECT NAME AND ADDRESS:
 1509 & 1511 - 8TH AVENUE S.E.
 Calgary, Alberta
 Remainder Of Lot 32 And All of Lot 33 / North West 25 Ft of South West 25 Ft of Lot 32 Block 14 Plan A3

PROJECT: Multi-Family, Cluster Housing

DATE: Sept 24, 2024

SCALE: 1:200

DIVISION: S

NUMBER: 01

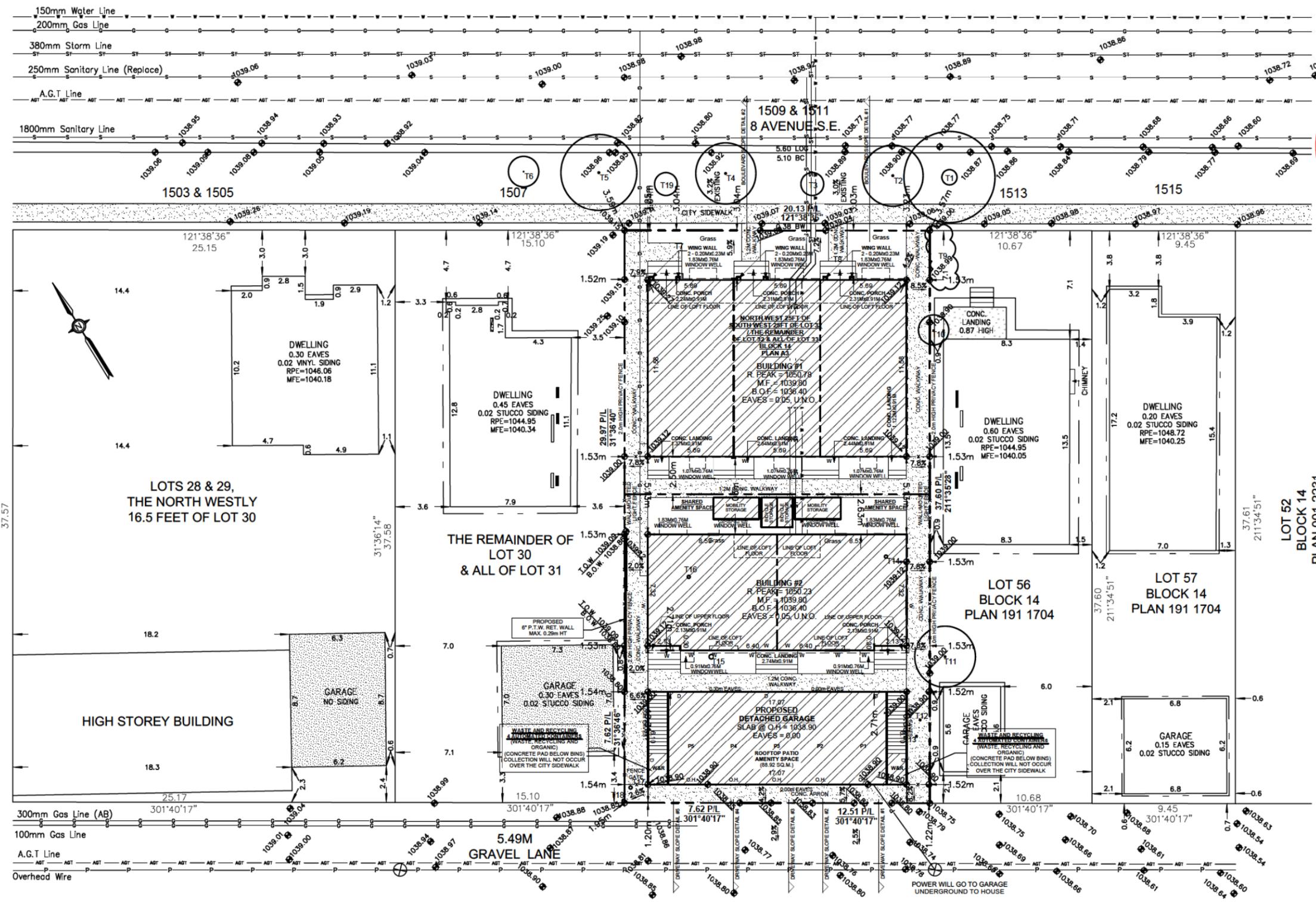
AMENDED DRAWINGS
 DP No: DP2024-07430
 Date Received: MAY 6 2025
 THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

DEVELOPMENT PERMIT DECISION RENDERED ON THIS PLAN

SITE PLAN
 SCALE: 1:200

AMENDED DRAWINGS
DP No 1509 & 1511 Date Received MAY 6 2025
DP2024-07430 THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

DEVELOPMENT PERMIT DECISION RENDERED ON THIS PLAN



14 STREET S.E.
211'37'18" 37.57

BLOCK PLAN
SCALE: 1:250

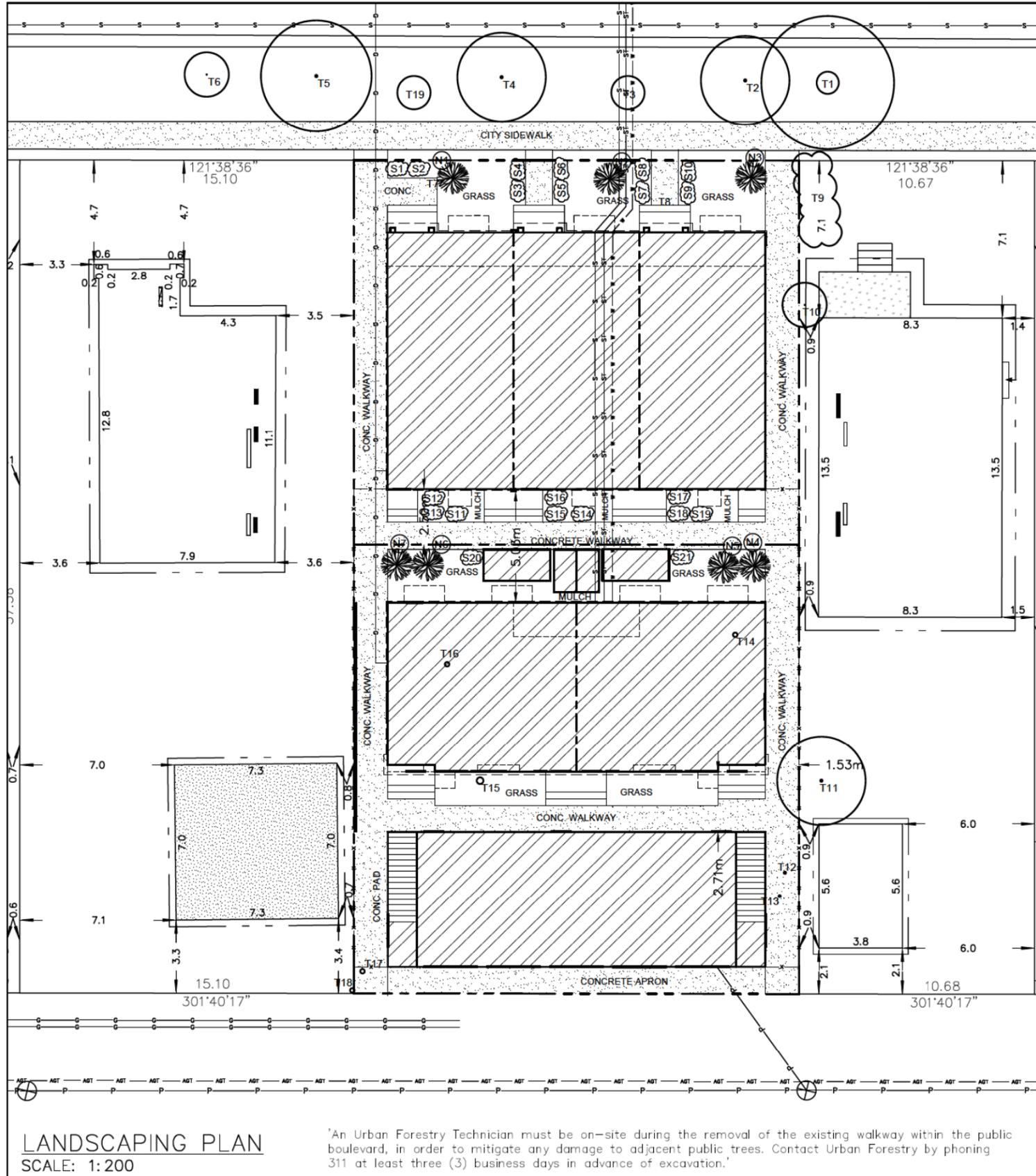
NOTE:
The proposed building will be designed as to prevent structural damage by floodwaters.
The proposed development will include the installation of a sewer back-up valve.

NO.	DATE (D/M/Y)	DETAIL	BY
01.	24.09.2024	DP SITEPLAN	D.L.
02.			
03.			
04.			

JOHN TRINH & ASSOCIATES
Design | Drafting | Planning | Permits
www.johntrinh.ca - 403.472.8184

PROJECT NAME AND ADDRESS:
1509 & 1511 - 8TH AVENUE S.E.
Calgary, Alberta
Remainder Of Lot 32 And All of Lot 33 / North West 25 Ft of South West 25 Ft of Lot 32 Block 14 Plan A3

PROJECT: Multi-Family, Cluster Housing
DATE: Sept 24, 2024
SCALE: 1:250
DIVISION: S
NUMBER: 02



TREE SCHEDULE:

Tree No.	Variety	Trunk (±)	Canopy (±)	Height (±)	Location	DISPOSITION
T1	Manitoba Maple	1.00	6.00	8.00	In City Property	To Stay
T2	Schubert Chokecherry	0.10	4.00	6.00	In City Property	To Stay
T3	Cotoneaster Bush	-	1.50	1.50	In City Property	To Remove
T4	Schubert Chokecherry	0.10	4.00	6.00	In City Property	To Stay
T5	Hot Wings Maple	0.10	5.00	5.00	In City Property	To Stay
T6	Cotoneaster Bush	0.02	2.00	3.00	In City Property	To Stay
T7	Bush	-	2.00	1.50	In Subject Property	To Remove
T8	Bush	-	4.00	3.00	In Subject Property	To Remove
T9	Bush	-	1.50	1.50	In Adjacent Property	To Stay
T10	Deciduous	0.01	2.00	6.00	In Adjacent Property	To Stay
T11	Deciduous	0.10	4.00	4.00	In Adjacent Property	To Stay
T12	Deciduous	0.10	2.00	6.00	In Subject Property	To Remove
T13	Deciduous	0.10	2.00	6.00	In Subject Property	To Remove
T14	Deciduous	0.20	4.00	2.50	In Subject Property	To Remove
T15	Deciduous	0.30	5.00	8.00	In Subject Property	To Remove
T16	Deciduous	0.20	3.50	5.00	In Subject Property	To Remove
T17	Deciduous	0.20	4.00	20.00	In Subject Property	To Remove
T18	Deciduous	0.20	3.00	10.00	On Property Line	To Stay
T19	Cotoneaster Bush	-	1.50	1.50	In City Property	To Remove

