

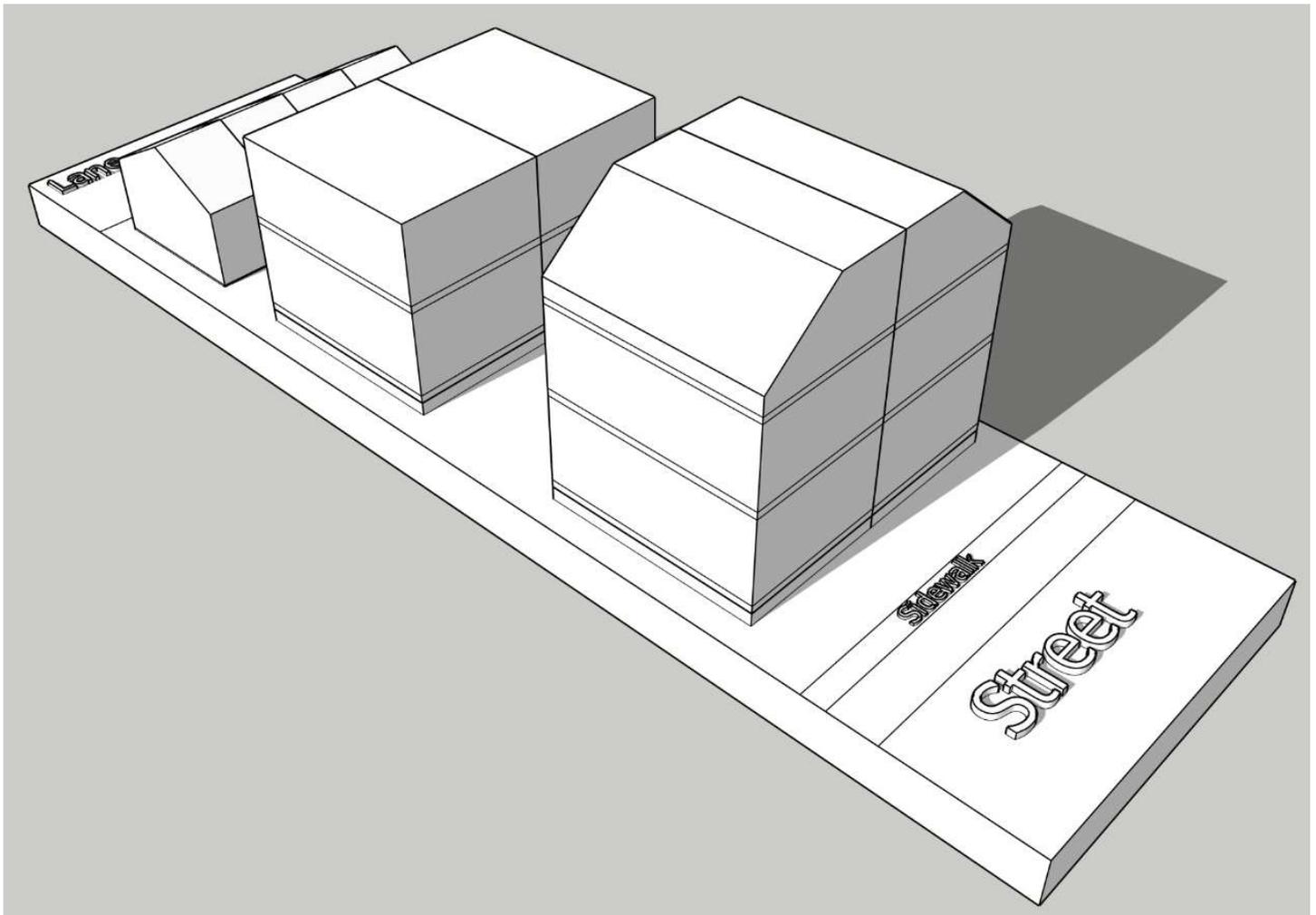
## Guide to a Complete Application

This guide is provided to improve the level of understanding, quality of applications and promote completeness to avoid delays in building permit processing for middle courtyard semi-detached dwellings. This does not limit design options or provide advice on compliance with the National Building Code – 2023 Alberta Edition. Further documents or details may be required depending on the application.

This guide focuses on sites with middle courtyard semi-detached dwelling designs. This design is for a site with the following features:

- two sets of semi-detached dwellings with a secondary suite in each.
- A semi-detached two dwelling building located at the front of the lot closest to the street.
- A middle semi-detached building is located behind the front semi-detached building, not facing a street.
- A garage building, that serves all suites, is located at the rear of the lot next to the lane.