AMENDED DRAWINGS
 DP No: DP2024-07430
 Date Received: MAY 6 2025
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

DEVELOPMENT PERMIT DECISION RENDERED ON THIS PLAN

LANDSCAPING LEGEND

- denotes Deciduous Tree
- denotes Coniferous Tree
- denotes Shrubs

LANDSCAPING REQUIREMENTS:

LOT SIZE: 756,381 SQ M
 1 TREE PER/110,000 SQM
 3 SHRUBS PER/110,000 SQM
 756,381/110,000 = 6.876
 7 TREES
 21 SHRUBS

PROPOSED TREE SCHEDULE

TREE NO.	VARIETY	CALLIPER (±)	CANOPY (±)	HEIGHT (±)	LOCATION	DISPOSITION
N1	Prairie Spire Green Ash (Deciduous Tree)	0.06	0.75	3.00	In Subject Property	New
N2	Prairie Spire Green Ash (Deciduous Tree)	0.06	0.75	3.00	In Subject Property	New
N3	Prairie Spire Green Ash (Deciduous Tree)	0.06	0.75	3.00	In Subject Property	New
N4	Swedish Aspen (Deciduous Tree)	0.06	0.75	3.00	In Subject Property	New
N5	Swedish Aspen (Deciduous Tree)	0.06	0.75	3.00	In Subject Property	New
N6	Swedish Aspen (Deciduous Tree)	0.06	0.75	3.00	In Subject Property	New
N7	Swedish Aspen (Deciduous Tree)	0.06	0.75	3.00	In Subject Property	New

TREE NO.	VARIETY	CALLIPER (±)	CANOPY (±)	HEIGHT (±)	LOCATION	DISPOSITION
S1	Lilac (Syringa Spp.) (Shrub)	--	0.61	0.61	In Subject Property	New
S2	Lilac (Syringa Spp.) (Shrub)	--	0.61	0.61	In Subject Property	New
S3	Lilac (Syringa Spp.) (Shrub)	--	0.61	0.61	In Subject Property	New
S4	Lilac (Syringa Spp.) (Shrub)	--	0.61	0.61	In Subject Property	New
S5	Lilac (Syringa Spp.) (Shrub)	--	0.61	0.61	In Subject Property	New
S6	Lilac (Syringa Spp.) (Shrub)	--	0.61	0.61	In Subject Property	New
S7	Lilac (Syringa Spp.) (Shrub)	--	0.61	0.61	In Subject Property	New
S8	Hawthorn (Crataegus Spp.) (Shrub)	--	0.61	0.61	In Subject Property	New
S9	Hawthorn (Crataegus Spp.) (Shrub)	--	0.61	0.61	In Subject Property	New
S10	Hawthorn (Crataegus Spp.) (Shrub)	--	0.61	0.61	In Subject Property	New
S11	Hawthorn (Crataegus Spp.) (Shrub)	--	0.61	0.61	In Subject Property	New
S12	Hawthorn (Crataegus Spp.) (Shrub)	--	0.61	0.61	In Subject Property	New
S13	Hawthorn (Crataegus Spp.) (Shrub)	--	0.61	0.61	In Subject Property	New
S14	Hawthorn (Crataegus Spp.) (Shrub)	--	0.61	0.61	In Subject Property	New
S15	Hawthorn (Crataegus Spp.) (Shrub)	--	0.61	0.61	In Subject Property	New
S16	Hawthorn (Crataegus Spp.) (Shrub)	--	0.61	0.61	In Subject Property	New
S17	Hawthorn (Crataegus Spp.) (Shrub)	--	0.61	0.61	In Subject Property	New
S18	Hawthorn (Crataegus Spp.) (Shrub)	--	0.61	0.61	In Subject Property	New
S19	Hawthorn (Crataegus Spp.) (Shrub)	--	0.61	0.61	In Subject Property	New
S20	Mugo Pine (Pinus Mugo) (Shrub)	--	0.61	0.61	In Subject Property	New
S21	Mugo Pine (Pinus Mugo) (Shrub)	--	0.61	0.61	In Subject Property	New

LANDSCAPE COVERAGE

LOT SIZE = 756,381 SQ. M
 LANDSCAPE AREA = 261,182 SQ. M
 HARD LANDSCAPE (CONC. WALKWAY, APRONS AND CONC. PADS) = 164,884 SQ. M
 SOFT LANDSCAPE (GRASS + MULCH) = 96,298 SQ. M

MINIMUM SOIL DEPTH OF 600MM FOR PLANTING BEDS WITH SHRUBS AND 300MM IN ALL OTHER AREAS

164,884 / 261,182 = 63.130% OF HARD LANDSCAPE
 96,298 / 261,182 = 36.870% OF SOFT LANDSCAPE

NOTE:
 "If clearance pruning of public trees is required, Urban Forestry must be given minimum two business days' notice and an approved tree contractor, who has met the City's minimum qualifications, must be used at the applicant's expense. Please contact Urban Forestry at 311 for more information".

"Any tree planting in the City boulevard shall be performed and inspected in accordance with Parks Development Guidelines and Standard Specifications (current edition). Applicant is to contact the Parks Development Inspector at 403-804-9417 or call 311 to arrange an inspection".

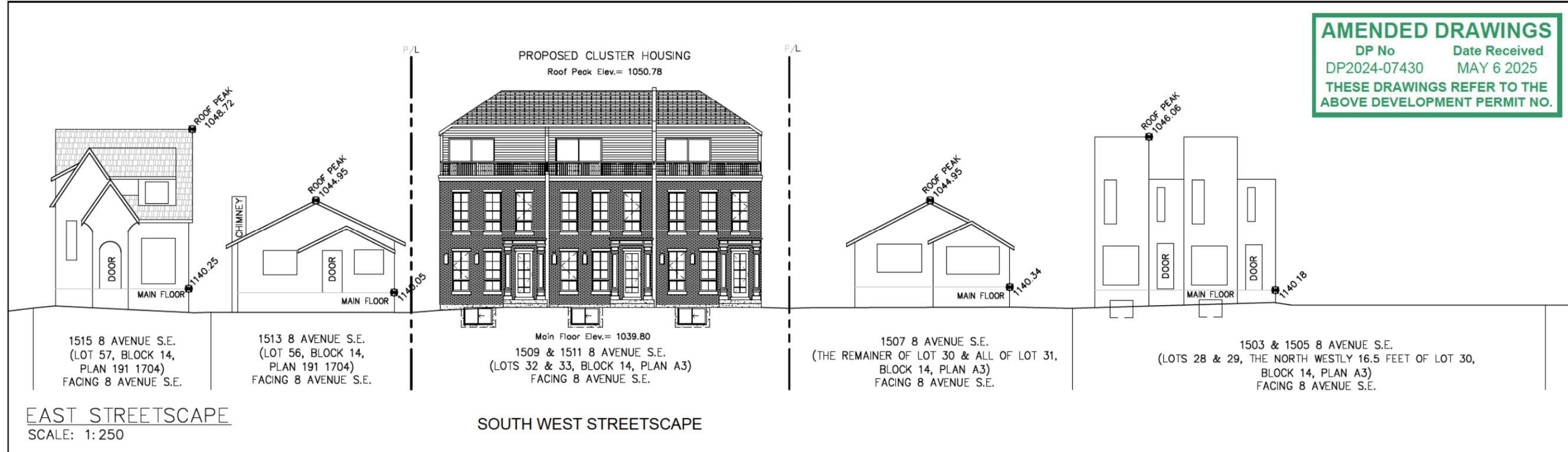
"All soft surfaced landscaped area will be irrigated by an underground irrigation system".

LANDSCAPING PLAN
 SCALE: 1:200

"An Urban Forestry Technician must be on-site during the removal of the existing walkway within the public boulevard, in order to mitigate any damage to adjacent public trees. Contact Urban Forestry by phoning 311 at least three (3) business days in advance of excavation."

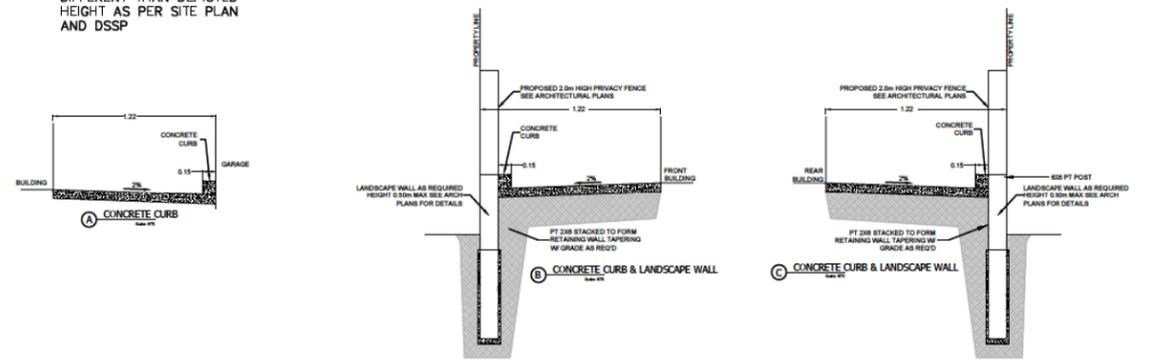
NO.	DATE (D/M/Y)	DETAIL	BY	JOHN TRINH & ASSOCIATES Design Drafting Planning Permits www.johntrinh.ca - 403.472.8184	PROJECT NAME AND ADDRESS: 1509 & 1511 - 8TH AVENUE S.E. Calgary, Alberta Remainder Of Lot 32 And All of Lot 33 / North West 25 Ft of South West 25 Ft of Lot 33 Block 14 Plan A3	PROJECT: Multi-Family, Cluster Housing	SCALE: 1: 200
01.	24.09.2024	DP STEPLAN	D.L.				
02.							
03.							
04.							

AMENDED DRAWINGS
 DP No Date Received
 DP2024-07430 MAY 6 2025
 THESE DRAWINGS REFER TO THE
 ABOVE DEVELOPMENT PERMIT NO.



****USE ON SITE ONLY
 WHERE APPLICABLE****

NOTE:
 FENCE DETAIL DEMONSTRATES THAT STORM WATER WILL HAVE POSITIVE DRAINAGE TO THE STREET, ACTUAL MAYBE DIFFERENT THAN DEPICTED HEIGHT AS PER SITE PLAN AND DSSP



FENCE SECTION DETAIL
SCALE: NTS

BUILDING #1 AREA

	UNIT #1 AREA	UNIT #2 AREA	UNIT #3 AREA
BASEMENT	709.33 SQ FT	709.33 SQ FT	709.33 SQ FT
MAIN FLOOR	709.33 SQ FT	709.33 SQ FT	709.33 SQ FT
UPPER FLOOR	709.33 SQ FT	709.33 SQ FT	709.33 SQ FT
LOFT FLOOR	616.00 SQ FT	616.00 SQ FT	616.00 SQ FT
TOTAL AREA	2034.66 SQ FT	2034.66 SQ FT	2034.66 SQ FT

BUILDING #2 AREA

	UNIT #4 AREA	UNIT #5 AREA
BASEMENT	700.00 SQ FT	700.00 SQ FT
MAIN FLOOR	693.00 SQ FT	693.00 SQ FT
UPPER FLOOR	700.00 SQ FT	700.00 SQ FT
LOFT FLOOR	641.96 SQ FT	641.96 SQ FT
TOTAL AREA	2034.96 SQ FT	2034.96 SQ FT

NO.	DATE (D/M/Y)	DETAIL	BY
01.	24.08.2024	DP SITEPLAN	D.L.
02.			
03.			
04.			