**Four dwelling units with four secondary suites and a four-car garage.**



## Table of Contents

Guide to a Complete Application .....	1
Four dwelling units with four secondary suites and a four-car garage.....	1
Table of Contents .....	2
GENERAL REQUIREMENTS .....	3
FEES.....	3
DRAWING SETS REQUIRED .....	3
PROFESSIONAL INVOLVEMENT .....	3
LICENSING AND WARRANTY .....	3
GENERAL CONTRACTOR .....	4
DEVELOPMENT PERMIT (DP) .....	4
NECB OR 9.36 ENERGY EFFICIENCY .....	4
DEVELOPMENT SITE SERVICING PLANS (DSSP) or GRADE SLIPS.....	4
TECHNICAL REQUIREMENTS .....	5
CURRENT BUILDING CODE.....	5
LOCATION (SITE PLAN, KEY PLAN) .....	5
ARCHITECTURAL DRAWINGS .....	5
STRUCTURAL DRAWINGS.....	6
MECHANICAL DRAWINGS (Optional – see notes) .....	6
ELECTRICAL DRAWINGS (Optional – see notes) .....	6
SPRINKLER DRAWINGS .....	7
MORE RESOURCES .....	7
IMPORTANT DEFINITIONS .....	7
ALTERNATIVE SOLUTIONS .....	8
HELPFUL TIPS .....	8
CITY OF CALGARY ADVISORIES AND BULLETINS.....	9
ADDITIONAL INFORMATION .....	9
Example Graphics Information .....	9
Example graphics .....	10

GENERAL REQUIREMENTS		SUPPLIED	
FEES		YES	NO
<p>NBC(AE) refers to the <a href="#">National Building Code – 2023 Alberta Edition</a>. The 2015 Part 9 User’s Guide can be accessed <a href="#">here</a>. “AHJ” refers to the Authority Having Jurisdiction. NECB refers to the National Energy Code of Canada for Buildings. “ASHRAE” means American Society of Heating and Air-Conditioning Engineers. Requirements can change when the next NBC(AE) is in force. Owner, professionals, designers and contractors must comply with all requirements of the NBC(AE), NECB, ASHRAE, the Alberta <i>Safety Codes Act</i> and associated regulations. Wherever a Section, Subsection or Article appears without the NBC(AE) Prefix in the following tables, it is assumed to be DIVISION B of the current NBC(AE), e.g., NBC(AE) Division B, #.#.#.#.</p>		YES	NO
DRAWING SETS REQUIRED		Notes	
<p><b>NBC(AE) Division C, 2.2.2.1. General Information Required</b></p> <ul style="list-style-type: none"> <li>Provide the following complete drawing sets: <ul style="list-style-type: none"> <li>Architectural</li> <li>Structural</li> <li>Mechanical</li> <li>Electrical</li> <li>Sprinkler</li> </ul> </li> <li>Separate out each building for each permit: <ul style="list-style-type: none"> <li>Exclude other buildings/permits from the current drawings sets for clarity.</li> </ul> </li> </ul>		<ul style="list-style-type: none"> <li>Application is considered incomplete until the full fees are paid; however, a review for a partial permit can proceed without full fees being paid.</li> <li>The minimum 25% (or \$10,000 deposit for Building Permits with fees over \$10,000) needs to be paid for any partial permit review to occur.</li> <li>Partial permit cannot be issued until full fees are paid.</li> </ul>	<input type="checkbox"/> <input type="checkbox"/>
PROFESSIONAL INVOLVEMENT		Notes	
<p><b>NBC(AE) Division C 2.4.2. Professional Involvement</b></p> <ul style="list-style-type: none"> <li>If professional involvement is required, provide the following: <ul style="list-style-type: none"> <li>Professional Schedules: <ul style="list-style-type: none"> <li>Coordinating Professional A</li> <li>Architectural B</li> <li>Structural B</li> <li>Mechanical B</li> <li>Sprinkler B (if not included in mechanical)</li> <li>Geotechnical B</li> </ul> </li> </ul> </li> </ul>		<ul style="list-style-type: none"> <li>NBC(AE) Division C, 2.4.1.1.(1) has criteria to help determine if a professional Architect or Engineer needs to design the project.</li> <li>Typically, full professional involvement is not required for this design variant (less than five dwelling units).</li> <li>Professional involvement may be required for some aspects of the design, like sprinkler systems and structural elements.</li> </ul>	<input type="checkbox"/> <input type="checkbox"/>
LICENSING AND WARRANTY		Notes	
<p><a href="#">New Home Buyer Protection Act</a>, Interpretation, Requirement for license or authorization, 2.1(1) and Part 6 – General Provisions, Permits 24(1)  <a href="#">Residential Protection Program RPP:</a></p> <ul style="list-style-type: none"> <li>Alberta Builder Licensing Program “Certificate of Licence”.</li> <li>Confirmation of Warranty Registration for all units: <ul style="list-style-type: none"> <li>Approved New Home Registration Certificate or...</li> <li>Approved Rental Use Designation (showing the correct number of units for the project).</li> </ul> </li> </ul>		<ul style="list-style-type: none"> <li>Business licence class <b>must</b> be "DEVELOPER" for any building requiring professional involvement, otherwise "BUILDER" is acceptable.</li> <li>The Province of Alberta requires all residential builders to have a builder licence to construct residential projects, including multi-residential. Accordingly, The City of Calgary must check for evidence of the builder licence for any building permits that include residential dwelling units in the scope of work.</li> </ul>	<input type="checkbox"/> <input type="checkbox"/>