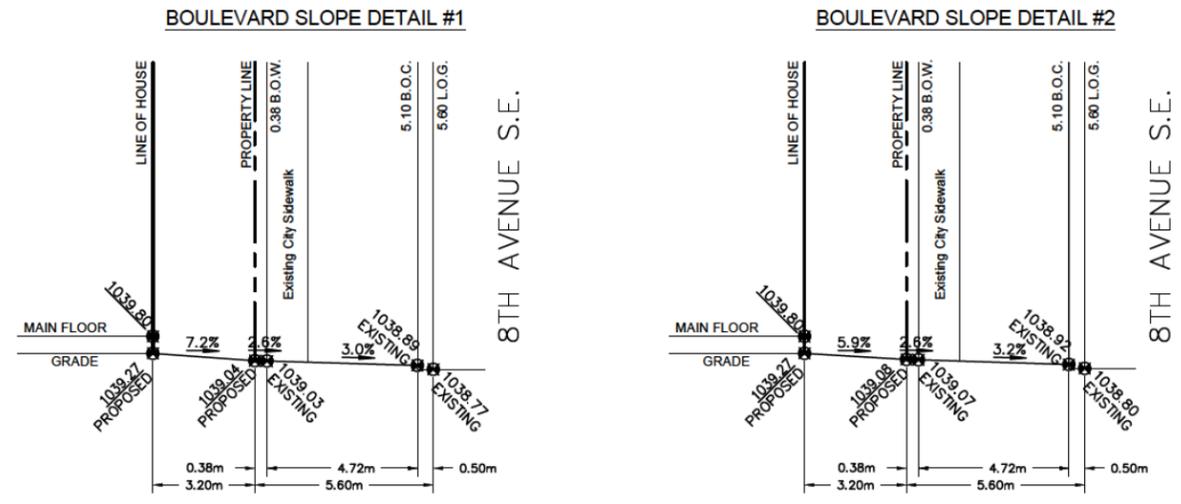
JOHN TRINH & ASSOCIATES
 Design | Drafting | Planning | Permits
 www.johntrinh.ca - 403.472.8184

PROJECT NAME AND ADDRESS:
 1509 & 1511 - 8TH AVENUE S.E.
 Calgary, Alberta
 Remainder Of Lot 32 And All of Lot 33 / North West 25 Ft of South West 25 Ft of Lot 32 Block 14 Plan A3

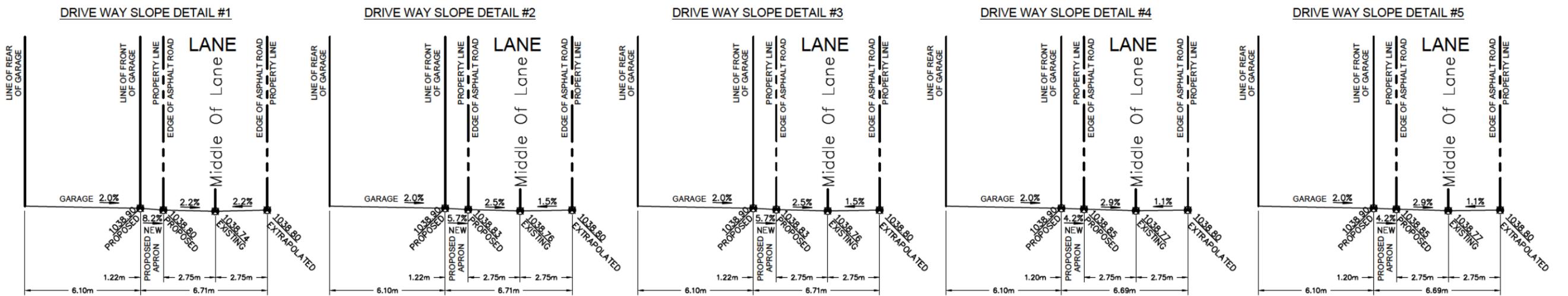
PROJ: Multi-Family, Cluster Housing
 SOLE: AS SHOWN
 DATE: Sept 24, 2024
 DIVISION: S 04

AMENDED DRAWINGS
 DP No Date Received
 DP2024-07430 MAY 6 2025
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

DEVELOPMENT PERMIT DECISION RENDERED ON THIS PLAN



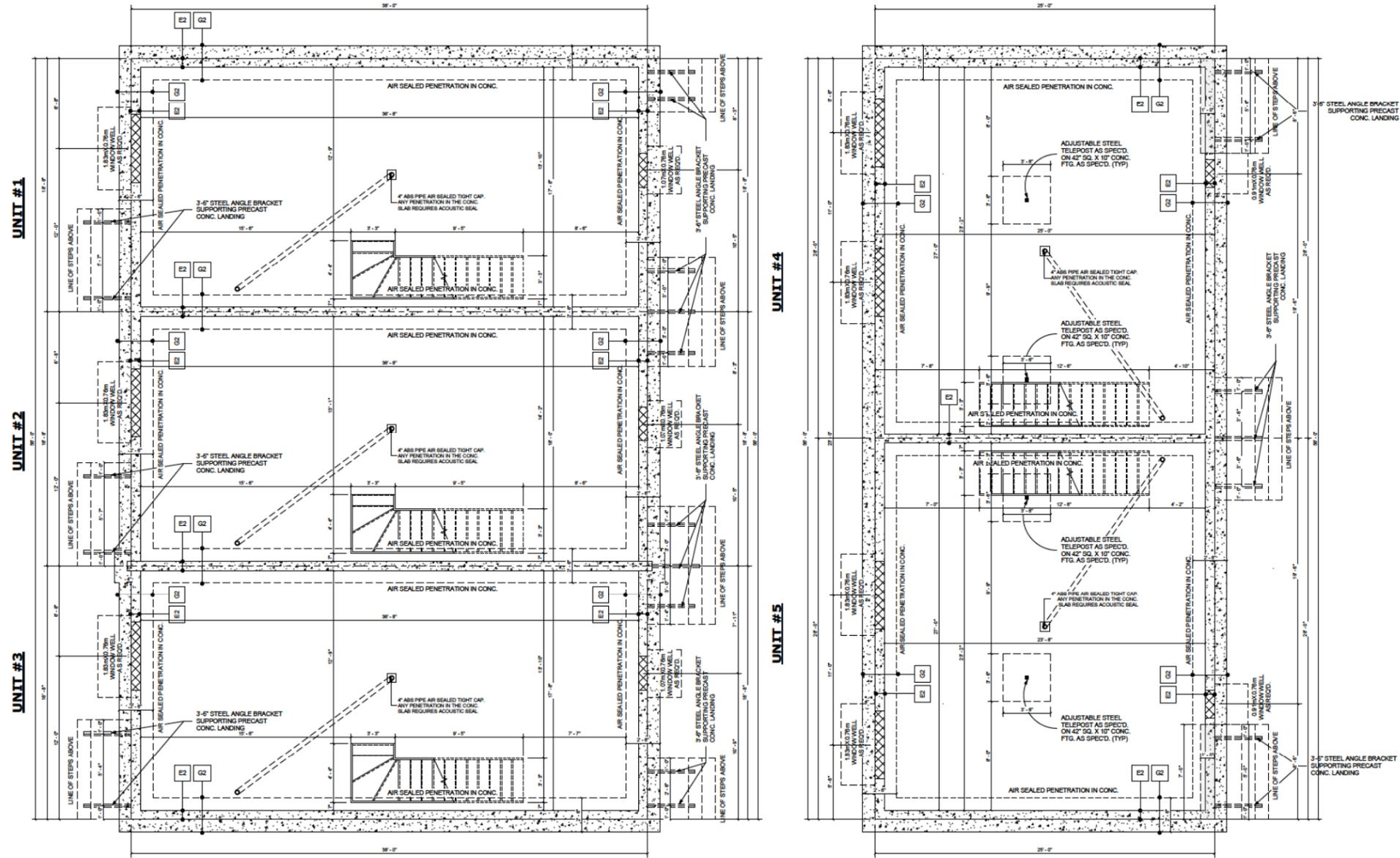
BOULEVARD SLOPE DETAILS
 SCALE: NTS



DRIVEWAY/LANE SLOPE DETAILS
 SCALE: NTS

NO.	DATE (D/M/Y)	DETAIL	BY
01.	24.08.2024	DP SITEPLAN	D.L.
02.			
03.			
04.			

JOHN TRINH & ASSOCIATES Design Drafting Planning Permits www.johntrinh.ca - 403.472.8184		PROJECT NAME AND ADDRESS: 1509 & 1511 - 8TH AVENUE S.E. Calgary, Alberta Remainder Of Lot 32 And All of Lot 33 / North West 25 Ft of South West 25 Ft of Lot 32 Block 14 Plan A3	PROJ: Multi-Family, Cluster Housing	SCALE: AS SHOWN
DATE: Sept 24, 2024			DIVISION: S	SURVEY: 05



FOR RADON PIPE SIZE:
-THE CODE IS NOT SPECIFIC ON THE TYPE OF
PIPE THAT MAY BE USED, ONLY ON THE
DIMENSION OF NOT LESS THAN 100mm (4")

FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



GENERAL NOTES:

MUNICIPAL ADDRESS:
1509 & 1511 8 Ave S.E.

PROJECT:
5 - UNITS
CLUSTER HOUSE
PROJECT NUMBER:
322 - 24

DO NOT SCALE DRAWINGS.
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH
ALL OTHER APPLICABLE CONSULTANT DRAWINGS.
CONTRACTOR IS TO CONFIRM AND COORDINATE ALL
DETAILS WITH SITE CONDITIONS AND OTHER
CONSULTANT DRAWINGS PRIOR TO STARTING
CONSTRUCTION.
JOHN TRINH & ASSOCIATES INC. ASSUMES NO
RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE
DRAWINGS BEAR THE SEAL AND SIGNATURE OF A
REGISTERED PROFESSIONAL.

NO.	DATE(D/M/Y)	DETAIL	BY
01.	24/06/24	DP PLANS	---
02.	---	---	---
03.	---	---	---
04.	---	---	---
05.	---	---	---
06.	---	---	---

COPYRIGHT:
ALL IDEAS AND DESIGNS REPRESENTED BY THIS
DRAWING ARE OWNED BY JOHN TRINH &
ASSOCIATES INC. AND WERE CREATED FOR USE IN
A SPECIFIED PROJECT.