	<ul style="list-style-type: none"> <li>Any questions related to builder licensing should be directed to: <a href="mailto:builderlicensing@gov.ab.ca">builderlicensing@gov.ab.ca</a>.</li> <li>Any questions related to new home warranties should be directed to: <a href="mailto:HomeWarranty.inquiries@gov.ab.ca">HomeWarranty.inquiries@gov.ab.ca</a>.</li> </ul>	
<b>GENERAL CONTRACTOR</b>		
<ul style="list-style-type: none"> <li><b>General Contractor is required for the permit.</b></li> <li>Submit your request to <a href="mailto:contractor.changes@calgary.ca">contractor.changes@calgary.ca</a> with the changes required for any of the following key contacts:             <ol style="list-style-type: none"> <li>Applicant</li> <li>Applicant Contact</li> <li>Architect/Engineer</li> <li>General Contractor</li> </ol> </li> <li>See also <a href="#">Manage Your Permit Application</a>.</li> </ul>	<p>Notes</p> <ul style="list-style-type: none"> <li>At the time of application, indicate your general contractor. If you did not do this, please submit your request to add a General Contractor to the building permit via email to <a href="mailto:contractor.changes@calgary.ca">contractor.changes@calgary.ca</a>.</li> <li>Only the original applicant, or the owner, is allowed to change the contractor information on a building permit.</li> <li>Please accompany this request with proof of ownership of the subject property if someone other than the original applicant is making the request.</li> </ul>	<input type="checkbox"/> <input type="checkbox"/>
<b>DEVELOPMENT PERMIT (DP)</b>		
<ul style="list-style-type: none"> <li><b>Development Permit (DP) for this project must be "RELEASED" before the building permit is released.</b></li> <li>The DP file manager can give special permission to release the partial permit.</li> <li>Use Approval must be accepted.</li> </ul>	<p>Notes</p> <ul style="list-style-type: none"> <li>Partial building permits may be released upon written authorization sent directly to the building permit plans examiner from the DP file manager.</li> <li>Please contact your DP File Manager or the Planning Services Centre at 403-268-5311 for additional information regarding the DP.</li> <li>Use Approval verifies that your drawings for the building permit match those submitted for the DP. If they do not match a Revised Plan may be required.</li> </ul>	<input type="checkbox"/> <input type="checkbox"/>
<b>NECB OR 9.36 ENERGY EFFICIENCY</b>		
<p><b>NBC(AE) Division C, 2.2.2.1. General Information Required</b></p> <ul style="list-style-type: none"> <li>Submit a completed <a href="#">9.36 Summary Form</a> or</li> <li>Submit a completed <a href="#">NECB Project Summary Form</a>.</li> </ul>	<p>Notes</p> <ul style="list-style-type: none"> <li>Provide detailed supporting documentation and reports according to the chosen compliance path.</li> <li>Architectural drawings must clearly match the assemblies used in all calculations.</li> <li>Submit PDF files, not Excel files.</li> <li>See <a href="#">Energy Code for Small Buildings for instructions and information related to energy code compliance</a>.</li> </ul>	<input type="checkbox"/> <input type="checkbox"/>
<b>DEVELOPMENT SITE SERVICING PLANS (DSSP) or GRADE SLIPS</b>		
<p><b>NBC(AE) Division C, 2.2.4.6. Information Required on Foundation Drawings</b></p> <ul style="list-style-type: none"> <li>DSSP must be applied for prior to BP application:             <ul style="list-style-type: none"> <li>See <a href="#">Development Site Servicing Plans</a></li> </ul> </li> </ul>	<p>Notes</p> <ul style="list-style-type: none"> <li>The DSSP is a plan that shows the layout for water, sanitary and storm water servicing. It is reviewed by Water Resources.</li> <li>If Water Resources determines a DSSP is not required, each unit requires a Grade Slip.</li> </ul>	<input type="checkbox"/> <input type="checkbox"/>

TECHNICAL REQUIREMENTS		
CURRENT BUILDING CODE	Notes	
<p><b>NBC(AE) Division C, 2.2.1.1. Conformance with Administrative Requirements (Building Code In Force)</b></p> <ul style="list-style-type: none"> <li>Show references to code in force used for this permit scope.</li> </ul>	<ul style="list-style-type: none"> <li>See Division B, 1.3.2.1. Abbreviations of Proper Names like NBC(AE).</li> <li>References to “ABC” or “Alberta Building Code” are not permitted.</li> <li>See advisory for <a href="#">“Transition from NBC(AE) 2019 to NBC(AE) 2023”</a>.</li> <li>Please be clear on all drawings about which version of the National Building Code the building is being designed and built to.</li> </ul>	<input type="checkbox"/> <input type="checkbox"/>
LOCATION (SITE PLAN, KEY PLAN)	Notes	
<p><b>NBC(AE) Division C 2.2.2.2 Site Plan</b></p> <ul style="list-style-type: none"> <li>A Site Plan showing subject buildings in relation to the surrounding buildings and property lines.</li> <li>Limiting Distances for each building.</li> </ul> <p><b>NBC(AE) Division B, 9.10.20.3. Fire Department Access to Buildings</b></p> <ul style="list-style-type: none"> <li>Fire Hydrant/Fire Truck/EMS.</li> <li>45 m travel distance to primary dwelling entrance as per <a href="#">Regulations Bulletin RB014-042</a>.</li> </ul>	<ul style="list-style-type: none"> <li>Provide a site plan to a minimum scale of 1:100 showing the location of the buildings on the site and neighbouring buildings. It must include: <ul style="list-style-type: none"> <li>The building address.</li> <li>All dimensions.</li> </ul> </li> <li>Limiting distances lines surrounding each building: <ul style="list-style-type: none"> <li>The imaginary property line between buildings on the same site that is the basis for the spatial separation calculation must be shown on a site plan.</li> <li>The imaginary property line does not need to be in the middle of two buildings it can be proposed anywhere between the buildings.</li> </ul> </li> <li>Separate fire compartments need to be calculated as exposing building faces separately.</li> <li>Show line of soffits on site plan.</li> <li>Clearly identify soffits required to be non-venting within 1.2 m of property, party wall centerlines or limiting distance lines (9.10.15.5).</li> <li>Soffits are not permitted within 0.45 m of limiting distance or property lines (9.10.15.5.).</li> </ul>	<input type="checkbox"/> <input type="checkbox"/>
ARCHITECTURAL DRAWINGS	Notes	
<p><b>NBC(AE) Division C 2.2.2.1 Architectural Drawings</b></p> <ul style="list-style-type: none"> <li>Building Code Analysis or Code Summary: <ul style="list-style-type: none"> <li>Building Area</li> <li>Sprinkler Status</li> <li>Total Storeys</li> <li>Status of suites (Dwelling or Secondary)</li> <li>Facing Streets Analysis</li> </ul> </li> <li>Construction assemblies/details: <ul style="list-style-type: none"> <li>Fire-resistance ratings (9.10.3.1.)</li> <li>Sound Transmission Class (STC) (9.11.1.1.)</li> <li>Apparent sound transmission class (ASTC) (9.11.1.1.)</li> <li>Suite separation (9.10.9.16)</li> <li>Fire/Smoke Separation (9.10.9.1.)</li> <li>Energy efficiency (9.36.)</li> </ul> </li> <li>Floor Plans of all floor levels: <ul style="list-style-type: none"> <li>Stair configurations</li> <li>Door sizes</li> <li>Equipment locations</li> </ul> </li> <li>Foundation Plan (Division C, 2.2.4.6.): <ul style="list-style-type: none"> <li>Radon Mitigation details (9.13.4.1.)</li> </ul> </li> <li>Elevations: <ul style="list-style-type: none"> <li>Cladding Materials (9.27.) <ul style="list-style-type: none"> <li>CCMC if not prescriptive</li> </ul> </li> </ul> </li> </ul>	<ul style="list-style-type: none"> <li>Floor plans should be not less than 1:100 scale.</li> <li>Floor plans must include: <ul style="list-style-type: none"> <li>wall locations</li> <li>wall types</li> <li>room names/uses</li> <li>door/window locations</li> <li>egress window function and size</li> </ul> </li> <li>Floor plan to show location of pipe under basement slab and section detail for radon mitigation (See 9.13.4.3. and <a href="#">Guide for Radon Measurements in Residential Dwellings</a>).</li> <li>A carport serving more than one dwelling unit or house with a secondary suite is considered a garage and will be reviewed under 9.10.14.</li> <li>A detached garage serving more than one dwelling unit must comply with 9.10.14. references for spatial separation and construction (9.10.14.1.).</li> <li>Storage lockers, mobility storage, or other compartments attached to the detached garage must be included in 9.10.14. building assessment details.</li> <li>Firewall is not required for party wall separating a maximum of two houses (9.10.11.2.).</li> <li>Including a sprinkler system in a building may allow</li> </ul>	<input type="checkbox"/> <input type="checkbox"/>