NONE OF THE IDEAS AND/OR DESIGNS MAY BE
USED BY, OR DISCLOSED TO, ANY OTHER PERSON
OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE
WRITTEN PERMISSION.

ALL WORK MUST COMPLY WITH THE MOST RECENT
EDITION OF THE ALBERTA BUILDING CODE AND ANY
OTHER GOVERNING AUTHORITIES.

ALL FRAMING, ELECTRICAL ROUGH-IN AND
PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY
TRADE/CONTRACTOR AND HOME OWNER. ANY
ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER
TO BE RESOLVED BEFORE PROCEEDING.

AMENDED DRAWINGS
DP No. Date Received
DP2024-07430 MAY 6 2025
THESE DRAWINGS REFER TO THE
ABOVE DEVELOPMENT PERMIT NO.

DRAWING SET:

SHEET NAME:
Foundation Plan

DESIGN BY: JT

DRAWN BY: JT

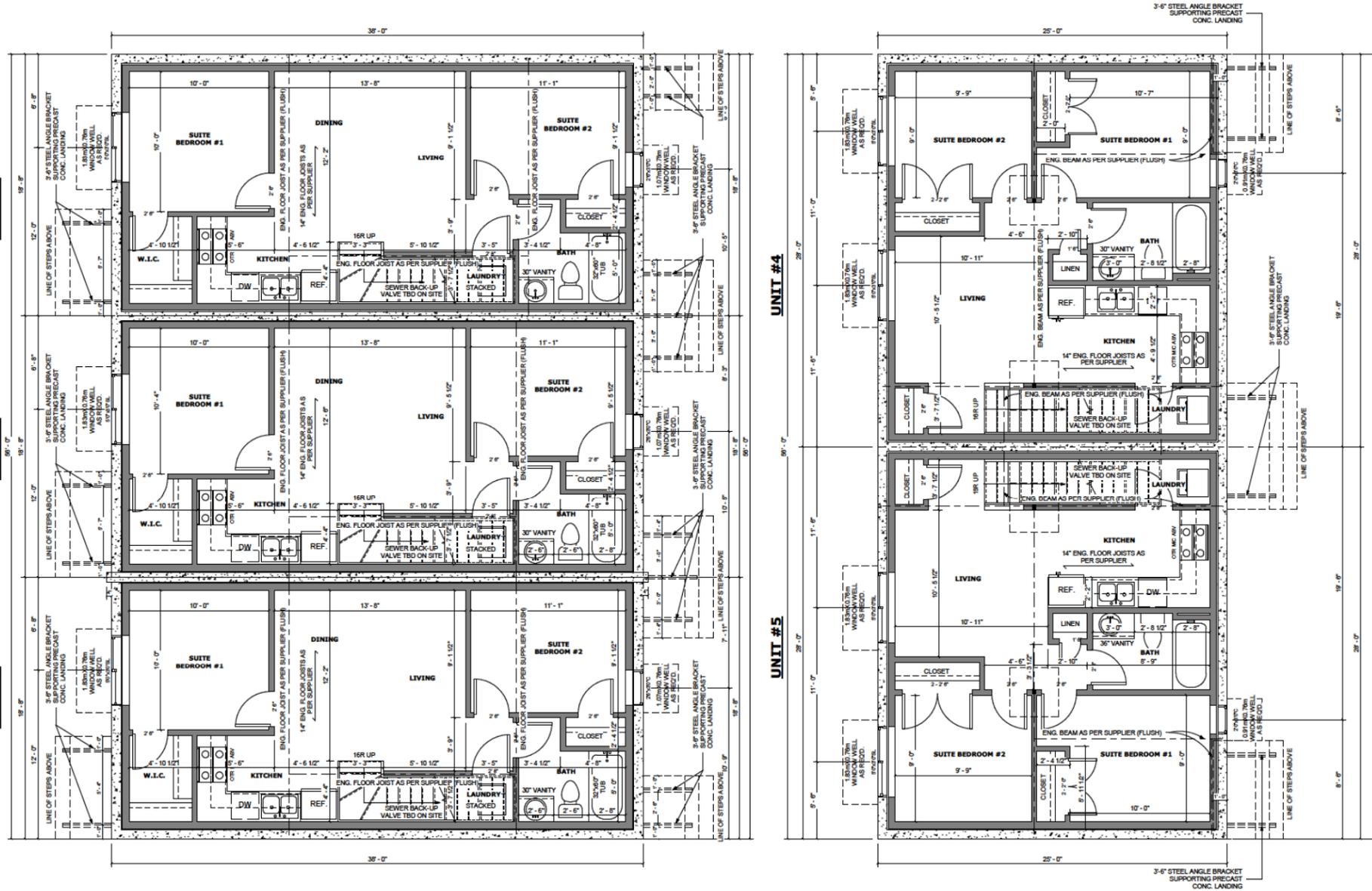
LAST REVISION BY:

PRINTED: 2025-05-06 1:36:32 PM

SCALE: 1/4" = 1'-0"

PAGE: **A-1.0**





9'-0" BASEMENT FLOOR

BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

BRADFORD WATER HEATER WITH 0.67-0.70 ENERGY STAR RATING AND 70-80 RECOVERY EFFICIENCY

LENNOX FURNACE WITH AFUE Rating of 95% - 98.7%

WITH LIFE BREATH RNC-205 HEAT RECOVERY VENTILATION (SEE SPEC. FOR DETAILS & ELEMENT PERMIT DESIGN PANEL IS MIN 6'-6" AND HAS 36" CLEARANCE. EXACT FURNACE & HWL LOCATION & ORIENTATION TO BE DETERMINED BY HEATING CONTRACTOR. RADON PIPING LOCATION TBD ON-SITE.



GENERAL NOTES:
BASEMENT FLOOR AREA
UNIT #1 - 709.33 SQ.FT.
UNIT #2 - 709.33 SQ.FT.
UNIT #3 - 709.33 SQ.FT.
UNIT #4 - 700.00 SQ.FT.
UNIT #5 - 700.00 SQ.FT.

MUNICIPAL ADDRESS:
1509 & 1511 8 Ave S.E.

PROJECT:
5 - UNITS CLUSTER HOUSE
PROJECT NUMBER:
322 - 24

DO NOT SCALE DRAWINGS. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION. JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT, UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL.

NO.	DATE(D/M/Y)	DETAIL	BY
01.	24/06/24	DP PLANS	-
02.	-	-	-
03.	-	-	-
04.	-	-	-
05.	-	-	-
06.	-	-	-

COPYRIGHT: ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT.

NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION.

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING.

AMENDED DRAWINGS
DP No: DP2024-07430 Date Received: MAY 6 2025
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

DRAWING SET:

SHEET NAME:
Basement Plan

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

PRINTED: 2025-05-06 1:36:33 PM

SCALE: 1/4" = 1'-0"

PAGE: **A-1.1**



SPRAY FOAM NOTES: CCMC#14025-L
 -2LBS SPRAY FOAM INSULATION TO BE USED OF RIM JOISTS
 -FRAME TOP OF MAIN FLOOR WINDOWS TO MATCH HEIGHT OF EXT DOOR AND TRANSOM UNLESS NOTED
 -ALL SIDEYARD CANTILEVERS MUST BE DRYWALLED W/ 5/8 DRYWALL & NON VENTING SOFFIT ON UNDERSIDE, NAILING PATTERN TO BE 6" OC ON PERIMETER AND 8" OC IN THE FIELD- GALVANISED NAILS TO BE USED



GENERAL NOTES:
MAIN FLOOR AREA
 UNIT #1 - 709.33 SQ.FT.
 UNIT #2 - 709.33 SQ.FT.
 UNIT #3 - 709.33 SQ.FT.
 UNIT #4 - 693.00 SQ.FT.
 UNIT #5 - 693.00 SQ.FT.

MUNICIPAL ADDRESS:
 1509 & 1511 8 Ave S.E.

PROJECT:
5 - UNITS CLUSTER HOUSE
 PROJECT NUMBER:
 322 - 24

DO NOT SCALE DRAWINGS.
 DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION.
 JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL.

NO.	DATE(D/M/Y)	DETAIL	BY
01	24/09/24	DP PLANS	-
02	-	-	-
03	-	-	-
04	-	-	-
05	-	-	-
06	-	-	-

COPYRIGHT:
 ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT.

NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION.

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING.

AMENDED DRAWINGS
 DP No: DP2024-07430 Date Received: MAY 6 2025
 THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

DRAWING SET:

SHEET NAME:
Main Floor Plan

DESIGN BY: JT

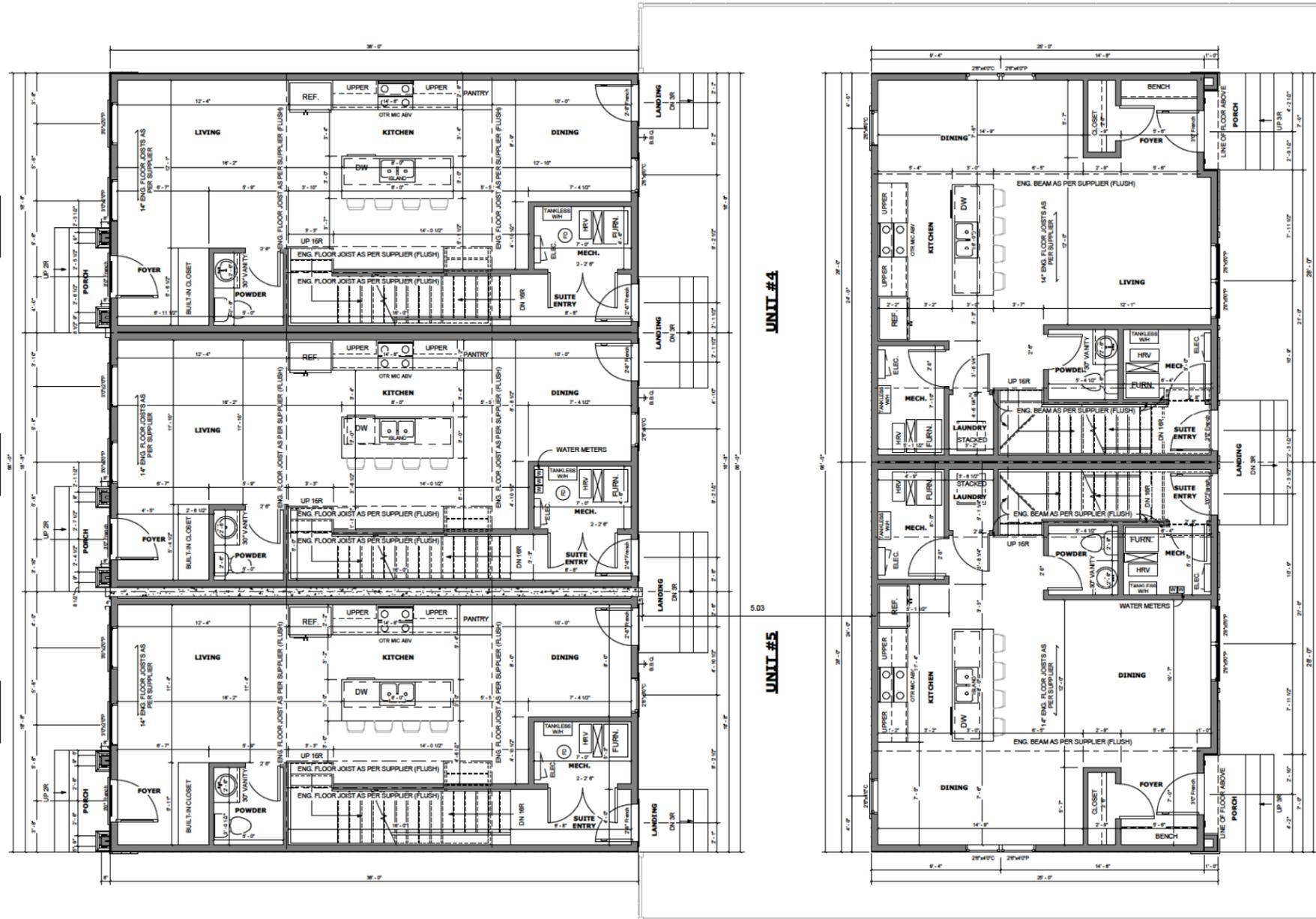
DRAWN BY: JT

LAST REVISION BY:

PRINTED: 2025-05-06 1:36:36 PM

SCALE: 1/4" = 1'-0"

PAGE: **A-1.2**



9' - 1 1/8" MAIN FLOOR

MAIN FLOOR PLAN
 SCALE: 1/4" = 1'-0"





SPRAY FOAM NOTES: CCMC#14025-L
 -2LBS SPRAY FOAM INSULATION TO BE USED OF RIM JOISTS
 -FRAME TOP OF MAIN FLOOR WINDOWS TO MATCH HEIGHT OF EXT DOOR AND TRANSOM UNLESS NOTED
 -ALL SIDEYARD CANTILEVERS MUST BE DRYWALLED W/ 5/8 DRYWALL & NON VENTING SOFFIT ON UNDERSIDE, NAILING PATTERN TO BE 6" OC ON PERIMETER AND 8" OC IN THE FIELD- GALVANISED NAILS TO BE USED



GENERAL NOTES:
 UPPER FLOOR AREA
 UNIT #1 - 709.33 SQ.FT.
 UNIT #2 - 709.33 SQ.FT.
 UNIT #3 - 709.33 SQ.FT.
 UNIT #4 - 700.00 SQ.FT.
 UNIT #5 - 700.00 SQ.FT.

MUNICIPAL ADDRESS:
 1509 & 1511 8 Ave S.E.

PROJECT:
 5 - UNITS
 CLUSTER HOUSE
 PROJECT NUMBER:
 322 - 24

DO NOT SCALE DRAWINGS. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION. JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL.

NO.	DATE(D/M/Y)	DETAIL	BY
01	24/06/24	DP PLANS	---
02	---	---	---
03	---	---	---
04	---	---	---
05	---	---	---
06	---	---	---

COPYRIGHT: ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT.

NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION.

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING.

AMENDED DRAWINGS
 DP No: _____ Date Received: _____
 DP2024-07430 MAY 6 2025
 THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

DRAWING SET:

SHEET NAME:
 Upper Floor Plan

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

PRINTED: 2025-05-06 1:36:36 PM

SCALE: 1/4" = 1'-0"

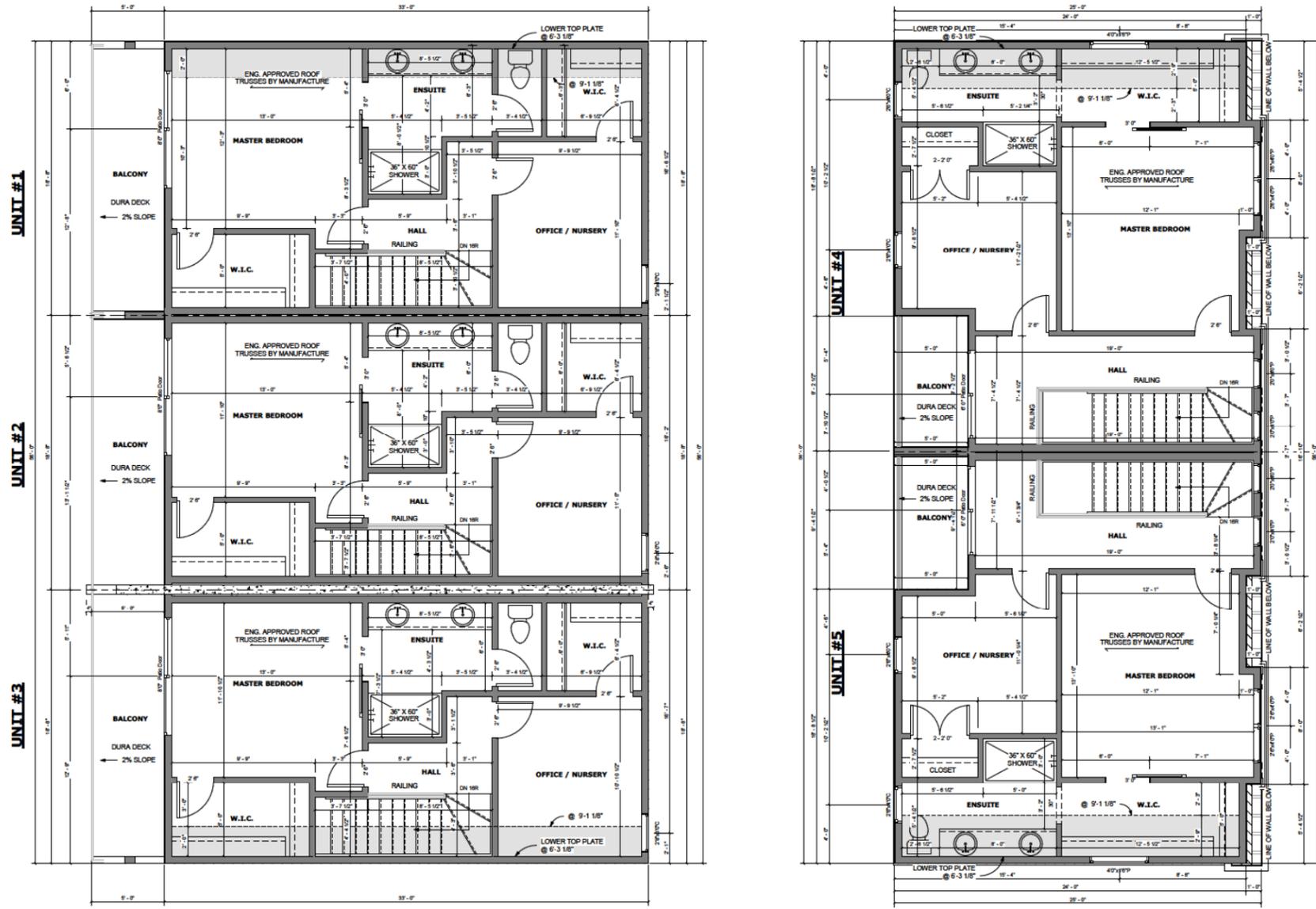
PAGE: **A-1.3**



9' - 1 1/8" UPPER FLOOR

UPPER FLOOR PLAN
 SCALE: 1/4" = 1'-0"





8' - 1 1/8" LOFT FLOOR

SPRAY FOAM NOTES: CCMCE14025.1
 -2LBS SPRAY FOAM INSULATION TO BE USED OF RIM JOISTS
 -FRAME TOP OF MAIN FLOOR WINDOWS TO MATCH HEIGHT OF EXT DOOR AND TRANSOM UNLESS NOTED
 -ALL SIDEYARD CANTILEVERS MUST BE DRYWALLED W/ 5/8 DRYWALL & NON VENTING SOFFIT ON UNDERSIDE. NAILING PATTERN TO BE 6" OC ON PERIMETER AND 8" OC IN THE FIELD.
 -GALVANISED NAILS TO BE USED



GENERAL NOTES:
LOFT FLOOR AREA
 UNIT #1 - 616.00 SQ.FT.
 UNIT #2 - 616.00 SQ.FT.
 UNIT #3 - 616.00 SQ.FT.
 UNIT #4 - 641.96 SQ.FT.
 UNIT #5 - 641.96 SQ.FT.

MUNICIPAL ADDRESS:
 1509 & 1511 8 Ave S.E.

PROJECT:
5 - UNITS CLUSTER HOUSE
 PROJECT NUMBER:
 322 - 24

DO NOT SCALE DRAWINGS. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION. JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL.

NO.	DATE(D/M/Y)	DETAIL	BY
01.	24/06/24	DP PLANS	-
02.	-	-	-
03.	-	-	-
04.	-	-	-
05.	-	-	-
06.	-	-	-

COPYRIGHT:
 ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT.

NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION.

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING.

AMENDED DRAWINGS
 DP No: DP2024-07430 Date Received: MAY 6 2025
 THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

DRAWING SET:

SHEET NAME:
Loft Floor Plan

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

PRINTED: 2025-05-06 1:36:37 PM

SCALE: 1/4" = 1'-0"

PAGE: **A-1.4**



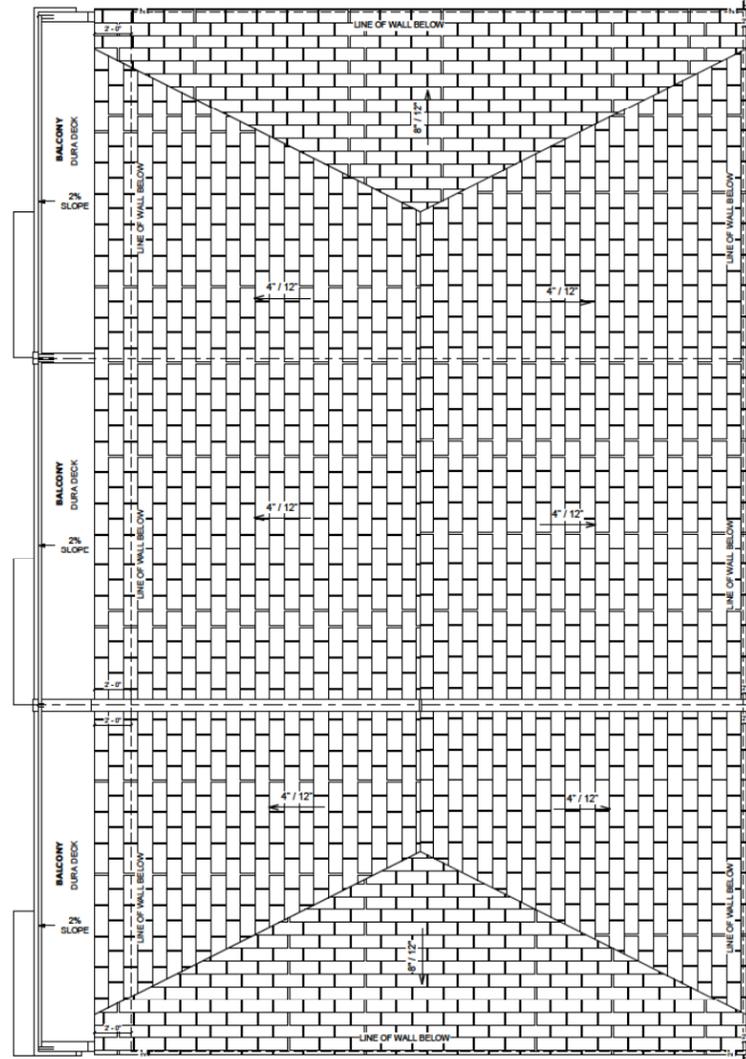
LOFT FLOOR PLAN
 SCALE: 1/4" = 1'-0"