<ul style="list-style-type: none"> <li> <ul style="list-style-type: none"> <li> <ul style="list-style-type: none"> <li>▪ Combustibility requirements (9.10.15.)</li> </ul> </li> <li>○ Spatial Calculations (9.10.15.)           <ul style="list-style-type: none"> <li>▪ Limiting Distances</li> <li>▪ Exposed Building Face Areas</li> <li>▪ Glazing/Unprotected opening Areas</li> <li>▪ Separate fire compartments</li> </ul> </li> </ul> </li> <li>• Sections:       <ul style="list-style-type: none"> <li>○ Ceiling Heights, Clearances (9.5.3.1.)</li> <li>○ Floor/Wall Assemblies (9.10.8.1.)</li> <li>○ Dimensions: Stairs, handrail, guards, etc. (9.8.)</li> <li>○ Stud spacing for floors/roof supported (9.23.10.1.)</li> </ul> </li> <li>• Egress requirements:       <ul style="list-style-type: none"> <li>○ Travel Limits (9.9.9.1.)           <ul style="list-style-type: none"> <li>▪ Balcony required or window maximum 7 m to grade</li> <li>▪ 1.5m maximum door to adjacent grade</li> </ul> </li> <li>○ Egress Windows (9.9.10.1.)           <ul style="list-style-type: none"> <li>▪ Clearances/Window wells</li> <li>▪ Side yard clearances (see <a href="#">Advisory A19-004</a>)</li> <li>▪ Projections</li> </ul> </li> </ul> </li> <li>• Exit Protection:       <ul style="list-style-type: none"> <li>○ Exit stairs (9.9.4.4., <a href="#">Protection of Openings Near Unenclosed Exterior Stairs and Ramps</a>)</li> <li>○ Exit doors (9.9.4.6.)</li> </ul> </li> <li>• Projections:       <ul style="list-style-type: none"> <li>○ Soffits/Eaves, Overhangs (9.10.15.5.)</li> </ul> </li> <li>• Ventilation:       <ul style="list-style-type: none"> <li>○ Roof, Soffits (9.19.)</li> <li>○ Unvented Assemblies (See <a href="#">19-BCV-022</a>)</li> </ul> </li> <li>• Carport vs Garage (9.35.1.1.).</li> </ul>	<p>for double the glazed openings at the same limiting distance compared to a building without a sprinkler system (9.10.15.4.(7)). Ensure balconies for place of refuge for third storey of dwellings above another suite.</p> <ul style="list-style-type: none"> <li>• Provide spatial separation calculations for every exposing building face on each building that faces an adjacent property line, or another building on the same site.</li> <li>• Provide spatial separation calculations for centerlines of lanes or streets.</li> <li>• Walls enclosing an attic space must meet the same construction requirements for the exposing building face below as determined in 9.10.15.5. and based the limiting distance line of the exposing building face.</li> <li>• Ensure maximum 1.5 m from door to adjacent grade for exit doors (9.9.9.1.).</li> <li>• Exit stairs are exits when the distance from the top of the landing to the adjacent grade is greater than 600 mm.</li> <li>• Include wall, floor and roof intersection details showing fire resistance rating continuity, i.e., Type X gypsum.</li> <li>• Provide labels and identification on plans of methods for addressing Apparent Sound Transmission Class (ASTC) (see Note A-9.11.1.1.(2)).</li> <li>• Include eave/soffit details, including elements required to be non-combustible, continuity of fire separations and gypsum support details.</li> </ul>			
<p><b>STRUCTURAL DRAWINGS</b></p>	<p>Notes</p>			
<p><b>NBC(AE) Division C 2.2.4.3 Structural Drawings</b></p> <ul style="list-style-type: none"> <li>• Structural Plans/Details for any structural designs that are not covered under prescriptive requirements of this code:       <ul style="list-style-type: none"> <li>○ Foundation Wall Lateral Support</li> <li>○ Tall Walls</li> <li>○ Party Wall footings</li> <li>○ Firewalls</li> <li>○ Engineered Floors, Beams - Layouts &amp; Specifications</li> <li>○ Engineered Trusses - Layouts &amp; Specifications</li> <li>○ Some Retaining Walls (see notes)</li> <li>○ Non-prescriptive Steel beams, brick/stone veneer, etc.</li> </ul> </li> </ul>	<ul style="list-style-type: none"> <li>• Garage slabs over 55 sq. m. require engineering (see <a href="#">RB014-11</a>).</li> <li>• All engineered (non-prescriptive) beams, joists and trusses require engineering using approved software (see <a href="#">BILD article</a>).</li> <li>• Joist/truss spans exceeding 12.2 m require specific engineering.</li> <li>• Retaining walls with a 1.2 m difference in grade, and other conditions may require specific engineering (see <a href="#">19-BCI-007</a>).</li> <li>• Walls supporting a roof plus two floors may require studs spaced maximum 400 mm on centre (see 9.23.10.1.).</li> </ul>	<table border="1"> <tr> <td style="width: 40px; height: 40px; text-align: center;"><input type="checkbox"/></td> <td style="width: 40px; height: 40px; text-align: center;"><input type="checkbox"/></td> </tr> </table>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>			
<p><b>MECHANICAL DRAWINGS (Optional – see notes)</b></p>	<p>Notes</p>			
<p><b>NBC(AE) Division C, 2.2.6.2. HVAC Drawings</b></p> <ul style="list-style-type: none"> <li>• Heating, Ventilation and Air Conditioning equipment and systems are to be clear and legible.</li> <li>• Damper locations identified and labelled properly.</li> <li>• Plans to adequately address prescriptive requirements for ventilation (9.32.), Heating (9.33) for local design conditions.</li> </ul>	<ul style="list-style-type: none"> <li>• HVAC components can be included in the architectural drawing set, a separate set of mechanical drawings is not required.</li> <li>• Show all intake and exhaust outlets on the plans/elevations.</li> <li>• Show the location of all required carbon monoxide alarms.</li> </ul>	<table border="1"> <tr> <td style="width: 40px; height: 40px; text-align: center;"><input type="checkbox"/></td> <td style="width: 40px; height: 40px; text-align: center;"><input type="checkbox"/></td> </tr> </table>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>			
<p><b>ELECTRICAL DRAWINGS (Optional – see notes)</b></p>	<p>Notes</p>			
<p><b>NBC(AE) Division C, 2.2.7.2. Electrical Drawings</b></p> <ul style="list-style-type: none"> <li>• Electrical devices and equipment to be clear and legible.</li> </ul>	<ul style="list-style-type: none"> <li>• Electrical components can be included in the architectural drawing set, a separate set of</li> </ul>	<table border="1"> <tr> <td style="width: 40px; height: 40px; text-align: center;"><input type="checkbox"/></td> <td style="width: 40px; height: 40px; text-align: center;"><input type="checkbox"/></td> </tr> </table>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>			

<ul style="list-style-type: none"> <li>Conformance to prescriptive electrical requirements (9.34) must be demonstrated on the drawings.</li> <li>Life safety systems are clearly demonstrated on the drawings.</li> </ul>	<p>electrical drawings is not required.</p> <ul style="list-style-type: none"> <li>The electrical panel should be located in an accessible location and must have 1 m of clear space in front (see Electrical Code).</li> <li>Smoke alarm locations must be clear and legible on plans (9.10.19.3.).</li> <li>Carbon monoxide (CO) alarms must be clear and legible on plans (9.32.3.9.).</li> <li>Drawings to indicate interconnection of smoke and/or CO alarms between suites if required (9.10.19.5.).</li> </ul>	
---	---	--

SPRINKLER DRAWINGS	Notes	
--------------------	-------	--

<p><b>NBC(AE) Division C, 2.4.1.3 Fire Suppression System Designs</b></p> <ul style="list-style-type: none"> <li>Provide sprinkler drawings to be clear and legible showing locations of all equipment, devices, and valves. Drawings to be stamped by a Professional Engineer if NFPA standard requires this.</li> <li>Appropriate NFPA standard to be used and referenced clearly on the drawings. This standard is to be adhered to prescriptively.</li> <li>Hydraulic calculations to be provided (if required by the standard).</li> </ul>	<ul style="list-style-type: none"> <li>NFPA 13D is valid for two dwellings (semi-detached dwelling each with a secondary suite).</li> <li>A sprinkler system is required for 9.10.15. houses not facing a street as a prescriptive solution (see 9.10.20.3.).</li> <li>When using a sprinkler system to address code compliance instead of a prescriptive requirement, an <a href="#">Alternative Solution will be required</a>, (see Division C, 2.3.1.1.).</li> </ul>	<input type="checkbox"/> <input type="checkbox"/>
---	---	---