UNIT #1

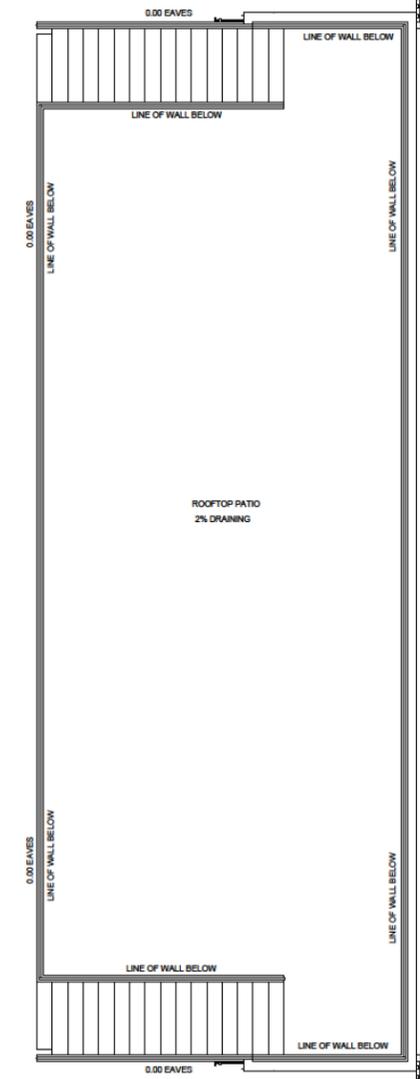
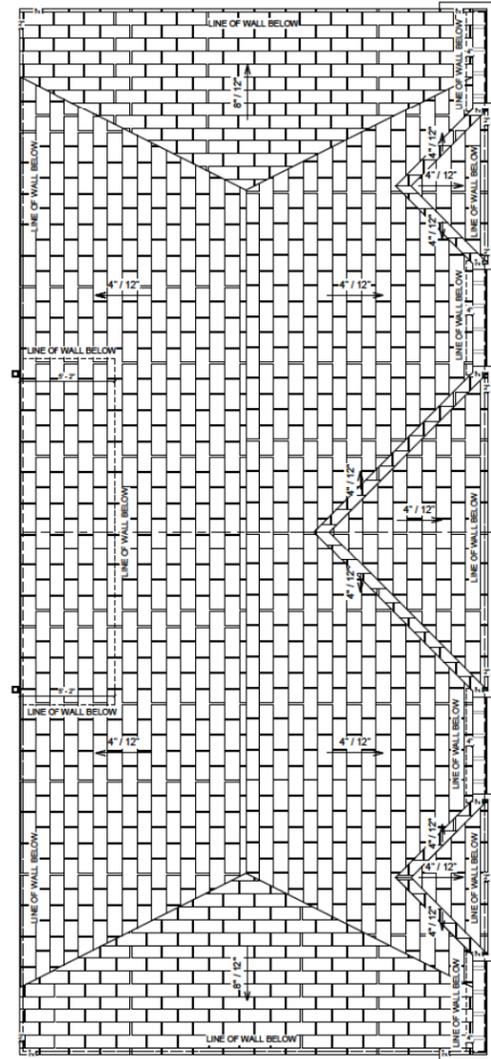
UNIT #2

UNIT #3



UNIT #4

UNIT #5



-CONTRACTOR TO CONFIRM HEEL HEIGHT & ROOF DETAILS PRIOR TO ORDERING WITH THE MANUFACTURER. ANY ISSUE MUST BE RESOLVED WITH THE DESIGNER

ROOF PLAN
SCALE: 1/4" = 1'-0"



GENERAL NOTES:

MUNICIPAL ADDRESS:
1509 & 1511 8 Ave S.E.

PROJECT:
5 - UNITS
CLUSTER HOUSE
PROJECT NUMBER:
322 - 24

DO NOT SCALE DRAWINGS. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION. JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL.

NO.	DATE(D/M/Y)	DETAIL	BY
01.	24/08/24	DP PLANS	---
02.	---	---	---
03.	---	---	---
04.	---	---	---
05.	---	---	---
06.	---	---	---

COPYRIGHT: ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT.

NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION.

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING.

AMENDED DRAWINGS
DP No: DP2024-07430 Date Received: MAY 6 2025
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

DRAWING SET:

SHEET NAME:
Roof Plan

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

PRINTED: 2025-05-06 1:36:39 PM

SCALE: 1/4" = 1'-0"

PAGE: **A-1.5**





GENERAL NOTES:

MUNICIPAL ADDRESS:
1509 & 1511 8 Ave S.E.

PROJECT:
5 - UNITS
CLUSTER HOUSE
PROJECT NUMBER:
322 - 24

DO NOT SCALE DRAWINGS.
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION.
JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL.

NO.	DATE(M/Y)	DETAIL	BY
01.	24/06/24	DP PLANS	---
02.	---	---	---
03.	---	---	---
04.	---	---	---
05.	---	---	---
06.	---	---	---

COPYRIGHT:
ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT.

NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION.

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING.

AMENDED DRAWINGS
DP No: _____ Date Received: _____
DP2024-07430 MAY 6 2025
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

DRAWING SET:

SHEET NAME:
Front & Rear Elevation (Front)

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

PRINTED: 2025-05-06 1:36:43 PM

SCALE: 1/4" = 1'-0"

PAGE: **A-2.0**



FRONT ELEVATION (FRONT UNIT)
SCALE: 1/4" = 1'-0"



REAR ELEVATION (FRONT UNIT)
SCALE: 1/4" = 1'-0"

NBC 2019 A.E. REFERENCE & 91.14. SPATIAL SEPARATION BETWEEN BUILDINGS
WINDOW CALCULATION UNIT#1 & UNIT #2:
@ 2.50m LIMITING DISTANCE
WALL AREA = 1154.92 SQ. FT.
WINDOW AREA = 77.26 SQ. FT.
TOTAL: 1232.18 / 1154.92 = 8.30%

WINDOW CALCULATION UNIT #3:
@ 2.50m LIMITING DISTANCE
WALL AREA = 576.83 SQ. FT.
WINDOW AREA = 36.80 SQ. FT.
TOTAL: 613.63 / 576.83 = 6.30%

EXTERIOR FINISHES:

- 1 ASPHALT SHINGLES
- 2 6" ALUMINUM FASCIA - BLACK
- 3 HARDIE SIDING FINISH - WHITE
- 4 HARDIE SIDING FINISH - BLACK
- 5 SMART BOARD & BATTEN - BLACK
- 6 SMART BOARD & BATTEN - WHITE
- 7 BRICK FINISH AS SPEC'D.
- 8 PRECAST CONCRETE
- 9 CONC. PARING

NBC 2019 A.E. REFERENCE & 10.14. SPATIAL SEPARATION BETWEEN BUILDINGS

WINDOW CALCULATION

@ 2.63m LIMITING DISTANCE
 WALL AREA = 1727.37 SQ. FT.
 WINDOW AREA = 184.00 SQ. FT.
 TOTAL: 1911.37 = 10.65%

VENTED SOFFIT NOTES:

- VENTED SOFFIT (FRONT AND BACK)
- VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
- NON VENTED SIDES SOFFIT IF WITHIN 1.2m (SOFFIT ARE PRE-FIN ALUM)

FRONT ELEVATION (REAR UNIT)

SCALE: 1/4" = 1'-0"



EXTERIOR FINISHES:

- 1 ASPHALT SHINGLES
- 2 6" ALUMINUM FASCIA - BLACK
- 3 HARDIE SIDING FINISH - WHITE
- 4 HARDIE SIDING FINISH - BLACK
- 5 SMART BOARD & BATTEN - BLACK
- 6 SMART BOARD & BATTEN - WHITE
- 7 BRICK FINISH AS SPEC'D.
- 8 PRECAST CONCRETE
- 9 CONC. PARING

VENTED SOFFIT NOTES:

- VENTED SOFFIT (FRONT AND BACK)
- VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
- NON VENTED SIDES SOFFIT IF WITHIN 1.2m (SOFFIT ARE PRE-FIN ALUM)

REAR ELEVATION (REAR UNIT)

SCALE: 1/4" = 1'-0"



GENERAL NOTES:

MUNICIPAL ADDRESS:

1509 & 1511 8 Ave S.E.

PROJECT:

5 - UNITS
 CLUSTER HOUSE

PROJECT NUMBER:

322 - 24

DO NOT SCALE DRAWINGS.
 DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION.
 JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL.

NO.	DATE(D/M/Y)	DETAIL	BY
01	24/09/24	DP PLANS	---
02	---	---	---
03	---	---	---
04	---	---	---
05	---	---	---
06	---	---	---

COPYRIGHT:
 ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT.

NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION.

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING.

AMENDED DRAWINGS
 DP No: _____ Date Received: _____
 DP2024-07430 MAY 6 2025
 THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

DRAWING SET:

SHEET NAME:

Front & Rear Elevation (Rear)

DESIGN BY:

JT

DRAWN BY:

JT

LAST REVISION BY:

PRINTED:

2025-05-06 1:36:46 PM

SCALE:

1/4" = 1'-0"

PAGE:

A-2.1





GENERAL NOTES:

MUNICIPAL ADDRESS:
1509 & 1511 8 Ave S.E.

PROJECT:
5 - UNITS
CLUSTER HOUSE
PROJECT NUMBER:
322 - 24

DO NOT SCALE DRAWINGS.
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION.
JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL.

NO.	DATE(D/M/Y)	DETAIL	BY
01.	24/09/24	DP PLANS	--
02.	--	--	--
03.	--	--	--
04.	--	--	--
05.	--	--	--
06.	--	--	--

COPYRIGHT:
ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT.

NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION.

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING.