### MORE RESOURCES

IMPORTANT DEFINITIONS	Notes	
-----------------------	-------	--

<p><b>NBC(AE) Division A, 1.4.1.2. Defined Terms</b></p> <ul style="list-style-type: none"> <li><b>9.10.15. Building:</b> buildings that contain only dwelling units and have no dwelling unit above another dwelling unit, and houses with a secondary suite including their common spaces.</li> <li><b>9.10.14. Building:</b> applies to buildings other than those to which Subsection 9.10.15. applies.</li> <li><b>Limiting Distance:</b> means the distance from an exposing building face to a property line, the centre line of a street, lane or public thoroughfare, or to an imaginary line between two buildings or fire compartments on the same property, measured at right angles to the exposing building face. NOTE: limiting distance is measured from the outside face of the cladding.</li> <li><b>Exposing Building Face:</b> means that part of the exterior wall of a building that faces one direction and is located between ground level and the ceiling of its top storey or, where a building is divided into fire compartments, the exterior wall of a fire compartment that faces one direction.</li> <li><b>Glazed Opening:</b> includes windows and glazed portions of doors. The area of glazed openings is measured to the rough opening of the window or door, not to the edges of the glazing.</li> <li><b>Unprotected Opening:</b> means any opening other than the one equipped with a closure having the required fire-protection rating, or any part of a wall forming part of the exposing building face that has a fire-resistance rating less than that required for the exposing building face. Unprotected openings include windows, doors and openings for electrical and mechanical services.</li> <li><b>Dwelling Unit:</b> means a suite operated as a housekeeping unit, used, or intended to be used by one or more persons and usually containing cooking, eating, living, sleeping and sanitary facilities.</li> <li><b>Secondary Suite:</b> means a self-contained dwelling unit</li> </ul>	<ul style="list-style-type: none"> <li>Limiting distance lines do not have to be positioned exactly halfway between buildings. They can be placed by the designer to fit the building spatial calculations; however, they must be consistent from one building permit to the other (between buildings).</li> <li>Secondary suites (regardless of their rental status) are intended to exist as part of or under the care and control of the main dwelling and exist with the dwelling as part of a single real estate entity.</li> <li>Unprotected openings are calculated differently than glazed openings for spatial considerations.</li> <li>9.10.14. buildings require attention to “unprotected” openings, and 9.10.15. buildings require attention to “glazed” openings.</li> <li>A 9.10.15. building can contain only dwelling units, like a house with a dwelling unit or a dwelling unit and a secondary suite.</li> <li>A 9.10.14. building can contain multiple occupancies, like a storage garage (F2) and an office (D).</li> <li>Exceptions in the NBC(AE) for a dwelling with an attached garage or detached garage serving only one dwelling unit are different from garages serving multiple dwelling units.</li> <li>Carports serving more than one dwelling unit (with or without a secondary suite) are considered garages and reviewed as 9.10.14. buildings with near 100 per cent unprotected openings. As such, limiting distance must allow for 100 per cent unprotected openings.</li> </ul>	<input type="checkbox"/> <input type="checkbox"/>
---	---	---

<p>located in a building or portion of a building of only residential occupancy that contains only one other dwelling unit and common spaces, and where both dwelling units constitute a single real estate entity. (See Note A-1.4.1.2.(1)).</p> <ul style="list-style-type: none"> <li>• <b>Exit:</b> means that part of a means of egress, including doorways, that leads from the floor area it serves to a separate building, an open public thoroughfare, or an exterior open space protected from fire exposure from the building and having access to an open public thoroughfare. (See Note A-1.4.1.2.(1)).</li> <li>• <b>Street:</b> means any highway, road, boulevard, square or other improved thoroughfare 9 m or more in width, that has been dedicated or deeded for public use and is accessible to fire department vehicles and equipment. NOTE: A lane is not considered a street, and firetrucks will not use lanes for firefighting as there are too many variables such as potholes, garbage cans, overhead wires, etc. The street must meet specific hard surface standards to qualify.</li> </ul>		
---	--	--

ALTERNATIVE SOLUTIONS	Notes			
<p><b>NBC(AE) Division A, 1.2.1.1. Alternative Solutions</b></p> <ul style="list-style-type: none"> <li>• Read carefully and follow the instructions if applying for an alternative solution.</li> <li>• An alternative solution requires the application form and supporting documentation.</li> <li>• Alternative solutions will be either accepted or denied.</li> <li>• Applicants can appeal decisions to the Safety Codes Council.</li> </ul>	<ul style="list-style-type: none"> <li>• For aspects of a buildings design that do not meet prescriptive requirements of the buildings code or a relevant City of Calgary Standing Posted Variance, or Provincial Standata, the designer and owner may wish to submit a Variance.</li> <li>• <a href="#">Guide to applying for an alternative solution (variance).</a></li> <li>• <a href="#">Request for Specific Variance Form.</a></li> </ul>	<table border="1"> <tr> <td data-bbox="1401 831 1474 884"><input type="checkbox"/></td> <td data-bbox="1474 831 1559 884"><input type="checkbox"/></td> </tr> </table>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>			

HELPFUL TIPS				
<p><b>NBC(AE) Division A, 1.1.1.5. Application of this Code</b></p> <ul style="list-style-type: none"> <li>• <a href="#">SPV-003 Restrictions</a> (Standing Posted Variance (SPV) is “CONSTRUCTION OF EXPOSING BUILDNG FACE (SPV-003)” for a detached garage.</li> <li>• Small (less than 10 sq. m.) accessory buildings cannot be structurally attached to another building.</li> </ul>	<ul style="list-style-type: none"> <li>• Small accessory buildings less than 10 sq. m. may not be considered “buildings” for building code compliance.</li> <li>• SPV-003 does not allow for deviations of the design.</li> <li>• Example: Mobility storage lockers, if connected to the garage, do not allow a designer to use SPV-003. The garage building will need to be designed prescriptively to 9.10.14. (which is more restrictive for spatial separations and construction requirements) or a site specific <a href="#">Alternative Solution</a>.</li> </ul>	<table border="1"> <tr> <td data-bbox="1401 1171 1474 1224"><input type="checkbox"/></td> <td data-bbox="1474 1171 1559 1224"><input type="checkbox"/></td> </tr> </table>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>			
<p><b>NBC(AE) Division B, 9.9.4.4. Protection of Unenclosed exit stairs</b></p> <ul style="list-style-type: none"> <li>• Ensure proper protection of exit stairs.</li> </ul>	<ul style="list-style-type: none"> <li>• If the dwelling unit (primary dwelling unit OR secondary suite) is only served by one door to the exterior, stairs that descend/ascend from that door need protection if over 600 mm to adjacent grade.</li> <li>• A landing less than 600 mm to grade (three or fewer steps) is not considered an “exit stair” for the purposes of 9.9.4.4.</li> <li>• Depending on the grade of the site, some buildings/dwelling units might have landings below 600 mm whereas others may have landings above 600 mm and if so, 9.9.4.4. must be resolved for units with landings above/below 600 mm to grade.</li> </ul>	<table border="1"> <tr> <td data-bbox="1401 1530 1474 1583"><input type="checkbox"/></td> <td data-bbox="1474 1530 1559 1583"><input type="checkbox"/></td> </tr> </table>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>			

CITY OF CALGARY ADVISORIES AND BULLETINS	Notes			
<ul style="list-style-type: none"> <li>The City of Calgary offers advisories and bulletins to provide clarification on the application of the NBC(AE) and other Provincial codes. An advisory is an interpretation of a code or municipal regulation.</li> <li><a href="#">City of Calgary Building Advisories, Bulletins and Variances.</a></li> </ul>	Relevant advisories, bulletins and variances: <ul style="list-style-type: none"> <li><a href="#">Protection of openings near unenclosed exterior stairs and ramps.</a></li> <li><a href="#">Construction of Exposing Building Face - SPV-003</a></li> <li><a href="#">Firefighting access for part 9 buildings.</a></li> </ul>	<table border="1"> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </table>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>			
<b>ADDITIONAL INFORMATION</b>				
<p>Copies of all currently in force Codes and Standards are published on-line in PDF file format by the Government of Alberta at the following location:</p> <p style="text-align: center;"><a href="https://www.alberta.ca/building-codes-and-standards">https://www.alberta.ca/building-codes-and-standards</a></p>				
Example Graphics Information	Notes			
<ul style="list-style-type: none"> <li>See addendums to this document for example graphics illustrating some key elements of this document.</li> <li>Example graphics are for reference and illustrative purposes only and are not intended to be a design guide or a comprehensive guide to an acceptable design.</li> </ul>	<ul style="list-style-type: none"> <li>An example lot layout is shown in Figure 1 below.</li> </ul>	<table border="1"> <tr> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </table>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>			

## Example graphics

Figure 1 – Example – Middle Courtyard Semi-Detached

Provided for illustrative purposes only and is not intended to be a design guide or a comprehensive guide to an acceptable design.