AMENDED DRAWINGS
DP No: Date Received
DP2024-07430 MAY 6 2025
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

DRAWING SET:

SHEET NAME:
Left & Right Elevation

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

PRINTED: 2025-05-06 1:35:51 PM

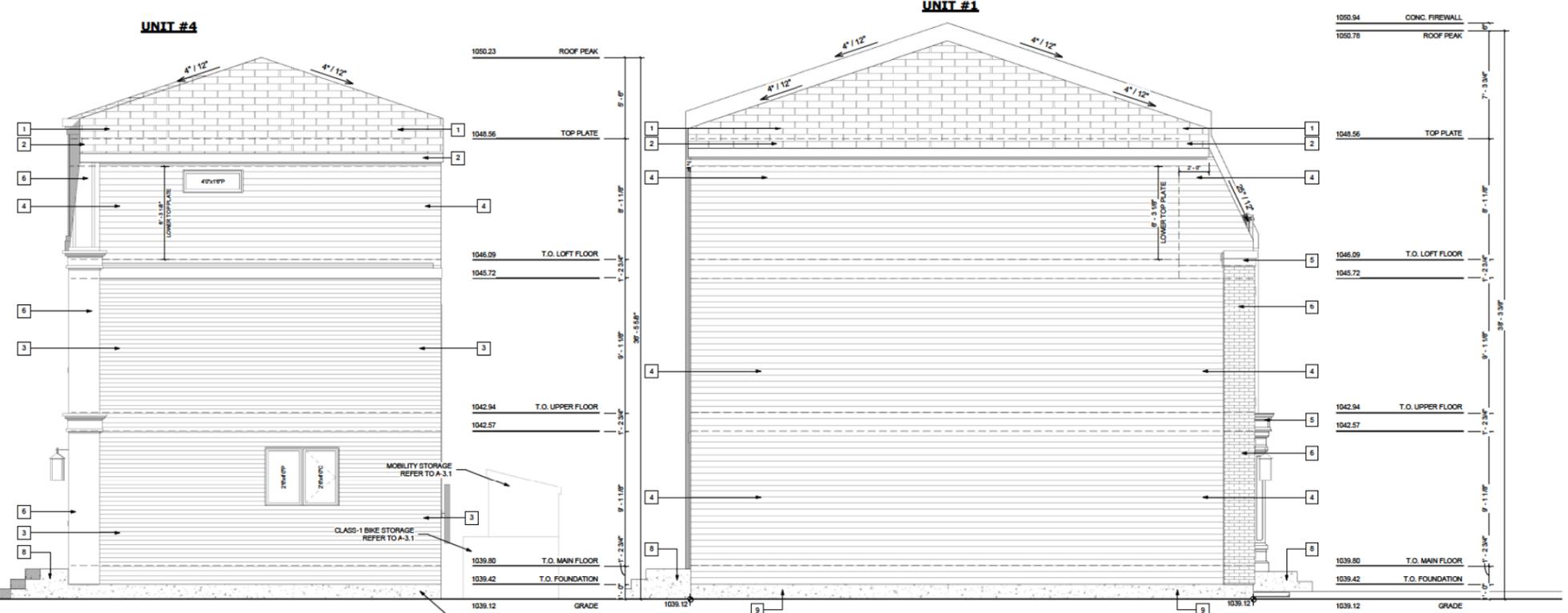
SCALE: 1/4" = 1'-0"

PAGE: **A-2.2**

- EXTERIOR FINISHES:**
- 1 ASPHALT SHINGLES
 - 2 6" ALUMINUM FASCIA - BLACK
 - 3 HARDIE SIDING FINISH - WHITE
 - 4 HARDIE SIDING FINISH - BLACK
 - 5 SMART BOARD & BATTEN - BLACK
 - 6 SMART BOARD & BATTEN - WHITE
 - 7 BRICK FINISH AS SPEC'D.
 - 8 PRECAST CONCRETE
 - 9 CONC. PAVING

VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m (SOFFIT ARE PRE-FIN ALUM)

WINDOW CALCULATION UNIT #4:
@ 1.53m LIMITING DISTANCE
WALL AREA = 719.29 SQ. FT.
WINDOW AREA = 29.26 SQ. FT.
TOTAL: 29.26 / 719.29 = 4.07%

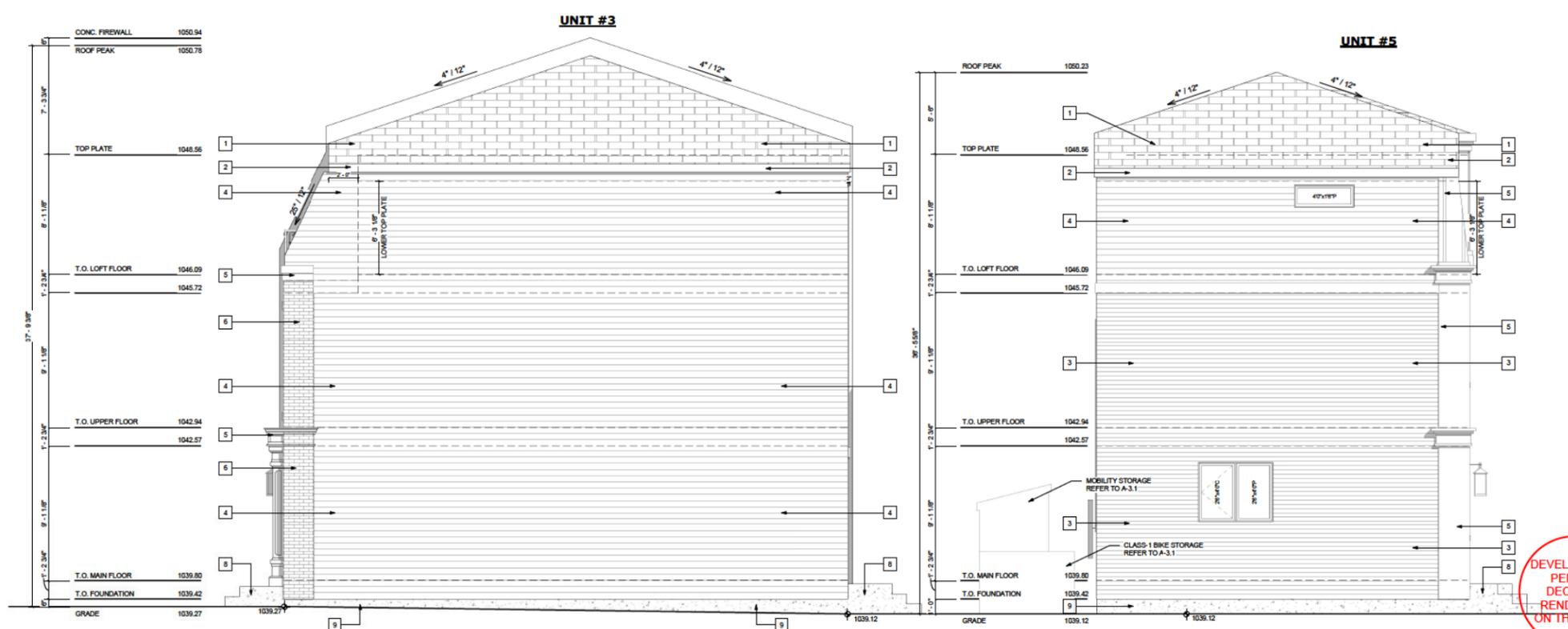


LEFT ELEVATION
SCALE: 1/4" = 1'-0"

- EXTERIOR FINISHES:**
- 1 ASPHALT SHINGLES
 - 2 6" ALUMINUM FASCIA - BLACK
 - 3 HARDIE SIDING FINISH - WHITE
 - 4 HARDIE SIDING FINISH - BLACK
 - 5 SMART BOARD & BATTEN - BLACK
 - 6 SMART BOARD & BATTEN - WHITE
 - 7 BRICK FINISH AS SPEC'D.
 - 8 PRECAST CONCRETE
 - 9 CONC. PAVING

VENTED SOFFIT NOTES:
-VENTED SOFFIT (FRONT AND BACK)
-VENTED SOFFIT ON SIDES IF ITS CLEAR 1.2m
-NON VENTED SIDES SOFFIT IF WITHIN 1.2m (SOFFIT ARE PRE-FIN ALUM)

WINDOW CALCULATION UNIT #5:
@ 1.53m LIMITING DISTANCE
WALL AREA = 719.29 SQ. FT.
WINDOW AREA = 29.26 SQ. FT.
TOTAL: 29.26 / 719.29 = 4.07%



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



GENERAL NOTES:
 POTENTIAL OPTIONS FOR SOLAR PV READY DETAILS MAY INCLUDE AT LEAST 2" MIN. NOMINAL DIAMETER CONDUIT OF RIGID OR FLEXIBLE METAL CONDUIT, ELECTRICAL METALLIC TUBING OR CABLES WITH A METAL JOINT OR METAL SHEATH.
 ALTERNATELY, A 2" VACUUM TUBE WITH TIEING, PULLED THROUGH AND A CARD ON EACH END, TO ACCOMMODATE FUTURE INSTALLATION, WILL MEET THE INTENT OF THE SPECIFICATION.
 *SOLAR READY AND ABLE TO ACCOMMODATE SOLAR PHOTOVOLTAIC PANELS FOR ELECTRICITY GENERATION. SOLAR PV READY DETAILS SHALL CONSIDER SECTION 16 OF THE CANADIAN ELECTRICAL CODE (PART 1) CONCERNING RENEWABLE ENERGY SYSTEMS.

MUNICIPAL ADDRESS:
 1509 & 1511 8 Ave S.E.

PROJECT:
 5 - UNITS
 CLUSTER HOUSE
 PROJECT NUMBER:
 322 - 24

DO NOT SCALE DRAWINGS.
 DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION.
 JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT, UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL.

NO.	DATE(D/M/Y)	DETAIL	BY
01.	24/08/24	DP PLANS	---
02.	---	---	---
03.	---	---	---
04.	---	---	---
05.	---	---	---
06.	---	---	---

COPYRIGHT:
 ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT.

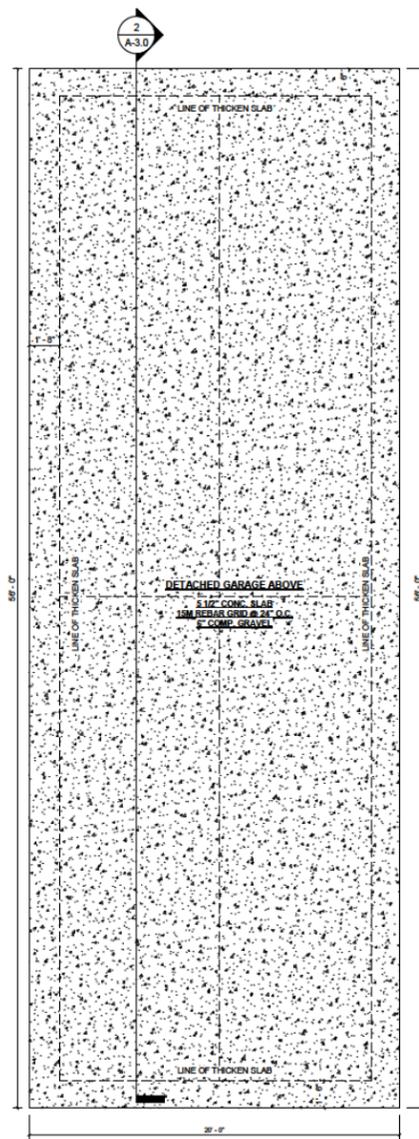
NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION.

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

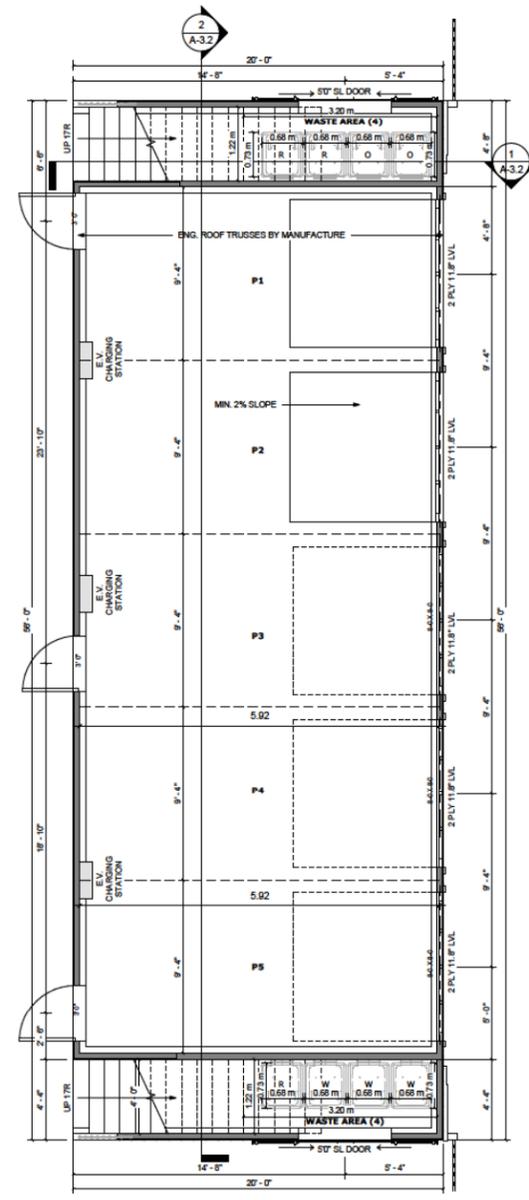
ALL FRAMING, ELECTRICAL ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING.

AMENDED DRAWINGS
 DP No: DP2024-07430 Date Received: MAY 6 2025
 THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

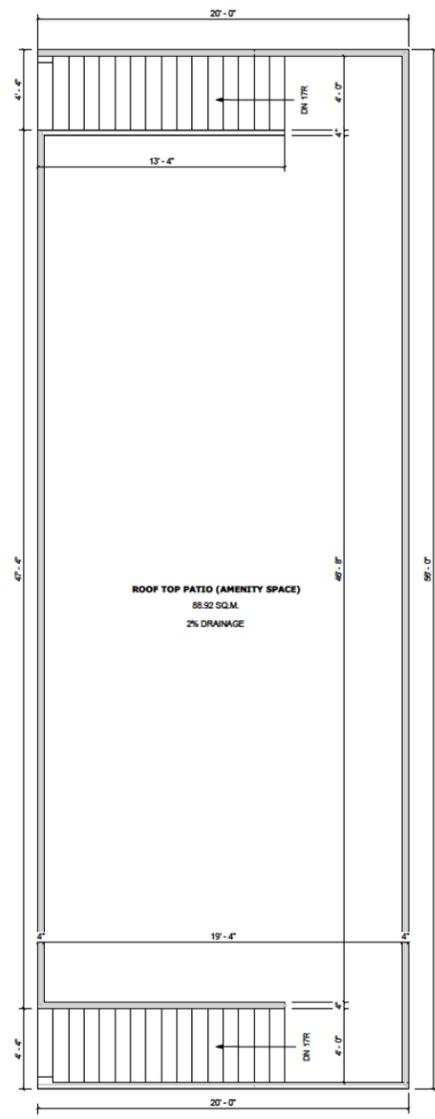
DRAWING SET:
 SHEET NAME:
 Garage Plan
 DESIGN BY: JT
 DRAWN BY: JT
 LAST REVISION BY:
 PRINTED: 2025-05-06 1:36:54 PM
 SCALE: As Indicated
 PAGE: **A-3.0**



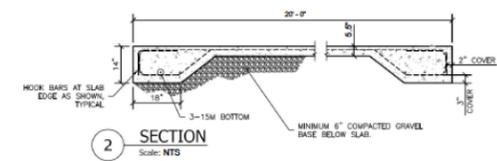
GARAGE FOUNDATION
 SCALE: 1/4" = 1'-0"



GARAGE PLAN
 SCALE: 1/4" = 1'-0"



GARAGE ROOF PLAN
 SCALE: 1/4" = 1'-0"



SLAB DETAIL
 SCALE: NTS



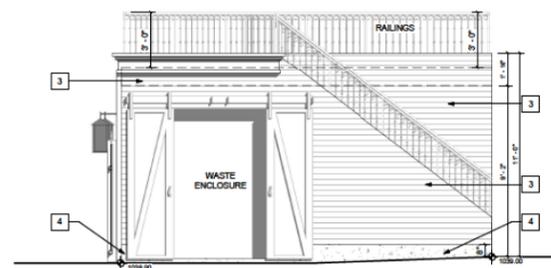
- EXTERIOR FINISHES:**
- 1 ASPHALT SHINGLES
 - 2 SMART BOARD & BATTEN - WHITE
 - 3 SIDING FINISH - WHITE
 - 4 CONC. PAVING



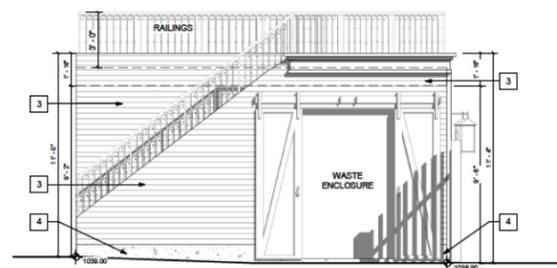
GARAGE FRONT ELEVATION
SCALE: 1/4" = 1'-0"



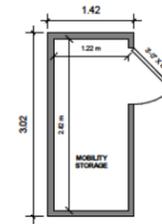
GARAGE FRONT ELEVATION
SCALE: 1/4" = 1'-0"



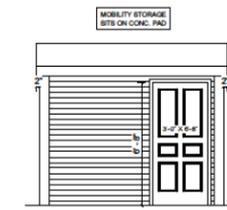
GARAGE RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



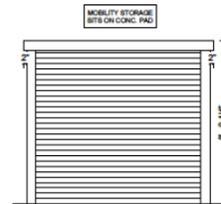
GARAGE RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



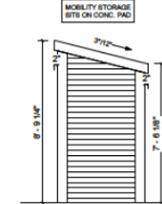
MOBILITY STORAGE - PLAN
SCALE: 1/4" = 1'-0"



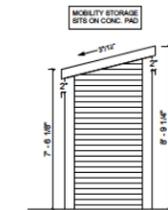
MOBILITY STORAGE - FRONT ELEVATION
SCALE: 1/4" = 1'-0"



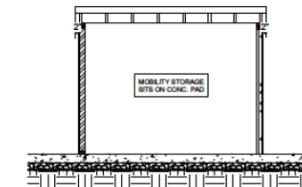
MOBILITY STORAGE - REAR ELEVATION
SCALE: 1/4" = 1'-0"



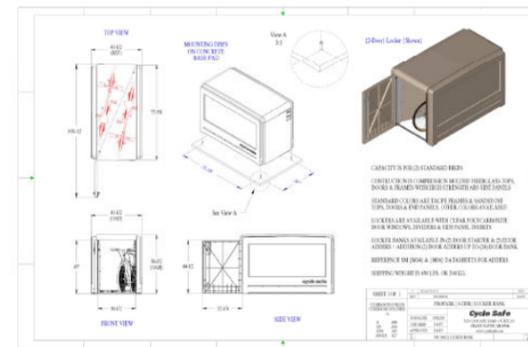
MOBILITY STORAGE - LEFT ELEVATION
SCALE: 1/4" = 1'-0"



MOBILITY STORAGE - RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



MOBILITY STORAGE - SECTION
SCALE: 1/4" = 1'-0"



BIKE LOCKER DETAILS
SCALE: NTS

DEVELOPMENT
PERMIT
DECISION
RENDERED
ON THIS PLAN



GENERAL NOTES:

MUNICIPAL ADDRESS:
1509 & 1511 8 Ave S.E.

PROJECT:
5 - UNITS
CLUSTER HOUSE
PROJECT NUMBER:
322 - 24

DO NOT SCALE DRAWINGS.
DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER APPLICABLE CONSULTANT DRAWINGS. CONTRACTOR IS TO CONFIRM AND COORDINATE ALL DETAILS WITH SITE CONDITIONS AND OTHER CONSULTANT DRAWINGS PRIOR TO STARTING CONSTRUCTION. JOHN TRINH & ASSOCIATES INC. ASSUMES NO RESPONSIBILITY, IMPLIED OR DIRECT UNLESS THE DRAWINGS BEAR THE SEAL AND SIGNATURE OF A REGISTERED PROFESSIONAL.

NO.	DATE(D/M/Y)	DETAIL	BY
01	24/08/24	DP PLANS	---
02	---	---	---
03	---	---	---
04	---	---	---
05	---	---	---
06	---	---	---

COPYRIGHT:
ALL IDEAS AND DESIGNS REPRESENTED BY THIS DRAWING ARE OWNED BY JOHN TRINH & ASSOCIATES INC. AND WERE CREATED FOR USE IN A SPECIFIED PROJECT.

NONE OF THE IDEAS AND/OR DESIGNS MAY BE USED BY, OR DISCLOSED TO, ANY OTHER PERSON OR ORGANIZATION FOR ANY PURPOSE WITHOUT THE WRITTEN PERMISSION.

ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE ALBERTA BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES.

ALL FRAMING, ELECTRICAL, ROUGH-IN AND PLUMBING ROUGH-IN NEEDS TO BE CONFIRMED BY TRADES/CONTRACTOR AND HOME OWNER. ANY ISSUE NEEDS TO BE NOTIFIED TO THE DESIGNER TO BE RESOLVED BEFORE PROCEEDING.

AMENDED DRAWINGS
DP No: DP2024-07430 Date Received: MAY 6 2025
THESE DRAWINGS REFER TO THE ABOVE DEVELOPMENT PERMIT NO.

DRAWING SET:

SHEET NAME:
Garage Elevations

DESIGN BY: JT

DRAWN BY: JT

LAST REVISION BY:

PRINTED: 2025-05-06 1:36:01 PM

SCALE: 1/4" = 1'-0"

PAGE: **A-3.1**